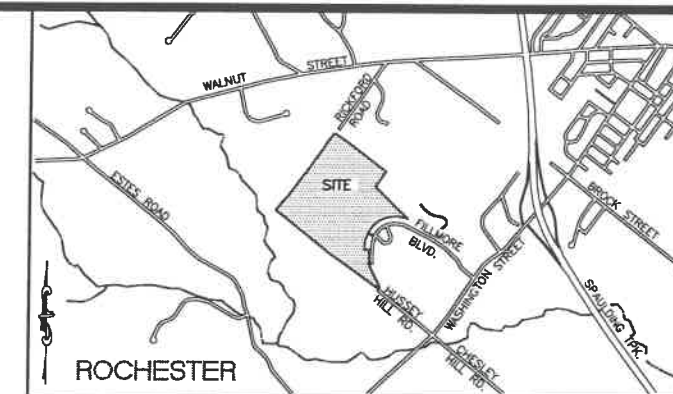
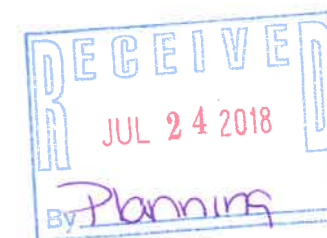


VICINITY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1" = 2,000'

RESIDENTIAL SUBDIVISION PLAN HIGHFIELD COMMONS PHASE 1B MAP 237 LOTS 3 & 8 FILLMORE BOULEVARD ROCHESTER, NEW HAMPSHIRE



MAP 237 LOT 1-1
DONALD N. JR. & PAULA MCCALLION
7 JODI LANE
STRAFFORD, NH 03884

MAP 237 LOT 3-1
GARY & SHARON HUSSEY
24 HUSSEY HILL ROAD
ROCHESTER, NH 03867-4205

MAP 237 LOT 4
WOODBURY C. ARGEROW, JR.
23 HUSSEY HILL ROAD
ROCHESTER, NH 03867

MAP 237 LOT 5
JOSEPH J. MIGLIORE, III &
ANGELES GETINO DIAZ
183 WASHINGTON STREET
ROCHESTER, NH 03867-5506

MAP 237 LOT 6
STATE OF NEW HAMPSHIRE
JOHN MORTON BUILDING
PO BOX 483
CONCORD, NH 03301

MAP 237 LOT 6-1
WASHINGTON STREET PARTNERS, LLC
c/o CHESAPEAKE DEVELOPMENT
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054

MAP 237 LOT 6-2
STATE OF NEW HAMPSHIRE
JOHN MORTON BUILDING
PO BOX 483
CONCORD, NH 03301

MAP 237 LOT 7
JONATHAN W. & HOLLY A. CLEMENT
30 BICKFORD ROAD
ROCHESTER, NH 03867-4288

MAP 236 LOT 1
GARY & ROBYNN JEWELL
73 BICKFORD ROAD
ROCHESTER, NH 03867-4272

MAP 236 LOT 18
ROBERT A. & SUSAN COPP SILVA
129 ESTES ROAD
ROCHESTER, NH 03867-4233

MAP 236 LOT 18
SCOTT & PAULA WENSLEY
125 ESTES ROAD
ROCHESTER, NH 03867-4248

MAP 236 LOT 20
GERALD & LORI CHASSE
123 ESTES ROAD
ROCHESTER, NH 03867-4233

MAP 230 LOT 8
JAMES L. & SUZANNE H. THOMAS
25 BICKFORD ROAD
ROCHESTER, NH 03867-4272

ABUTTERS LIST

MAP 246 LOTS 3 & 4
CHESLEY HILL PARTNERS LLC
260 WASHINGTON STREET
ROCHESTER, NH 03839-5425

MAP 246 LOT 5
CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03867-1916

MAP 246 LOT 7
BETTY BAUN
10 HUSSEY HILL ROAD
ROCHESTER, NH 03867-4205

MAP 246 LOT 8
CHARLES W. HUSSEY & BETTY BAUN
10 HUSSEY HILL ROAD
ROCHESTER, NH 03867-4205

MAP 247 LOTS 54 & 55
DAVID & JUDITH ROBBINS
111 ESTES ROAD
ROCHESTER, NH 03867

MAP 247 LOT 58
JULIE A. & ANDREW M. BRITTON
14 VINEWOOD LANE
ROCHESTER, NH 03867

MAP 247 LOT 59
RYAN M. & CRYSTAL TANGUY
85 ESTES ROAD
ROCHESTER, NH 03867

MAP 247 LOT 61
DWAYNE MEADER
71 ESTES ROAD
ROCHESTER, NH 03867-4232

MAP 130 LOT 39
ARTHUR & VICKI WALKER
174 WASHINGTON STREET
ROCHESTER, NH 03839-5504

MAP 130 LOT 40
RONALD & PATRICIA LECLAIR
176 WASHINGTON STREET
ROCHESTER, NH 03839-5504

MAP 130 LOT 42
PUBLIC SERVICE OF NH
DBA EVERSOURCE ENERGY
PO BOX 270
HARTFORD, CT 06141-0270

MAP 130 LOT 43-1
ROUTE 202, LLC
c/o JEAN M. KANE
117 BOW STREET
PORTSMOUTH, NH 03801

MAP 237A LOT 3-141
ED POTTSBERG
72 FILLMORE BLVD
ROCHESTER, NH 03867-4497

MAP 237A LOT 3-142
KENNETH MORRIS JR.
76 FILLMORE BLVD
ROCHESTER, NH 03867-4497

MAP 237A LOT 3-143
WILLIAM & SHERRILL WOODY
1751 STATE ROUTE 32
ROUND POND, ME 04564-3607

MAP 237A LOT 3-144
MICHAEL MCCANN &
CHRISTINE CALOGER
82 FILLMORE BOULEVARD
ROCHESTER, NH 03867-4497

MAP 237A LOT 3-146
HUNG & ANGELA NGUYEN
6 PIERCE DRIVE
ROCHESTER, NH 03867-4495

MAP 237A LOT 3-147
ERIC SIRLES REVOCABLE TRUST
c/o ERIC SIRLES, TRUSTEE
30 PARKER STREET
PORTSMOUTH, NH 03801-3934

MAP 237A LOT 3-148
CHRISTOPHER & MICHELLE
CHARLO-JONES
14 PIERCE DRIVE
ROCHESTER, NH 03867-4495

MAP 237A LOT 3-149
DANNE H. WIMBROW
16 PIERCE DRIVE
ROCHESTER, NH 03867-4495

MAP 237A LOT 3-150
JOSEPH & PHYLLIS BOUDREAU
20 PIERCE DRIVE
ROCHESTER, NH 03867-4495

MAP 237A LOT 3-158
RUDOLF & JANET MAIR
5 PIERCE DRIVE
ROCHESTER, NH 03867-4495

MAP 237A LOT 3-161
NATHANIEL & SANDRA BYRNE
118 FILLMORE BLVD.
ROCHESTER, NH 03867

MAP 246 LOT 1
MICHAEL R. GAUTHIER
259 WASHINGTON STREET
ROCHESTER, NH 03839-5425

MAP 246 LOT 2
RICHARD & NORMA HESELTON
251 WASHINGTON STREET
ROCHESTER, NH 03839-5425

OWNER/APPLICANT:

SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NEW HAMPSHIRE 03054-2700

PREPARED BY:

KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

MAY 29, 2018

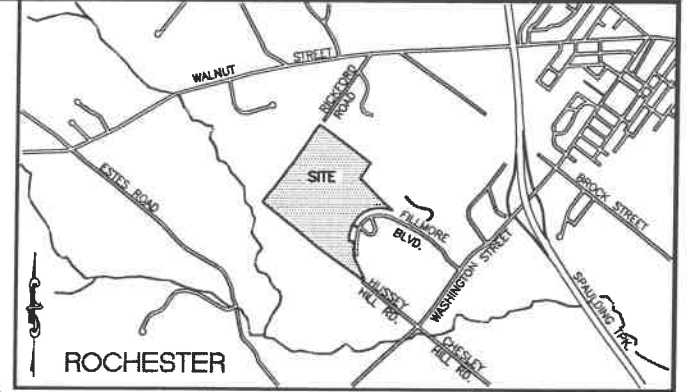
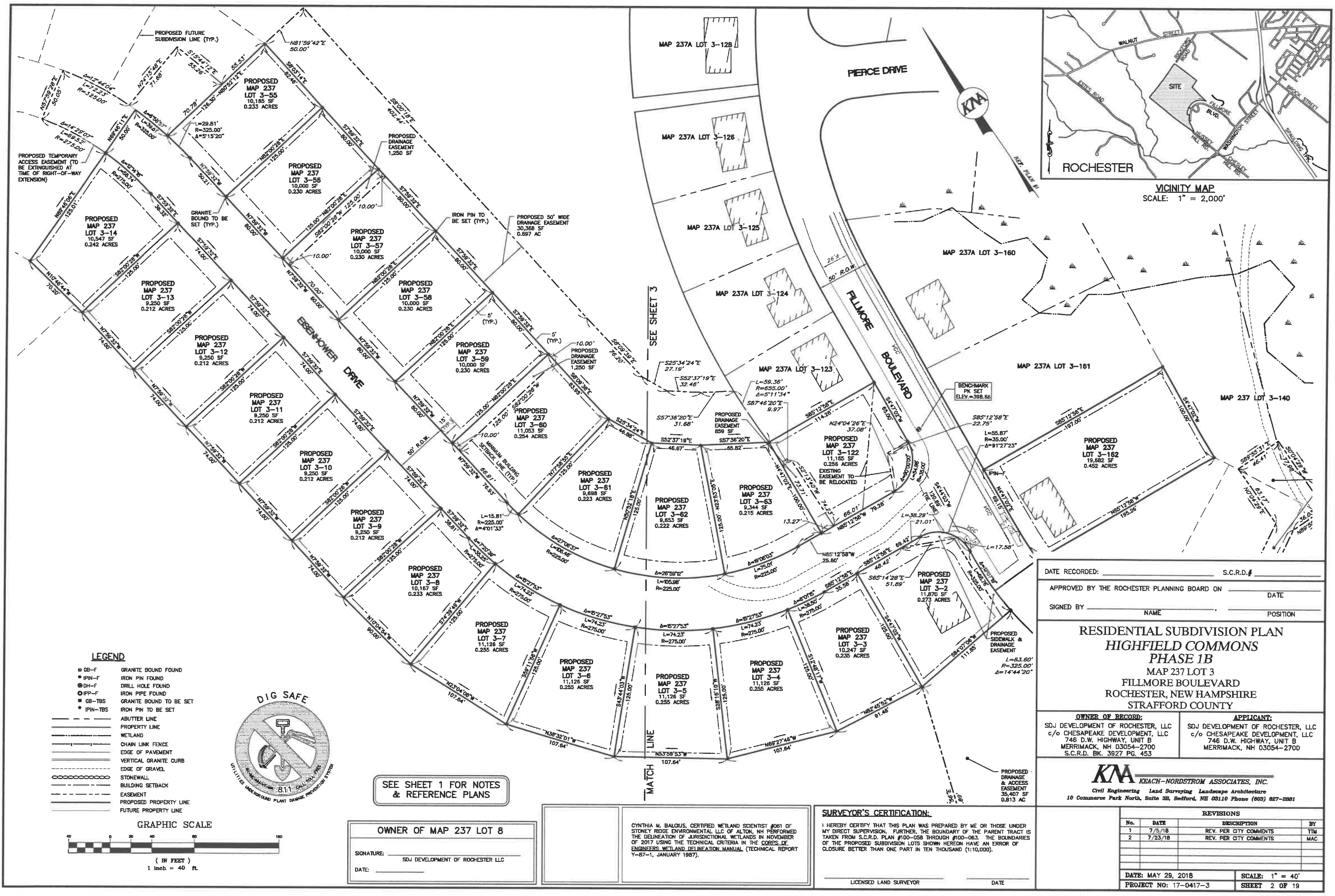
LAST REVISED: JULY 23, 2018

PROJECT NO. 17-0417-3

SHEET TITLE

OVERVIEW PLAN	1
RESIDENTIAL SUBDIVISION PLAN	2 & 3
TOPOGRAPHIC SUBDIVISION PLAN	4
EXISTING CONDITIONS PLAN	5
ROADWAY PLAN	6 & 7
ROADWAY PROFILE	8 & 9
GRADING AND EROSION CONTROL PLAN	10
STORMWATER MANAGEMENT AREA PLAN	11
LANDSCAPE PLAN	12
DRAINAGE PROFILES	13
CONSTRUCTION DETAILS	14 - 19
CROSS SECTIONS	X1 - X4

SHEET No.



VICINITY MAP
SCALE: 1" = 2,000'

DATE RECORDED: _____ S.C.R.D.# _____
APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____
SIGNED BY _____ NAME _____ POSITION _____

**RESIDENTIAL SUBDIVISION PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY**

OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

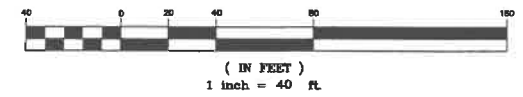
REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018			
PROJECT NO: 17-0417-3			
SCALE: 1" = 40'			
SHEET 2 OF 19			

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED PROPERTY LINE
- FUTURE PROPERTY LINE



GRAPHIC SCALE



SEE SHEET 1 FOR NOTES
& REFERENCE PLANS

OWNER OF MAP 237 LOT 8

SIGNATURE: _____
SDJ DEVELOPMENT OF ROCHESTER LLC

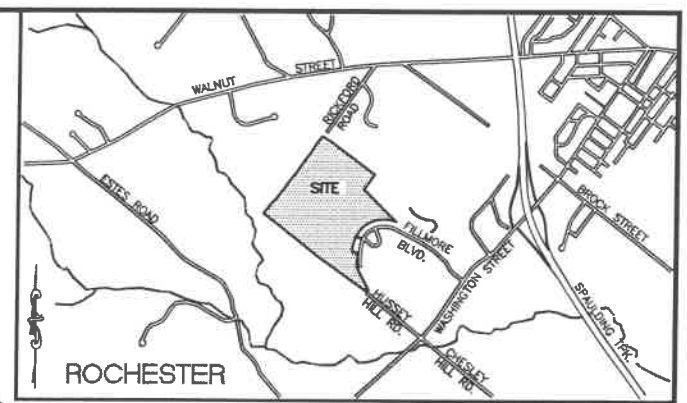
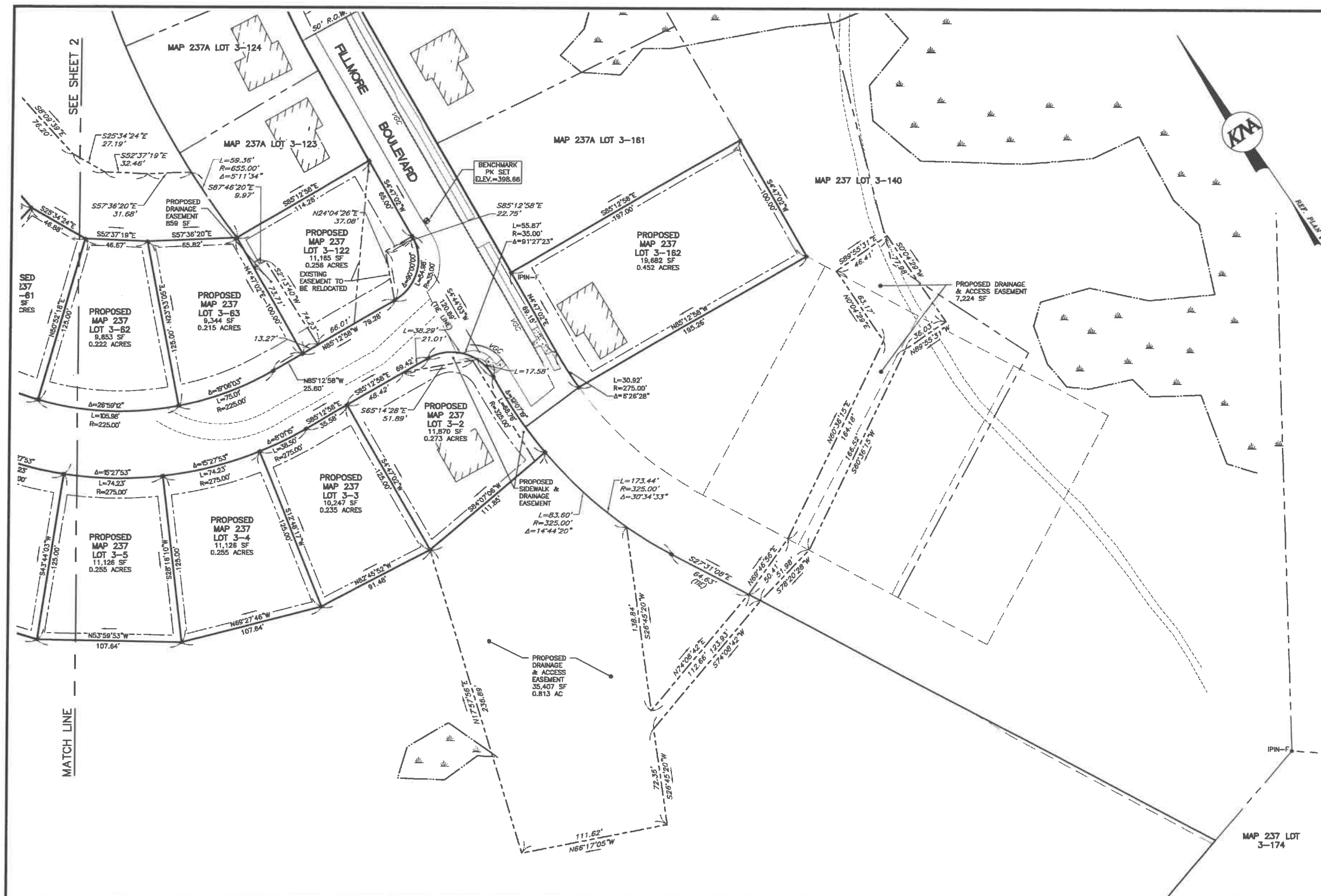
DATE: _____

CYNTHIA M. BALGUIS, CERTIFIED WETLAND SCIENTIST #061 OF STONEY RIDGE ENVIRONMENTAL LLC OF ALTON, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN NOVEMBER OF 2017 USING THE TECHNICAL CRITERIA IN THE CORRESPONDING ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

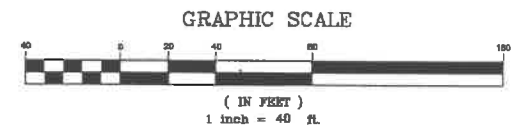
SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THE BOUNDARY OF THE PARENT TRACT IS TAKEN FROM S.C.R.D. PLAN #100-058 THROUGH #100-063. THE BOUNDARIES OF THE PROPOSED SUBDIVISION LOTS SHOWN HEREON HAVE AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR _____ DATE _____



VICINITY MAP
SCALE: 1" = 2,000'



DATE RECORDED: _____ S.C.R.D.# _____
APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____
SIGNED BY _____ NAME _____ POSITION _____

RESIDENTIAL SUBDIVISION PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- EDGE OF GRAVEL
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED PROPERTY LINE
- FUTURE PROPERTY LINE

MAP 237 LOT 3-1



SEE SHEET 1 FOR NOTES
& REFERENCE PLANS

OWNER OF MAP 237 LOT 8

SIGNATURE: _____
SDJ DEVELOPMENT OF ROCHESTER LLC

DATE: _____

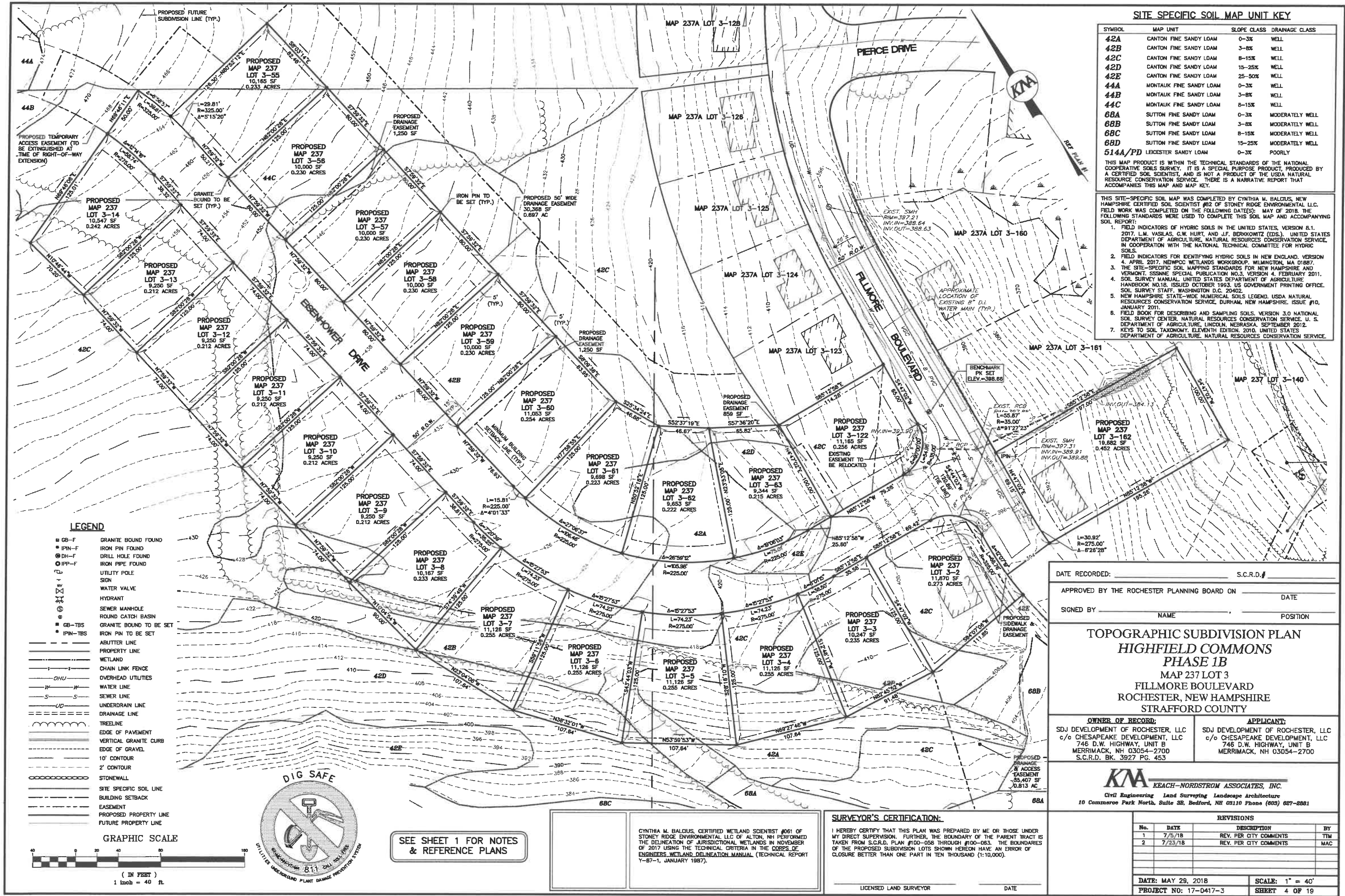
CYNTHIA M. BALCIUS, CERTIFIED WETLAND SCIENTIST #061 OF STONEY RIDGE ENVIRONMENTAL LLC OF ALTON, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN NOVEMBER OF 2017 USING THE TECHNICAL CRITERIA IN THE CODES OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

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LICENSED LAND SURVEYOR _____ DATE _____

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018		SCALE: 1" = 40'	
PROJECT NO: 17-0417-3		SHEET 3 OF 19	



SITE SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS
42A	CANTON FINE SANDY LOAM	0-3%	WELL
42B	CANTON FINE SANDY LOAM	3-8%	WELL
42C	CANTON FINE SANDY LOAM	8-15%	WELL
42D	CANTON FINE SANDY LOAM	15-25%	WELL
42E	CANTON FINE SANDY LOAM	25-50%	WELL
44A	MONTAUK FINE SANDY LOAM	0-3%	WELL
44B	MONTAUK FINE SANDY LOAM	3-8%	WELL
44C	MONTAUK FINE SANDY LOAM	8-15%	WELL
68A	SUTTON FINE SANDY LOAM	0-3%	MODERATELY WELL
68B	SUTTON FINE SANDY LOAM	3-8%	MODERATELY WELL
68C	SUTTON FINE SANDY LOAM	8-15%	MODERATELY WELL
68D	SUTTON FINE SANDY LOAM	15-25%	MODERATELY WELL
514A/PD	LEICESTER SANDY LOAM	0-3%	POORLY

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOILS SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, PRODUCED BY A CERTIFIED SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCE CONSERVATION SERVICE. THERE IS A NARRATIVE REPORT THAT ACCOMPANIES THIS MAP AND MAP KEY.

THIS SITE-SPECIFIC SOIL MAP WAS COMPLETED BY CYNTHIA M. BALCIUS, NEW HAMPSHIRE CERTIFIED SOIL SCIENTIST #82 OF STONEY RIDGE ENVIRONMENTAL LLC. FIELD WORK WAS COMPLETED ON THE FOLLOWING DATE(S): MAY OF 2018. THE FOLLOWING STANDARDS WERE USED TO COMPLETE THIS SOIL MAP AND ACCOMPANYING SOIL REPORT:

1. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, 2017. L.M. VASILAS, G.W. HURT, AND J.F. BERKOWITZ (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
2. FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4, APRIL 2017. NEWPCO WETLANDS WORKGROUP, WILMINGTON, MA 01887.
3. THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, SSNNE SPECIAL PUBLICATION NO.3, VERSION 4, FEBRUARY 2011.
4. SOIL SURVEY MANUAL, UNITED STATES DEPARTMENT OF AGRICULTURE, HANDBOOK NO.18, ISSUED OCTOBER 1993, U.S. GOVERNMENT PRINTING OFFICE, SOIL SURVEY STAFF, WASHINGTON D.C. 20402.
5. NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NATURAL RESOURCES CONSERVATION SERVICE, DURHAM, NEW HAMPSHIRE, ISSUE #10, JANUARY 2011.
6. FIELD BOOK FOR DESCRIBING AND SAMPLING SOILS, VERSION 3.0 NATIONAL SOIL SURVEY CENTER, NATURAL RESOURCES CONSERVATION SERVICE, U. S. DEPARTMENT OF AGRICULTURE, LINCOLN, NEBRASKA, SEPTEMBER 2012.
7. KEYS TO SOIL TAXONOMY, ELEVENTH EDITION, 2010, UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

DATE RECORDED: _____ S.C.R.D.# _____

APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____

SIGNED BY _____ NAME _____ POSITION _____

TOPOGRAPHIC SUBDIVISION PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 687-2861

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THE BOUNDARY OF THE PARENT TRACT IS TAKEN FROM S.C.R.D. P.W. #100-056 THROUGH #100-063. THE BOUNDARIES OF THE PROPOSED SUBDIVISION LOTS SHOWN HEREON HAVE AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

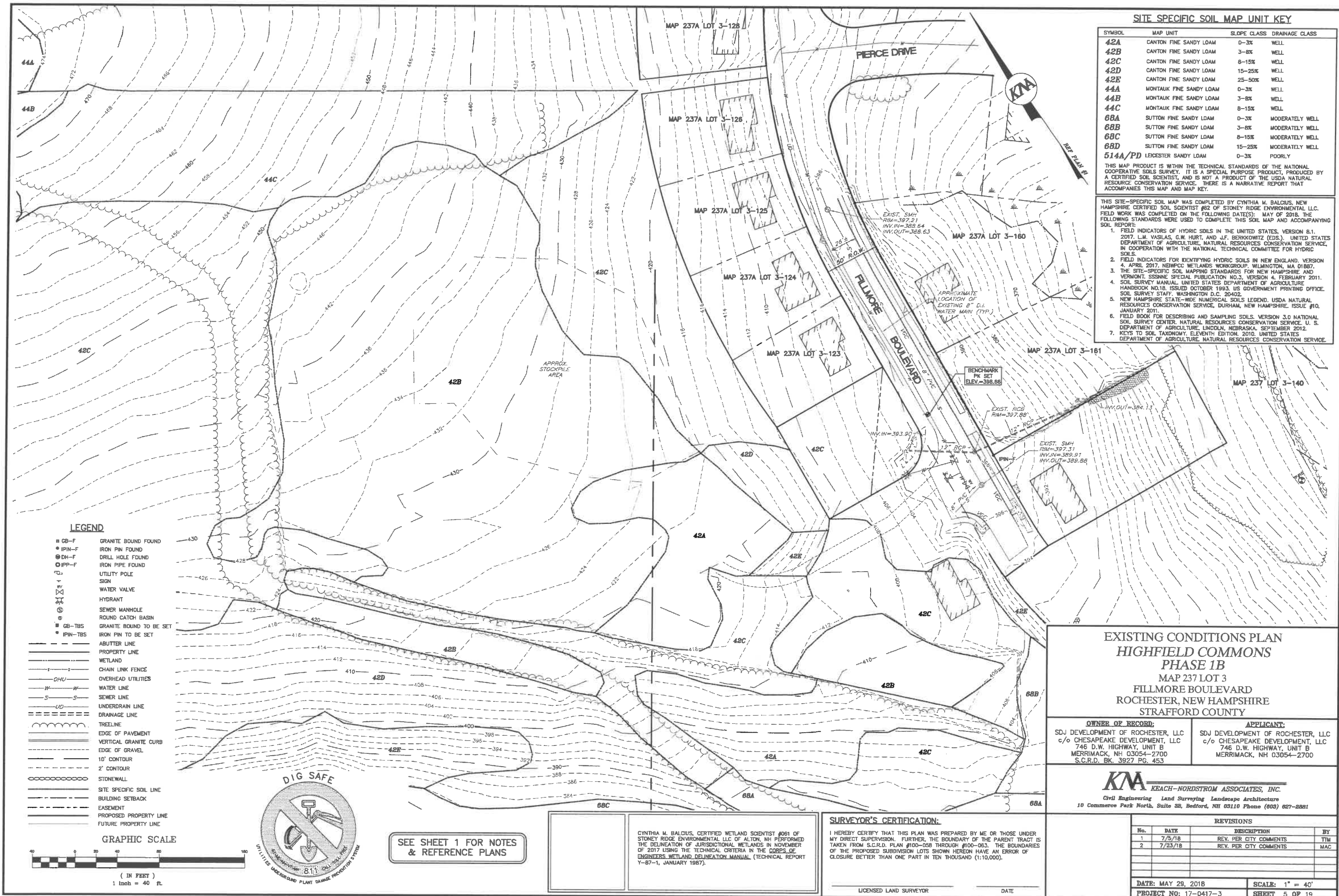
LICENSED LAND SURVEYOR

DATE

SEE SHEET 1 FOR NOTES
& REFERENCE PLANS

CYNTHIA M. BALCIUS, CERTIFIED WETLAND SCIENTIST #861 OF STONEY RIDGE ENVIRONMENTAL LLC OF ALTON, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN NOVEMBER OF 2017 USING THE TECHNICAL CRITERIA IN THE CORES OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018			
PROJECT NO: 17-0417-3		SCALE: 1" = 40'	
		SHEET 4 OF 19	



SEE SHEET 1 FOR NOTES
& REFERENCE PLANS

CYNTHIA M. BALCIUS, CERTIFIED WETLAND SCIENTIST #061 OF STONEY RIDGE ENVIRONMENTAL LLC OF ALTON, NH PERFORMED THE DELINEATION OF JURISDICTIONAL WETLANDS IN NOVEMBER OF 2017 USING THE TECHNICAL CRITERIA IN THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (TECHNICAL REPORT Y-87-1, JANUARY 1987).

SURVEYOR'S CERTIFICATION:

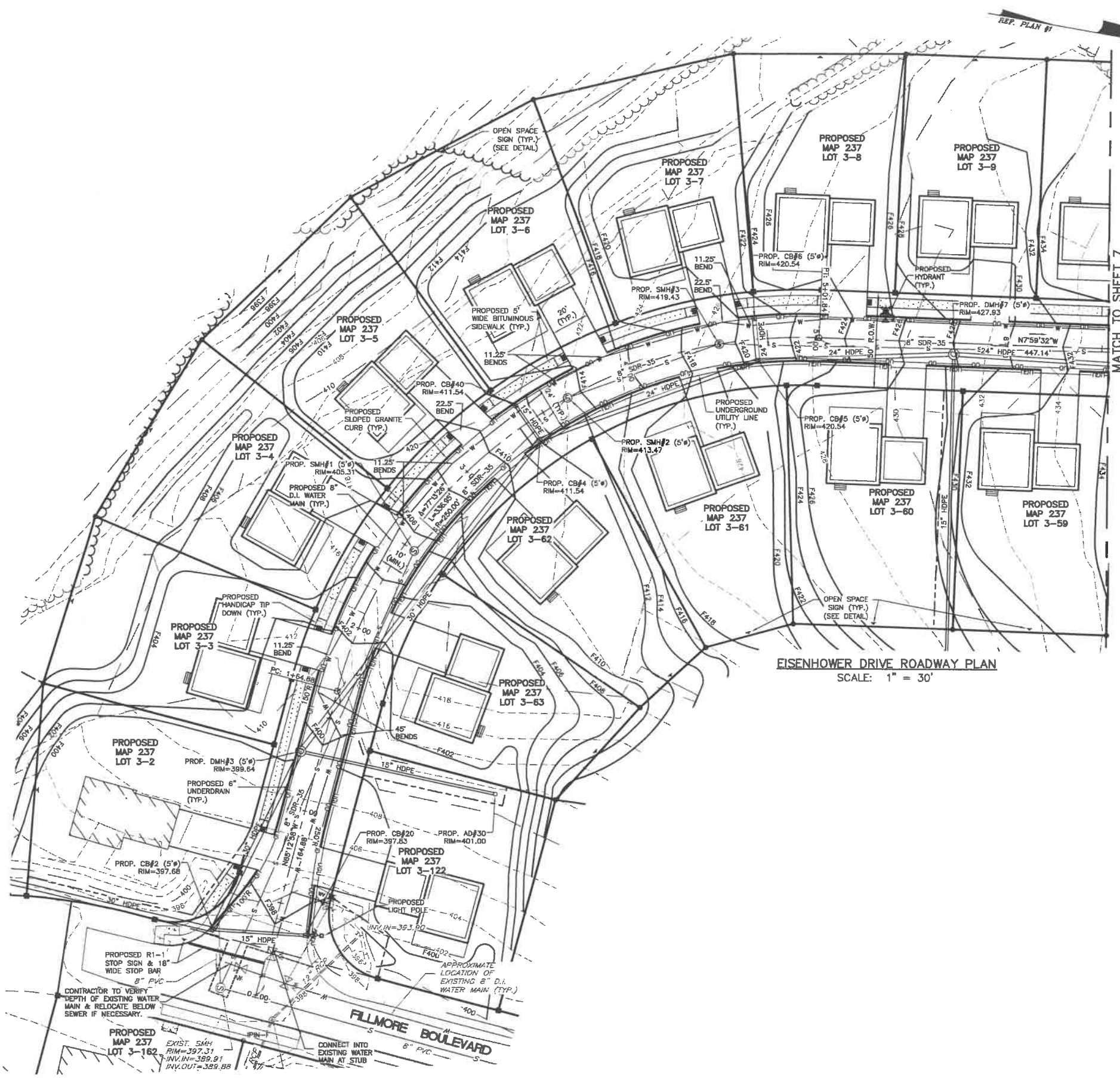
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THE BOUNDARY OF THE PARENT TRACT IS TAKEN FROM S.C.R.D. PLAN #100-058 THROUGH #100-063. THE BOUNDARIES OF THE PROPOSED SUBDIVISION LOTS SHOWN HEREON HAVE AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

LICENSED LAND SURVEYOR

DATE _____

REVISIONS

No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	JTM
	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018		SCALE: 1" = 40'	
PROJECT NO: 17-0417-3		SHEET 5 OF 19	



EISENHOWER DRIVE ROADWAY PLAN
SCALE: 1" = 30'

- LEGEND**
- GB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - IPP-F IRON PIPE FOUND
 - UTILITY POLE
 - SIGN
 - WATER VALVE
 - HYDRANT
 - SEWER MANHOLE
 - ROUND CATCH BASIN
 - GRANITE BOUND TO BE SET
 - IPIN-TBS IRON PIN TO BE SET
 - ABUTTER LINE
 - PROPERTY LINE
 - WETLAND
 - CHAIN LINK FENCE
 - OVERHEAD UTILITIES
 - WATER LINE
 - SEWER LINE
 - UNDERDRAIN LINE
 - DRAINAGE LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - BUILDING SETBACK
 - EASEMENT
 - PROPOSED PROPERTY LINE
 - FUTURE PROPERTY LINE
 - PROPOSED UNDERGROUND UTILITIES
 - PROPOSED WATER LINE
 - PROPOSED SEWER LINE
 - PROPOSED UNDERDRAIN
 - PROPOSED DRAINAGE LINE
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SLOPED GRANITE CURB

NOTES:

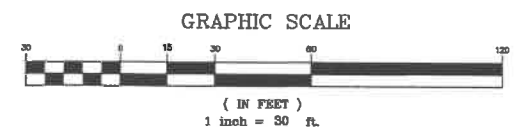
1. DEVELOPERS OF ALL NEW MAJOR SUBDIVISIONS WITH NEW ROADS WHICH ARE INTENDED TO BE CONVEYED TO THE CITY OF ROCHESTER SHALL POST: A) CONSTRUCTION ZONE SIGNS PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS; AND B) STREET ACCEPTANCE SIGNS WITH THE FOLLOWING LANGUAGE AT ALL ENTRY POINTS TO THE SUBDIVISION: "POSTED: THIS SUBDIVISION IS UNDER CONSTRUCTION. THESE STREETS HAVE NOT YET BEEN ACCEPTED BY THE CITY OF ROCHESTER AND ARE NOT ELIGIBLE FOR CITY SERVICES. TRAVEL AT YOUR OWN RISK. (PER ORDER OF PLANNING BOARD)". THE LOCATION AND DESIGN OF THE SIGNS SHALL BE AS STIPULATED BY THE PUBLIC WORKS DEPARTMENT, BUT IN NO CASE SHALL THEY BE LESS THAN 2' X 4' AND THEY SHALL BE ERECTED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS FOR ROAD CONSTRUCTION, PUBLIC WORKS DEPARTMENT, ROCHESTER, NEW HAMPSHIRE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
 - ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED, AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
 - TILL SOIL TO A DEPTH OF 4" MINIMUM AND REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
 - GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDINGS.
 - ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
 - SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC GRADING AND DRAINAGE REQUIREMENTS AT THE BUILDING, WALKWAYS, AND ENTRANCES. INSTALL STEPS, LANDINGS, RAILINGS, AND OTHER FEATURES PER APPLICABLE CODES.
 - ALL CATCH BASINS SHALL HAVE A 4'-0" SUMP.
 - ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF THE WATER LINES SHALL CONFORM TO ALL THE LOCAL PRECINCT'S STANDARDS, SPECIFICATIONS, RULES, AND REGULATIONS.
 - ALL WORKMANSHIP AND MATERIALS INCORPORATED INTO THE CONSTRUCTION OF THE ELECTRIC AND TELEPHONE LINES SHALL CONFORM WITH THE STANDARDS OF THE LOCAL PROVIDER.
 - ALL UTILITY CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN SECTION I - POTABLE WATER DESIGN STANDARDS AND SECTION II - SANITARY SEWER DESIGN STANDARDS.
 - ONLY CONTRACTORS THAT HAVE BEEN GRANTED A WATER/SEWER LICENSE SHALL BE PERMITTED TO INSTALL ANY APPURTENANCE OR WATER/SEWER CONNECTION IN THE FILLMORE BOULEVARD RIGHT-OF-WAY.
 - PER RSR 6.4.3, FOLLOWING CONSTRUCTION, A PLAN SHALL BE SUBMITTED TO THE BOARD AND CITY ENGINEER BY THE ENGINEER OR LAND SURVEYOR INDICATING THEREON THE INVERT GRADES OF ALL STORM DRAINAGE AT ALL CATCH BASINS AND MANHOLES. THE ENGINEER SHALL CERTIFY THAT THE GRADES SHOWN ON THIS PLAN REPRESENT THE GRADES AS CONSTRUCTED.
 - PER RSR 6.6.3, ALL UTILITIES WITHIN THE LIMITS OF FILLMORE BOULEVARD SHALL BE INSPECTED BY A REPRESENTATIVE OF THE CITY PRIOR TO BACKFILLING OF TRENCHES OR OTHER COVERING OF THE SERVICES.
 - AN ACCURATE RECORD OF THE LOCATION AND DEPTH OF ALL UTILITIES SHALL BE KEPT BY THE DEVELOPER OR HIS/HER REPRESENTATIVE AND A COPY SHALL BE PROVIDED TO THE CITY.

SEE SHEETS 8 & 9 FOR
ROADWAY PROFILES

LOAM & SEED ALL
DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND
EROSION CONTROL PLANS FOR
DETAILED POND INFORMATION



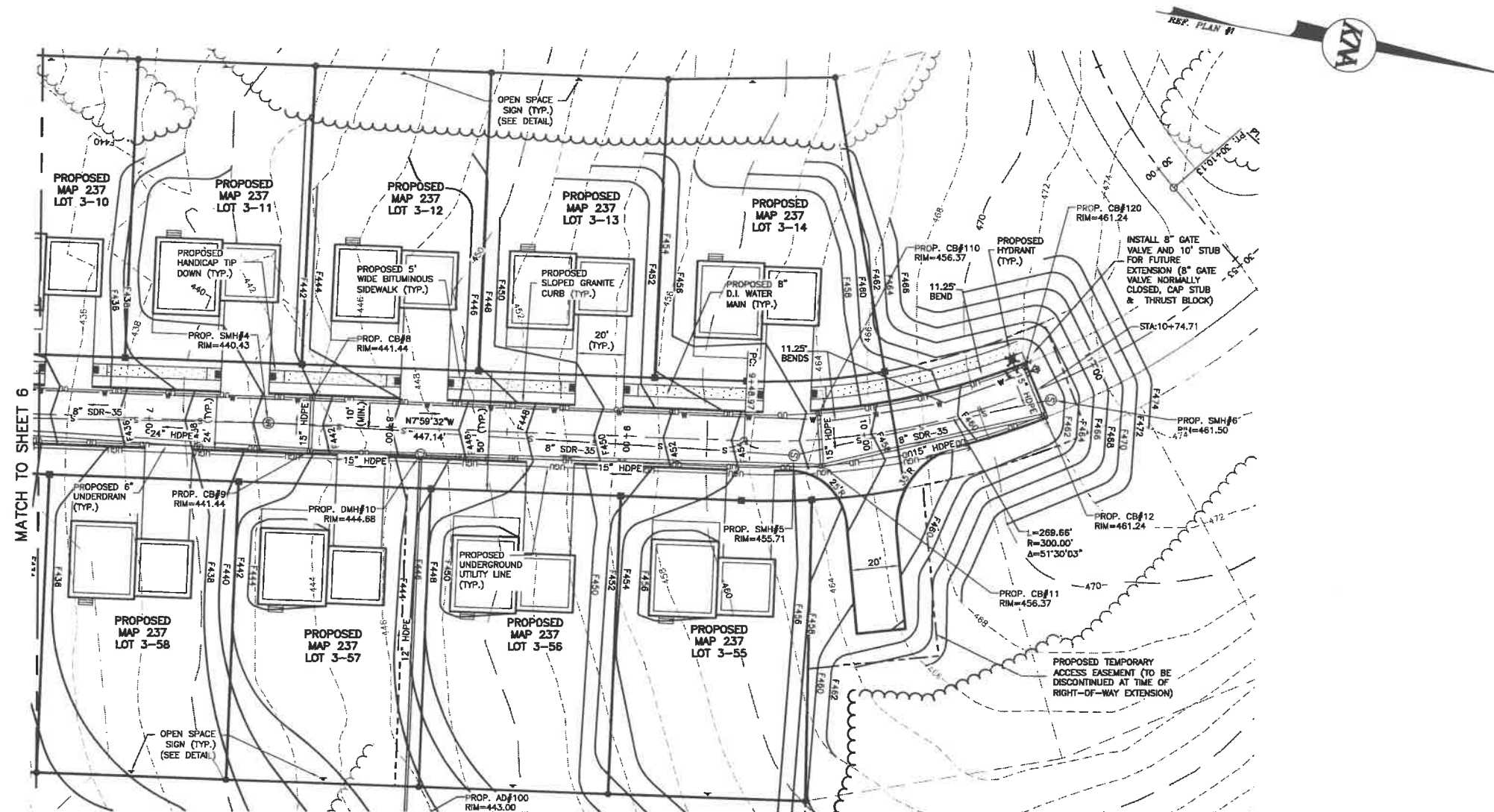
**ROADWAY PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY**

OWNER OF RECORD:
SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

APPLICANT:
SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018 SCALE: 1" = 30'			
PROJECT NO: 17-0417-3 SHEET 6 OF 19			



EISENHOWER DRIVE ROADWAY PLAN
SCALE: 1" = 30'

LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- U UTILITY POLE
- S SIGN
- W WATER VALVE
- H HYDRANT
- SM SEWER MANHOLE
- RCB ROUND CATCH BASIN
- GB-TBS GRANITE BOUND TO BE SET
- IPIN-TBS IRON PIN TO BE SET
- ABUTTER LINE
- PROPERTY LINE
- WETLAND
- CHAIN LINK FENCE
- OHU OVERHEAD UTILITIES
- W WATER LINE
- S SEWER LINE
- UD UNDERDRAIN LINE
- DRAINAGE LINE
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- EDGE OF GRAVEL
- 10' CONTOUR
- 2' CONTOUR
- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED PROPERTY LINE
- FUTURE PROPERTY LINE
- PROPOSED UNDERGROUND UTILITIES
- W PROPOSED WATER LINE
- S PROPOSED SEWER LINE
- UD PROPOSED UNDERDRAIN
- UD PROPOSED DRAINAGE LINE
- TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB

SEE SHEET 6 FOR
CONSTRUCTION NOTES

SEE SHEETS 8 & 9 FOR
ROADWAY PROFILES

LOAM & SEED ALL
DISTURBED AREAS (TYP.)

SEE GRADING, DRAINAGE AND
EROSION CONTROL PLANS FOR
DETAILED POND INFORMATION



GRAPHIC SCALE



ROADWAY PLAN HIGHFIELD COMMONS PHASE 1B MAP 237 LOT 3 FILLMORE BOULEVARD ROCHESTER, NEW HAMPSHIRE STRAFFORD COUNTY

OWNER OF RECORD:
SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

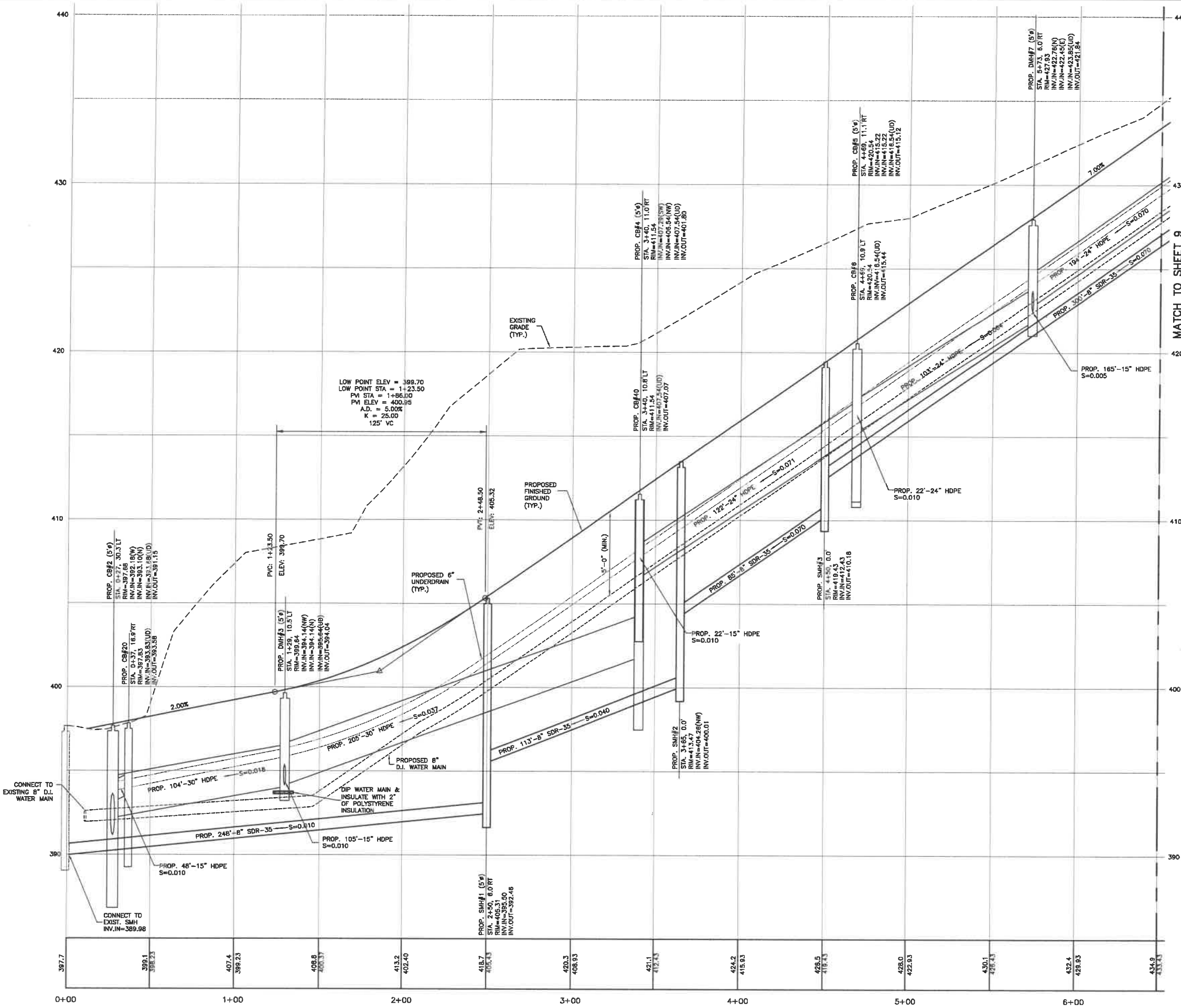
APPLICANT:
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c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

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10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

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2	7/23/18	REV. PER CITY COMMENTS	MAC

DATE: MAY 29, 2018 SCALE: 1" = 30'
PROJECT NO: 17-0417-3 SHEET 7 OF 19



SEE SHEET 6 FOR
CONSTRUCTION NOTES

SEE SHEETS 6 & 7 FOR
ROADWAY PLAN



ROADWAY PROFILE
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

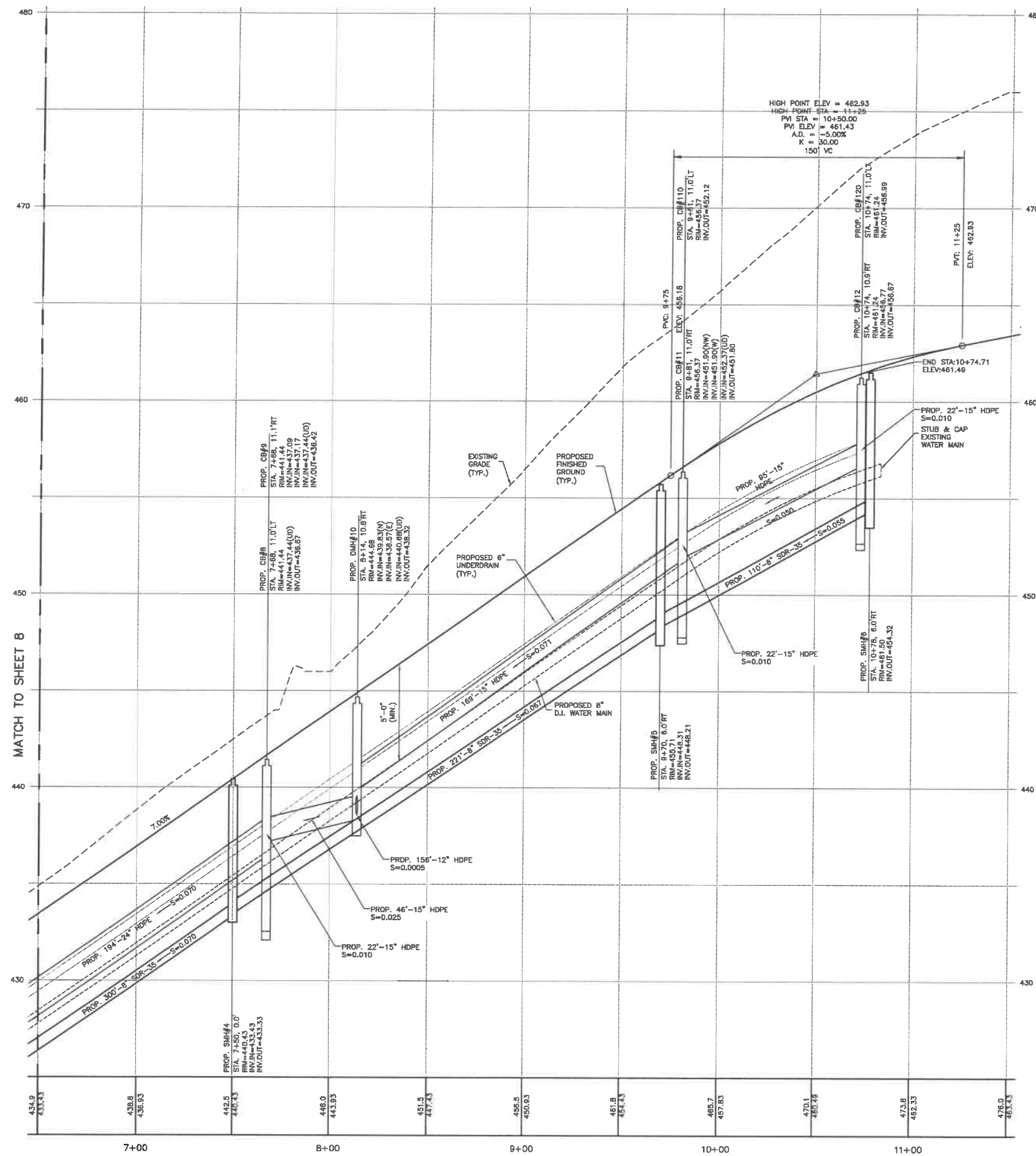
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746 D.W. HIGHWAY, UNIT B
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S.C.R.D. BK. 3927 PG. 453

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2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018		SCALE: 1" = 30'	
PROJECT NO: 17-0417-3		SHEET 8 OF 19	

EISENHOWER DRIVE ROADWAY PROFILE
SCALE: 1" = 30' (HORIZ.)
1" = 3' (VERT.)



SEE SHEET 6 FOR
CONSTRUCTION NOTES

SEE SHEETS 6 & 7 FOR
ROADWAY PLAN



ROADWAY PROFILE
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC
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746 D.W. HIGHWAY, UNIT B
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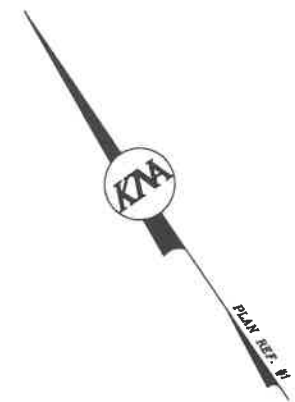
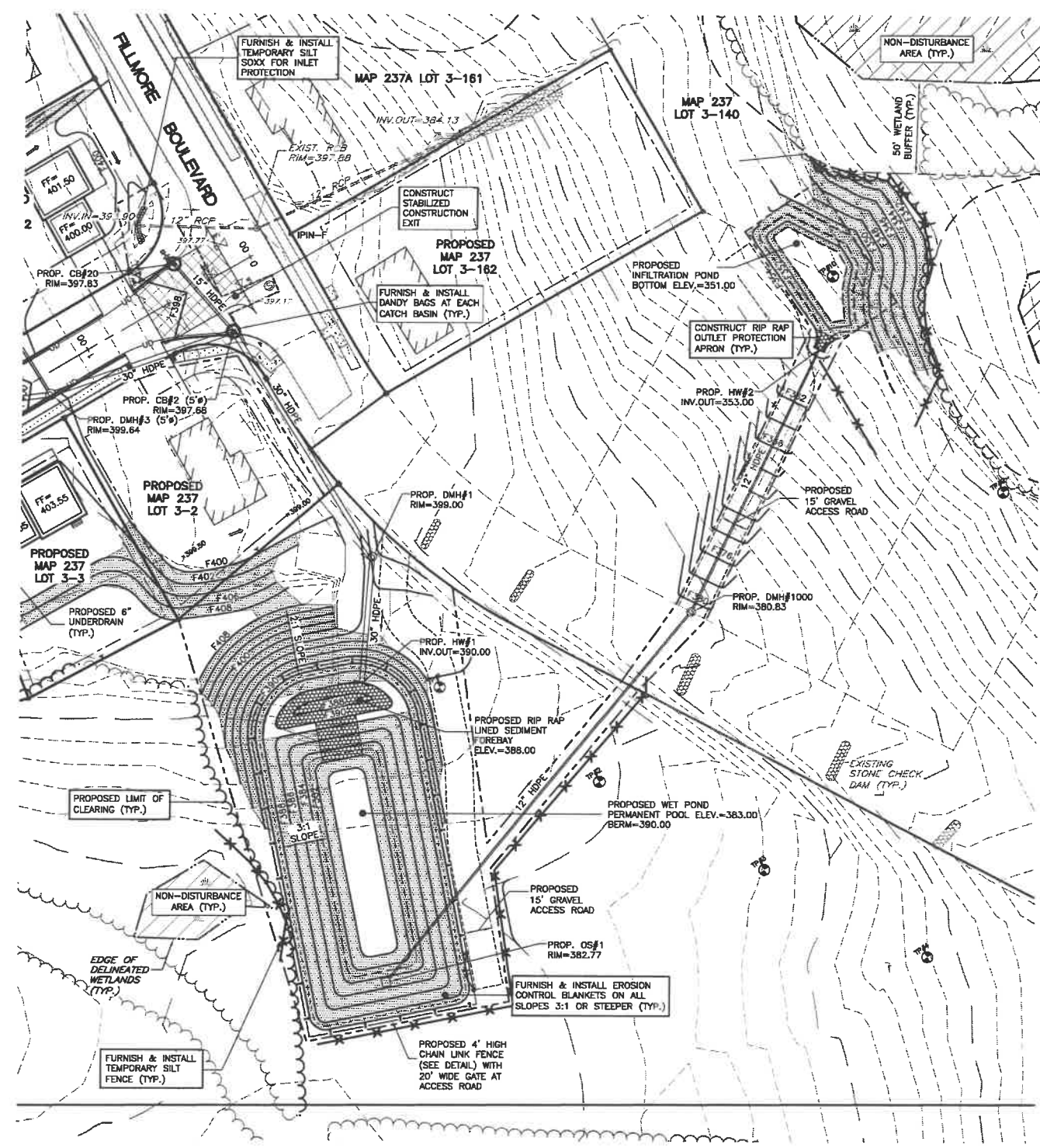
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DATE: MAY 29, 2018		SCALE: 1" = 30'	
PROJECT NO: 17-0417-3		SHEET 9 OF 19	

- LEGEND**
- GB-F GRANITE BOUND FOUND
 - IPIN-F IRON PIN FOUND
 - DH-F DRILL HOLE FOUND
 - IPP-F IRON PIPE FOUND
 - UTILITY POLE
 - SIGN
 - WATER VALVE
 - HYDRANT
 - SEWER MANHOLE
 - ROUND CATCH BASIN
 - GB-TBS GRANITE BOUND TO BE SET
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 - UNDERDRAIN LINE
 - DRAINAGE LINE
 - TREELINE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - EDGE OF GRAVEL
 - 10' CONTOUR
 - 2' CONTOUR
 - STONEWALL
 - BUILDING SETBACK
 - EASEMENT
 - PROPOSED PROPERTY LINE
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 - PROPOSED WATER LINE
 - PROPOSED SEWER LINE
 - PROPOSED UNDERDRAIN
 - PROPOSED DRAINAGE LINE
 - PROPOSED TREELINE
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED SLOPED GRANITE CURB

- EROSION & SEDIMENT CONTROL LEGEND**
- PERMANENT OUTLET PROTECTION APRON (RIP RAP)
 - TEMPORARY DANDY BAGS AT ALL CATCH BASINS
 - SILT FENCE
 - LIMITS OF CLEARING
 - TEMPORARY SILT SOXX
 - STABILIZED CONSTRUCTION EXIT
 - NON DISTURBANCE AREA
 - STAGING AND STOCKPILE AREA
 - EROSION CONTROL BLANKETS

NPDES NOTE

THIS PROJECT DISTURBS IN EXCESS OF 1-ACRE OF LAND. THEREFORE IT WILL BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE OWNER/DEVELOPER AND "OPERATOR" (GENERAL CONTRACTOR) SHALL EACH BE REQUIRED TO PREPARE AND SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MEETING THE REQUIREMENTS OF THE CURRENT CONSTRUCTION GENERAL PERMIT.



SEE SHEET 10 FOR EROSION CONTROL NOTES

SEE SHEET 10 FOR DRAINAGE NOTES

LOAM & SEED ALL DISTURBED AREAS (TYP.)



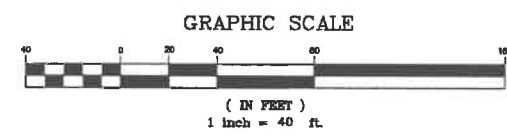
STORMWATER MANAGEMENT AREA PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD:		APPLICANT:	
SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453		SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700	

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Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 30, Bedford, NH 03110 Phone (603) 627-2881

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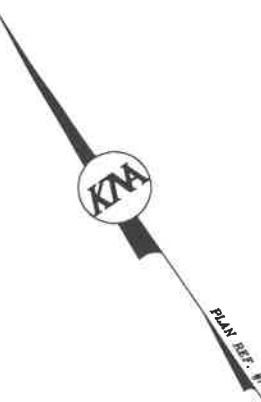
DATE: MAY 29, 2018	SCALE: 1" = 40'
PROJECT NO: 17-0417-3	SHEET 11 OF 19





LANDSCAPE NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
5. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.

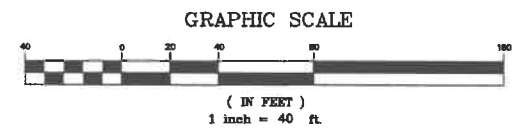


LEGEND

- GB-F GRANITE BOUND FOUND
- IPIN-F IRON PIN FOUND
- DH-F DRILL HOLE FOUND
- IPP-F IRON PIPE FOUND
- UTILITY POLE
- SIGN
- WATER VALVE
- HYDRANT
- SEWER MANHOLE
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- TREELINE
- EDGE OF PAVEMENT
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- STONEWALL
- BUILDING SETBACK
- EASEMENT
- PROPOSED PROPERTY LINE
- FUTURE PROPERTY LINE
- PROPOSED TREELINE
- PROPOSED EDGE OF PAVEMENT
- PROPOSED SLOPED GRANITE CURB

PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Qc	6	QUERCUS COCINEA	SCARLET OAK	2-2.5" CAL.	80'+
Tc	9	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLE LEAF LINDEN	2-2.5" CAL.	40-80'



LANDSCAPE PLAN
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD:
SDJ DEVELOPMENT OF ROCHESTER, LLC
c/o CHESAPEAKE DEVELOPMENT, LLC
746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700
S.C.R.D. BK. 3927 PG. 453

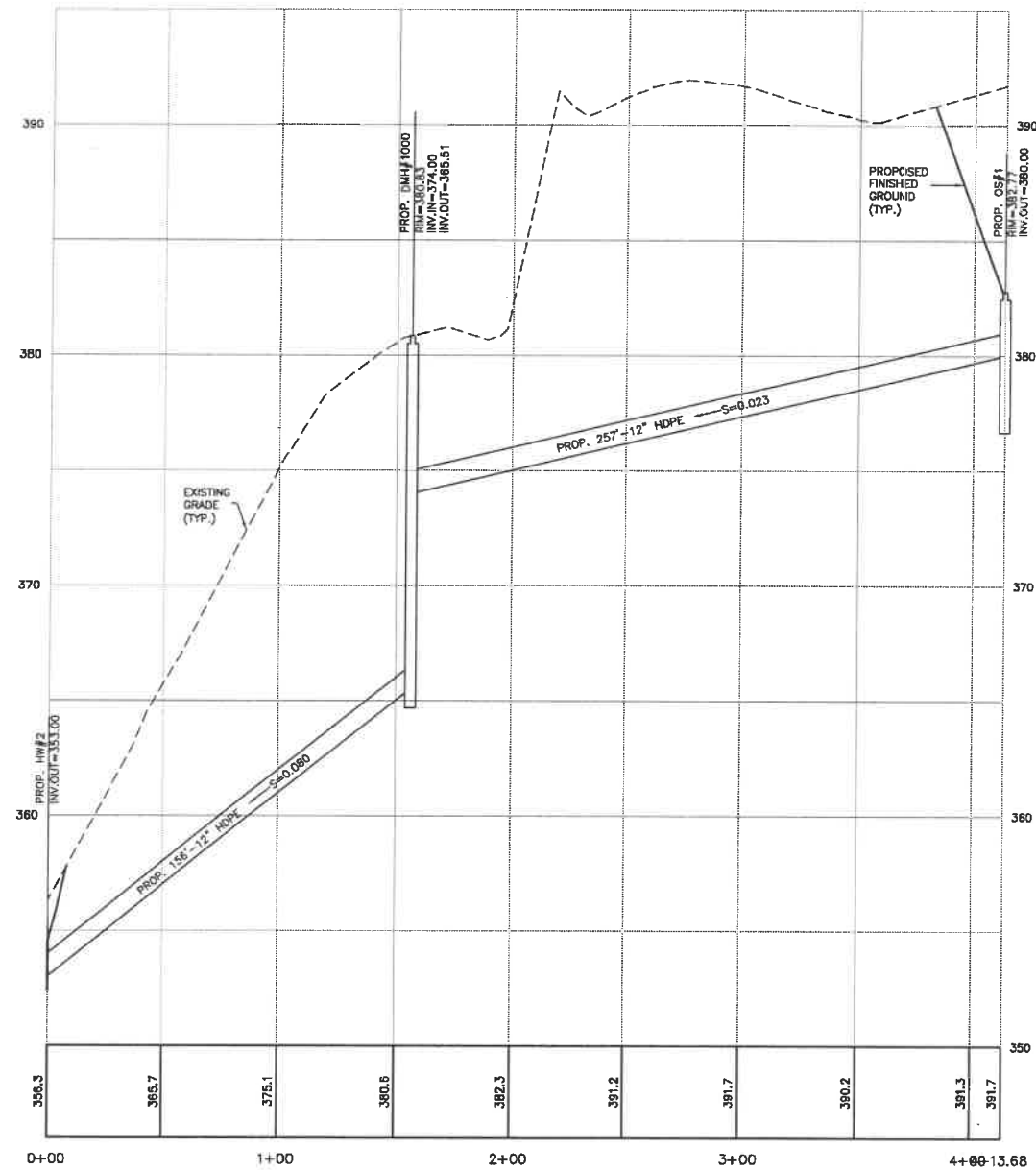
APPLICANT:
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746 D.W. HIGHWAY, UNIT B
MERRIMACK, NH 03054-2700

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Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 5B, Bedford, NH 03110 Phone (603) 627-2881

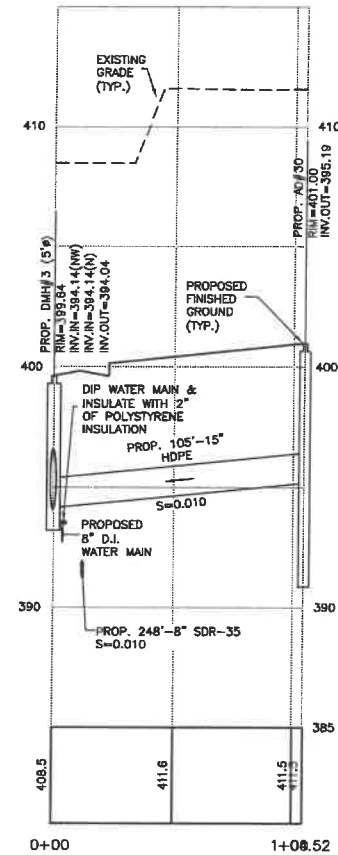
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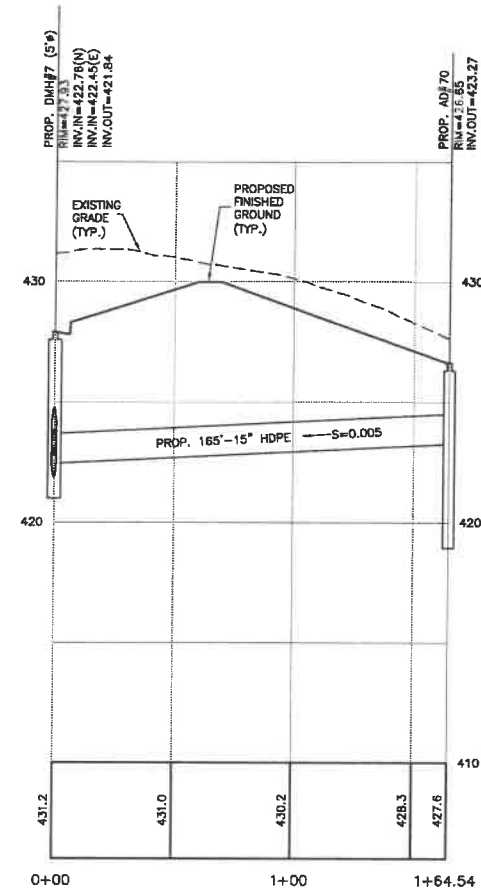
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SHEET 12 OF 19



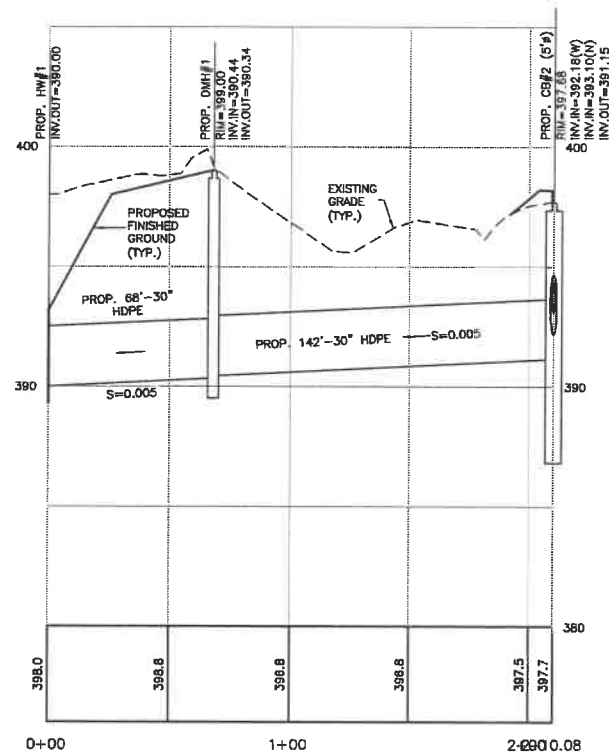
PROP. HW#2 TO PROP. OS#1
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



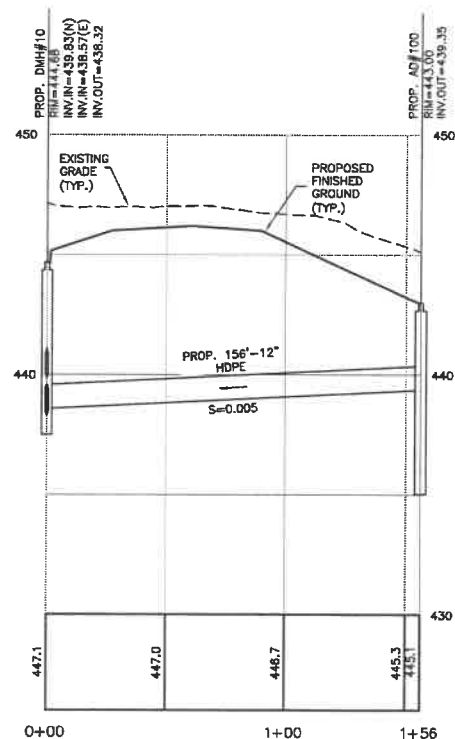
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SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



PROP. DMH#7 TO PROP. AD#70
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



PROP. HW#1 TO PROP. CB#2
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)



PROP. DMH#10 TO PROP. AD#100
SCALE: 1" = 40' (HORIZ.)
1" = 4' (VERT.)

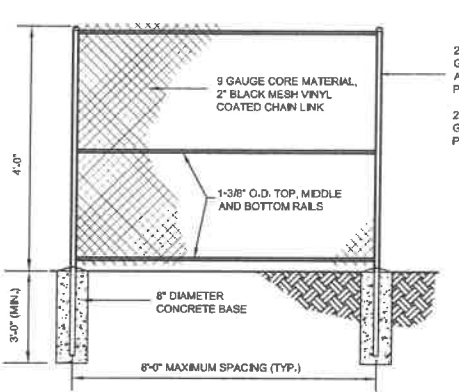
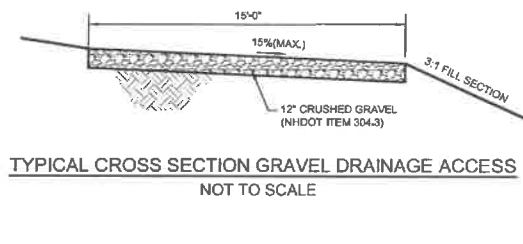
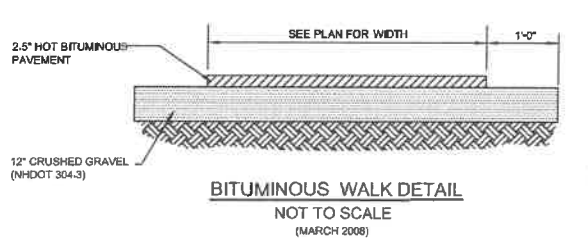


**DRAINAGE PROFILES
HIGHFIELD COMMONS
PHASE 1B**
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453	APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700
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DATE: MAY 29, 2018		SCALE: AS SHOWN	
PROJECT NO: 17-0417-3		SHEET 13 OF 19	



TURF ESTABLISHMENT SCHEDULE

PURPOSE:
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

- PREPARATION AND EXECUTION:**
1. RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDED TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
 2. PLACE LOAM OVER AREAS TO BE SEEDED AND SPREAD.
 3. FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED; TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
 4. IF THE PH OF THE SOIL NEEDS TO BE RAISED, APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
 5. APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
 6. DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDED BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
 7. SEEDING AND INITIAL FERTILIZING SHALL BE DONE BETWEEN APRIL 1 AND JUNE 1 OR BETWEEN AUGUST 15 AND OCTOBER 14, OR AS PERMITTED. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER OR WHEN THE GROUND IS FROZEN, EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
 8. WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
 9. PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEED.
 10. WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 14, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

MAINTENANCE:
ALL SEEDED AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDED AREA. MAINTAIN SEEDED AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

APPLICATION RATES:

1. LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 6 INCHES.
2. LIME SHALL BE USED WHEN NECESSARY TO RAISE THE PH OF THE SOIL AND APPLIED AT ONE OF THE FOLLOWING RATES:

EXISTING SOIL PH	TONS/ACRE	POUNDS/CUBIC YARD
4.0 - 4.4	3	12
4.5 - 4.9	2	8
5.0 - 5.4	1	4

FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:		
INITIAL APPLICATION	POUNDS/1,000 SF	MEASUREMENT FACTOR
10-10-10	20.0	1.0
15-15-15	13.4	1.5
19-19-19	10.5	1.9

REFERTILIZATION		
POUNDS/1,000 SF	MEASUREMENT FACTOR	
10-3-6	20.0	1.0
12-2-6	16.7	1.2
12-4-6	16.7	1.2

4. MULCH SHALL BE APPLIED AT A RATE OF 13 CUBIC YARDS PER 1,000 S.F. OF LANDSCAPE BED.

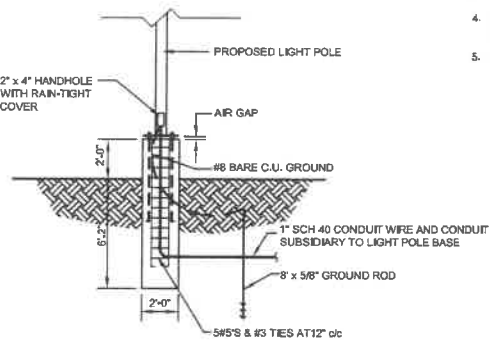
- MATERIALS:**
1. LOAM SHALL CONSIST OF LOOSE, FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE OF VIABLE PARTS OF PROHIBITED INVASIVE PLANTS AND BE GENERALLY FREE OF STONES, LIMPS, STUMPS AND SIMILAR OBJECTS LARGER THAN 2 INCHES IN GREATEST DIAMETER, SUBSOIL, ROOTS AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6.
 2. LIME SHALL BE A CALCIC OR DOLOMITIC GRADE FERTILIZER CONTAINING NOT LESS THAN 85% OF EITHER CALCIUM OR MAGNESIUM CARBONATE, OR BOTH. IT SHALL CONFORM TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS AND SHALL COMPLY WITH ALL STATE AND FEDERAL RULES AND REGULATIONS.
 3. FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE FERTILIZER CONFORMING TO ALL STATE AND FEDERAL RULES AND REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. EXCEPT AS PERMITTED, THE ANALYSIS RATIO SHALL BE 1:1:1 FOR INITIAL APPLICATION AND 3:1:2 FOR REFERTILIZATION APPLICATION.
 4. GRASS SEED SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE AGRICULTURAL AND VEGETABLE SEED LAWS AND SHALL INCLUDE NO "PRIMARY NOXIOUS WEED SEEDS."
 5. SEED MIXTURE FOR LAWN AREAS SHALL CONSIST OF THE FOLLOWING:

KIND OF SEED	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	POUNDS/ACRE (TOTAL 120 POUNDS)
CREeping RED FESCUE	96	85	40
PERENNIAL RYEGRASS	98	90	50
KENTUCKY BLUEGRASS	97	85	25
REDTOP	95	80	5

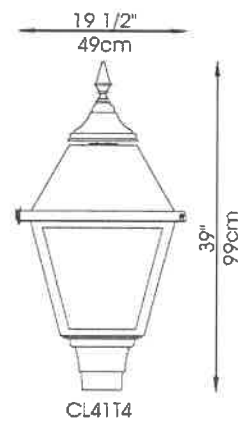
SEED MIXTURE FOR SLOPE AREAS SHALL CONSIST OF THE FOLLOWING:			
KIND OF SEED	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	POUNDS/ACRE (TOTAL 95 POUNDS)
CREeping RED FESCUE	96	85	35
PERENNIAL RYEGRASS	98	90	30
REDTOP	98	80	5
ALSIKE CLOVER	97	90	5
BIRDSFOOT TREFOIL	98	80	5
ANCE-LEAVED COREOPSIS	95	80	4
OXEYE DAISS	95	80	3
BLACKEYED SUSAN	95	80	4
WILD LUPINE	95	80	4

7. TEMPORARY SEEDING MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 SF AND SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:
15% BLACKWELL OR SHELTER SWITCHGRASS
30% NIAGRA OR KAW BIG BLUESTEM
30% CAMPER OR BLAZE LITTLESTEM
15% NE-27 OR BLAZE SAND LOVEGRASS
10% VIKING BIRDSFOOT TREFOIL
INOCULUM SPECIFIC TO BIRDSFOOT TREFOIL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.
8. SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES, SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 SF, AND SHALL CONSIST OF THE FOLLOWING:
25% CREeping RED FESCUE
15% SWITCH GRASS
15% FOX SEDGE
15% CREeping BENTGRASS
10% FLATPEA
20% WILDFLOWER VARIETY
9. STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS, INVASIVE SPECIES OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.

- SOD SPECIFICATIONS:**
1. SOD SHALL BE PROVIDED WITH A STRONG ROOT SYSTEM, NOT LESS THAN TWO YEARS OLD AND SHALL BE FREE OF ANY UNDESIRABLE NATIVE GRASSES OR WEEDS.
 2. SOD SHALL BE MACHINE CUT TO A THICKNESS NOT LESS THAN 3/4", EXCLUDING THATCH, AND SHALL BE CAPABLE OF VIGOROUS GROWTH WHEN PLANTED.
 3. SOD PADS SHALL BE OF UNIFORM SIZE AND COMPOSED OF AT LEAST TWO LOCAL GRASS VARIETIES.
 4. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS, DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAMP SOD TO ENSURE CONTACT WITH SOIL.
 5. WATER WITHIN ONE HOUR OF PLANTING WITH A FINE SPRAY.



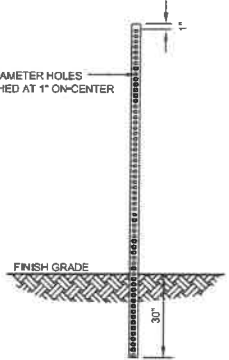
CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



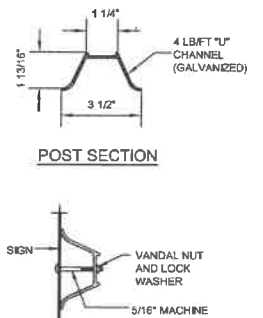
LIGHT FIXTURE DETAIL (15' AFG)
SCALE: 1" = 800"±



OPEN SPACE SIGN DETAIL
NOT TO SCALE



POST



MOUNTING



STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

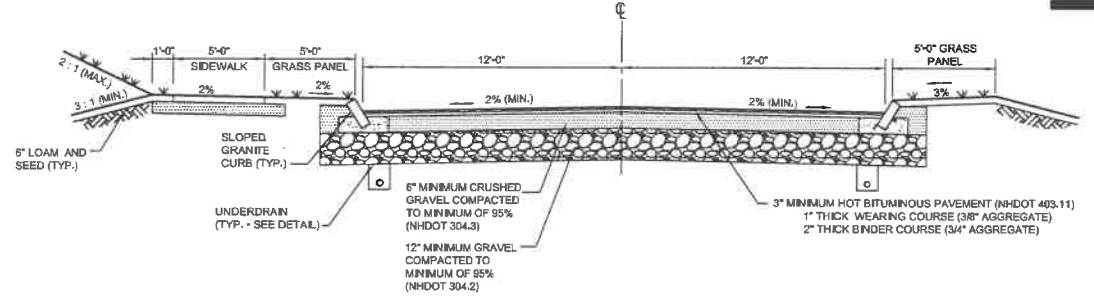
- TRAFFIC SIGN NOTES:**
1. ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
 2. ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.

- STRIPING NOTES:**
1. ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THESE STANDARDS AND THE CURRENT EDITION OF MUTCD.
 2. WIDTH OF LINES SHALL VARY NO MORE THAN 1/4 INCH FROM THAT SPECIFIED.
 3. THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.
 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.

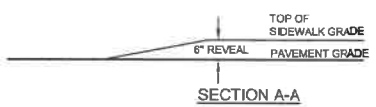
STEEL SIGN POST DETAIL
NOT TO SCALE
(MARCH 2008)



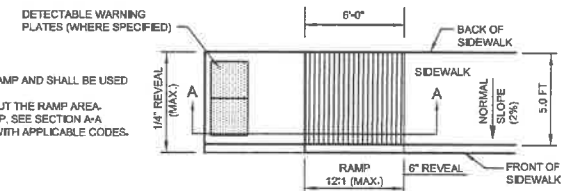
STOP BAR



PUBLIC ROADWAY SECTION WITH SIDEWALK
NOT TO SCALE

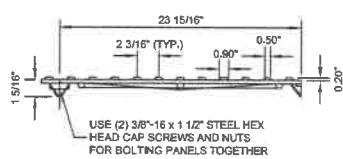
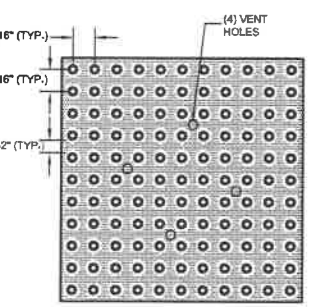


SECTION A-A



SIDEWALK RAMP
NOT TO SCALE

- NOTES:**
1. A BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP AND SHALL BE USED ON PORTLAND CEMENT CONCRETE RAMP.
 2. MAINTAIN THE NORMAL PAVEMENT PROFILE THROUGHOUT THE RAMP AREA.
 3. MAINTAIN A MAXIMUM 1/4" OF CURB REVEAL AT THE RAMP. SEE SECTION A-A
 4. DETECTABLE WARNINGS TO BE USED IN ACCORDANCE WITH APPLICABLE CODES.



- NOTES:**
1. DETECTABLE WARNING PLATE SHALL BE NEENAH FOUNDRY OR APPROVED EQUAL.
 2. THE PLATE MUST COMPLY WITH ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES) AND ARCHITECTURAL BARRIER ACT GUIDELINES.
 3. MATERIAL SHALL BE CAST GRAY IRON
 4. FINISH: NO PAINT

24" x 24" DETECTABLE WARNING PLATE DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS
HIGHFIELD COMMONS
PHASE 1B
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

<p>OWNER OF RECORD: SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453</p>	<p>APPLICANT: SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700</p>
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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC

DATE: MAY 29, 2018

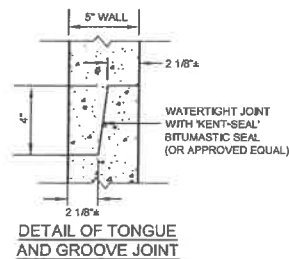
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PROJECT NO: 17-0417-3

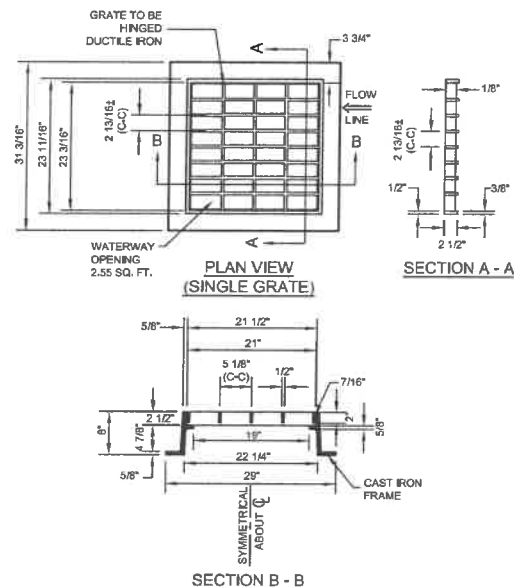
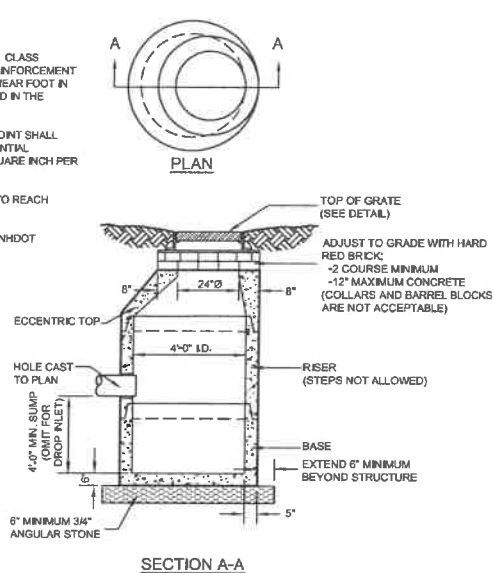
SHEET 14 OF 19

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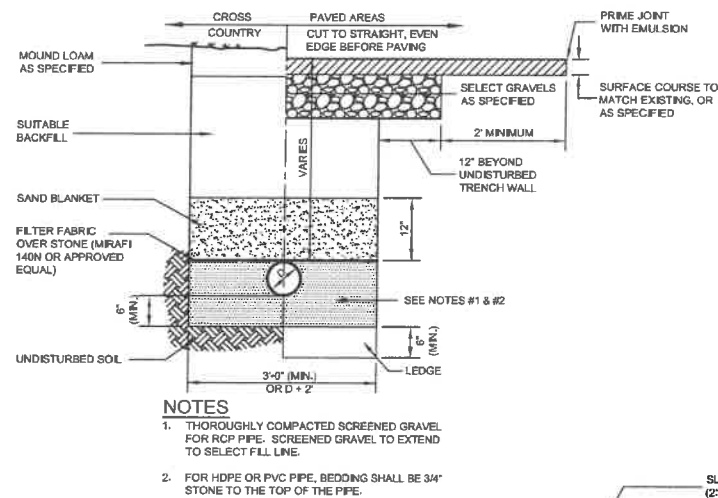
- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCH PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCH PER LINEAR FOOT.
- RISE OF 1", 2", 3" & 4" CAN BE USED TO REACH DESIRED DEPTH.
- MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



PRECAST REINFORCED CATCH BASIN
NOT TO SCALE
(MAY 2012)

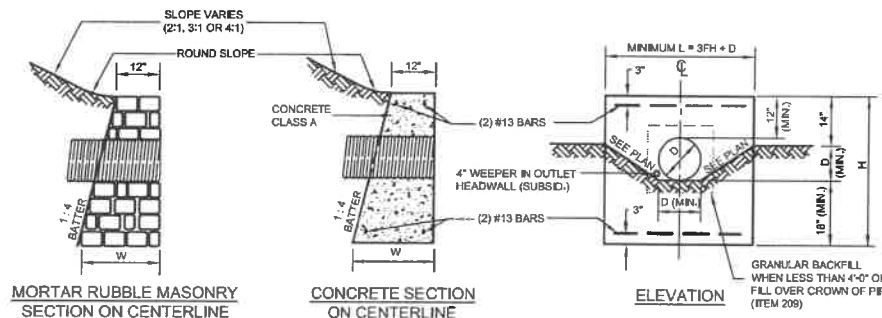


TYPE B FRAME & GRATE DETAIL
NOT TO SCALE
(MARCH 2008)



STORM DRAINAGE TRENCH DETAIL
NOT TO SCALE
(MARCH 2008)

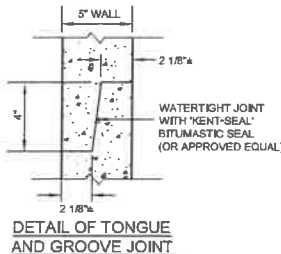
SLOPE ROUNDING AT TOP OF CULVERT HEADWALL
NOT TO SCALE



MORTAR RUBBLE MASONRY SECTION ON CENTERLINE
NOT TO SCALE
(MARCH 2008)

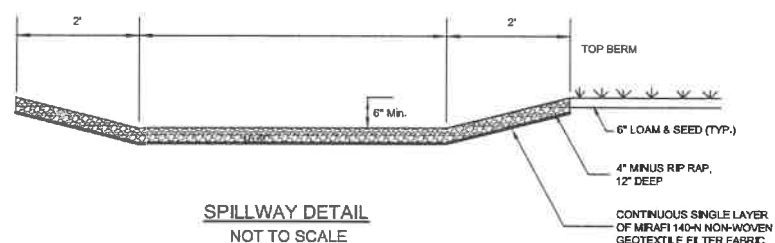
CONCRETE SECTION ON CENTERLINE
NOT TO SCALE
(MARCH 2008)

ELEVATION
NOT TO SCALE
(MARCH 2008)

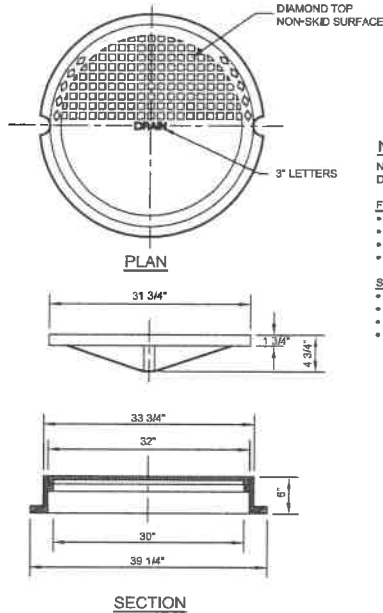


PRECAST REINFORCED DRAIN MANHOLE DETAIL
NOT TO SCALE
(MARCH 2008)

- NOTES:
- STEPS ARE NOT ALLOWED.
 - ALL SECTIONS SHALL BE CONCRETE CLASS AA(4,000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER L.F. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE WALL.
 - THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER L.F.
 - MATERIALS AND CONSTRUCTION TO NHDOT STANDARDS.



SPILLWAY DETAIL
NOT TO SCALE

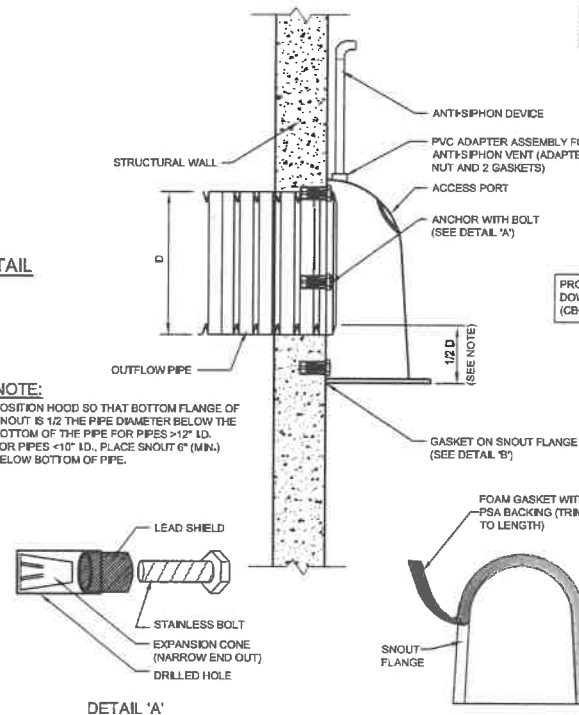


DRAIN MANHOLE FRAME AND COVER DETAIL
NOT TO SCALE
(JANUARY 2012)

- NOTES:
- NEW HAMPSHIRE MAINTAINS A CLEAR OPENING DESIGNATION OF 30" FOR ITS MANHOLE CASTINGS.
- FEATURES:
- 3" LETTERING
 - COVERS MARKED DRAIN
 - NONROCKING COVER
 - DIAMOND SURFACE DESIGN
- SPECIFICATIONS:
- FULLY MACHINED FRAME AND COVER
 - H-20 LOAD RATED
 - DOUBLE HINGED
 - DUCTILE IRON

NOTE:

POSITION HOOD SO THAT BOTTOM FLANGE OF SNOOT IS 1/2 THE PIPE DIAMETER BELOW THE BOTTOM OF THE PIPE FOR PIPES >12" ID. FOR PIPES <10" ID., PLACE SNOOT 6" (MIN.) BELOW BOTTOM OF PIPE.



SNOOT OIL AND DEBRIS STOP DETAIL (OR EQUAL)
NOT TO SCALE
(MARCH 2008)

		MORTAR RUBBLE MASONRY										CONCRETE	
		PER FOOT OF WALL (CU. YD.)										PER FOOT OF WALL (CU. YD.)	
DIAMETER D (INCH)	AREA OF PIPE (SQ. FT.)	MASONRY PER FOOT OF WALL (CU. YD.)	MASONRY PER HOLE (CU. FT.)	MASONRY PER STANDARD HEADER (CU. YD.)	STEEL PER STANDARD HEADER (LB)	LENGTH OF BARS	PIPE EXC. 1' DEPTH (CU. YD.)	HEADER EXC. 1' DEPTH (CU. YD.)	ITEM 209 PER LINEAR FOOT	HEADER LENGTH L	HEADER HEIGHT H	FILL HEIGHT FH	WIDTH AT BOTTOM OF HEADER W
12"	0.79	0.186	1.06	0.61	9	3'-2"	0.111	0.789	0.30	3'-6"	3'-6"	1'-0"	1'-10 1/2"
15"	1.23	0.262	1.75	0.85	11	3'-10"	0.120	0.947	0.35	4'-6"	4'-6"	1'-1"	1'-11 1/4"
18"	1.77	0.222	2.52	1.13	14	5'-2"	0.130	1.111	0.39	5'-6"	4'-0"	1'-4"	2'-0"
24"	3.14	0.260	4.71	1.78	20	7'-2"	0.146	1.451	0.48	7'-6"	4'-6"	1'-10"	2'-1 1/2"
30"	4.91	0.301	7.67	2.56	25	8'-2"	0.185	1.810	0.65	9'-6"	5'-0"	2'-4"	2'-3"
36"	7.07	0.344	11.49	3.53	31	11'-2"	0.222	2.167	0.85	11'-6"	5'-6"	2'-10"	2'-4 1/2"
42"	9.62	0.389	16.24	4.65	36	13'-2"	0.258	2.581	1.07	13'-6"	6'-0"	3'-4"	2'-6"
48"	12.57	0.436	21.89	5.95	42	15'-2"	0.296	3.000	1.31	15'-6"	6'-6"	3'-10"	2'-7 1/2"
54"	15.80	0.486	28.83	7.44	47	17'-2"	0.333	3.432	1.58	17'-6"	7'-0"	4'-4"	2'-9"
60"	19.63	0.538	36.82	9.13	52	19'-2"	0.370	3.882	1.87	19'-6"	7'-6"	4'-10"	2'-10 1/2"
66"	23.76	0.593	46.03	11.04	58	21'-2"	0.407	4.350	2.17	21'-6"	8'-0"	5'-4"	3'-0"
72"	28.27	0.649	56.55	13.17	63	23'-2"	0.445	4.838	2.50	23'-6"	8'-6"	5'-10"	3'-11 1/2"

NOTE: STEEL QUANTITIES ARE FOR CONCRETE HEADWALLS ONLY.

MORTAR RUBBLE MASONRY AND CONCRETE HEADWALLS
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS HIGHFIELD COMMONS PHASE 1B MAP 237 LOT 3 FILLMORE BOULEVARD ROCHESTER, NEW HAMPSHIRE STRAFFORD COUNTY

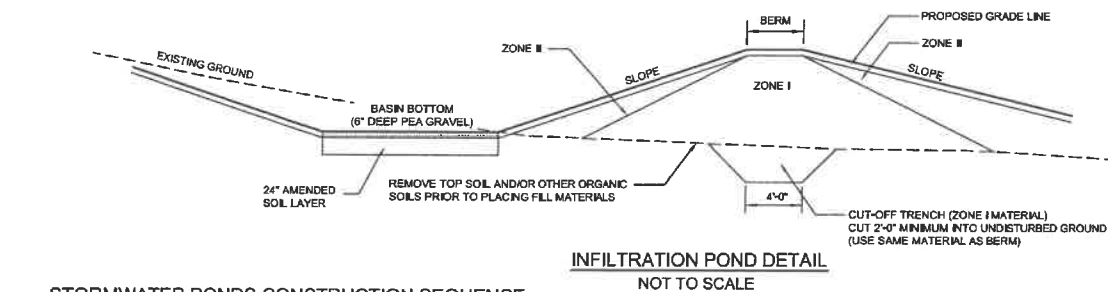
OWNER OF RECORD:	APPLICANT:
SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453	SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700

KM KEACH-NORDSTROM ASSOCIATES, INC.
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REVISIONS			
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2	7/23/18	REV. PER CITY COMMENTS	MAC

DATE: MAY 29, 2018
PROJECT NO: 17-0417-3
SCALE: AS SHOWN
SHEET 15 OF 19

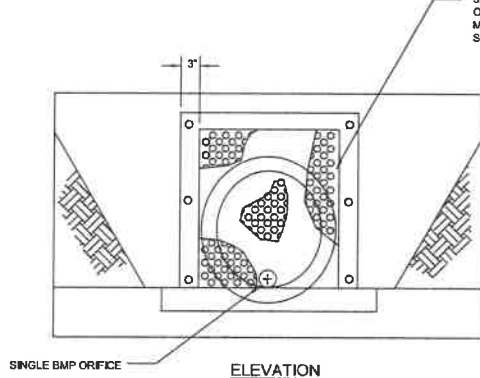
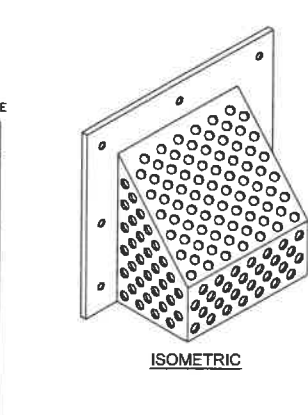
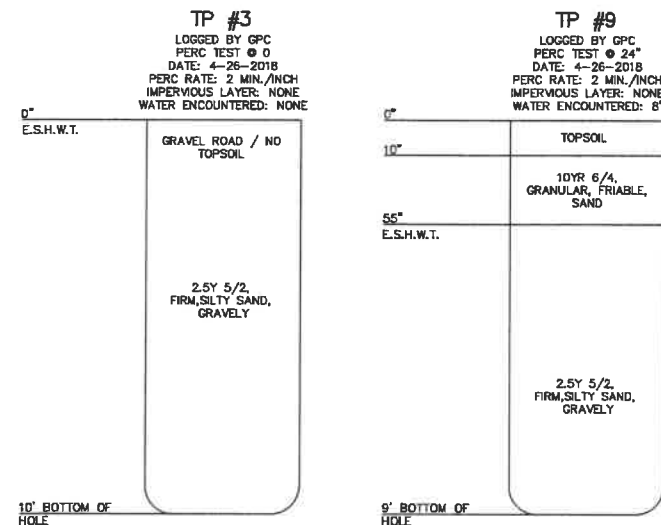
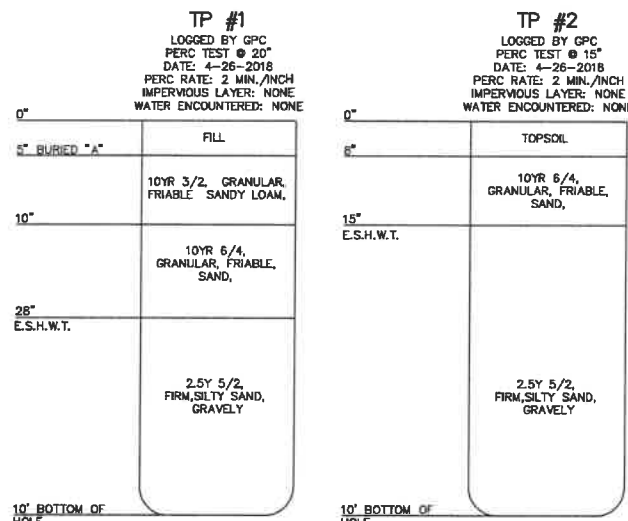


STORMWATER PONDS CONSTRUCTION SEQUENCE

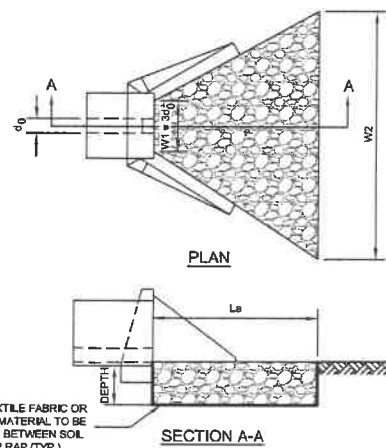
1. CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR.
3. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDDED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
6. CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
7. CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI-SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
8. CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
9. CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
10. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
11. A CERTIFIED SOIL SCIENTIST, PROFESSIONAL ENGINEER OR PROFESSIONAL GEOLOGIST MUST MEASURE THE INFILTRATION RATE OF THE AMENDED SOIL IN ACCORDANCE WITH ENH-WQ 1504.14(e). THE RESULTS MUST BE SUBMITTED TO THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WITHIN SEVEN (7) DAYS OF TESTING.
12. MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
13. AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
14. MONITOR CONSTRUCTION ACTIVITIES TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

NOTES:

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
5. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



TRASH RACK DETAIL
NOT TO SCALE



PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL
NOT TO SCALE
(MARCH 2008)

LOCATION	La	W1	W2	d50	DEPTH
PROP. HW#1	26"	8"	33"	6"	15"
PROP. HW#2	9"	3"	12"	4"	10"

HDPE STRUCTURAL PLASTIC 1/4\"/>

PIPE CULVERT

HDPE STRUCTURAL PLASTIC 1/4\"/>

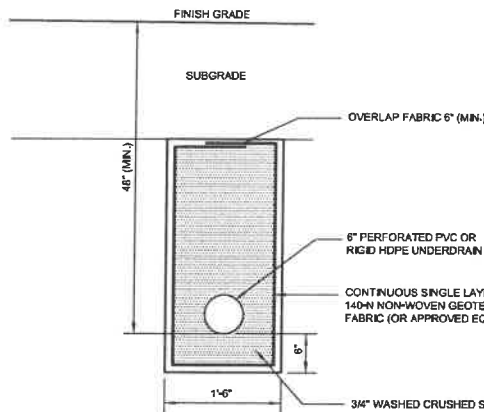
PERCENT OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE
100%	1.5 TO 2.0 d50
85%	1.3 TO 1.8 d50
50%	1.0 TO 1.5 d50
15%	0.5 TO 0.5 d50

CONSTRUCTION SPECIFICATIONS:

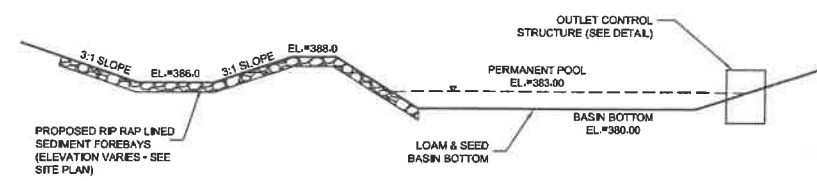
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE:

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR RAIN EVENT. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED, OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.



PIPE UNDERDRAIN
NOT TO SCALE
(MARCH 2008)



STORMWATER WET POND DETAIL

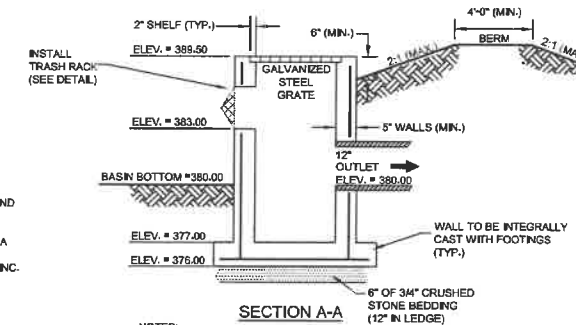
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STORMWATER PONDS CONSTRUCTION SEQUENCE

1. CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR.
3. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEEDDED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
6. CONSTRUCT CUT-OFF TRENCH (PART OF ZONE I).
7. CONSTRUCT OUTLET AND OVERFLOW STRUCTURE, CULVERT, ANTI-SEEP COLLARS, HEADWALL, AND RIP RAP OUTLET PROTECTION AS SHOWN ON PLANS.
8. CONSTRUCT ZONE I PORTION OF EARTH EMBANKMENT.
9. CONSTRUCT ZONE II PORTION OF EARTH EMBANKMENT.
10. APPLY TOPSOIL TO SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
11. A CERTIFIED SOIL SCIENTIST, PROFESSIONAL ENGINEER OR PROFESSIONAL GEOLOGIST MUST MEASURE THE INFILTRATION RATE OF THE AMENDED SOIL IN ACCORDANCE WITH ENH-WQ 1504.14(e). THE RESULTS MUST BE SUBMITTED TO THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WITHIN SEVEN (7) DAYS OF TESTING.
12. MAINTAIN, REPAIR, AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
13. AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
14. MONITOR CONSTRUCTION ACTIVITIES TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF EARTH EMBANKMENTS, STORMWATER CONTROL STRUCTURE, CULVERT AND RIP RAP OUTLET PROTECTION.

NOTES:

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
5. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



NOTES:

1. ALL CEMENT CONCRETE TO BE 4,000 PSI MINIMUM.
2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE.
3. ALL OPENINGS CAST IN AS REQUIRED.
4. PRECAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.

MATERIAL TYPE/SPECIFICATIONS

ZONE I

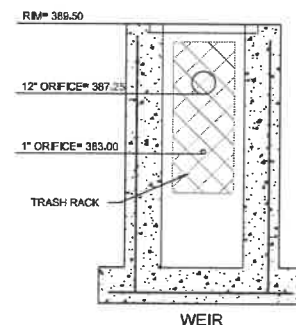
WELL GRADED MIXTURE OF GRAVEL, SAND, SILT OR CLAY WITH MAX. 6-INCH SIZE STONE AND GEADATION AS INDICATED BELOW. PLACE IN MAX. 12-INCH THICK LIFTS TO 95% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557. SCARIFY SURFACE PRIOR TO PLACING SUBSEQUENT LIFT. IN ADDITION, REMOVE ORGANIC SOILS.

SIZE	PERCENT BY WEIGHT PASSING
6-INCH	100
NO. 4	50 TO 100
NO. 40	30 TO 70
NO. 200	20 TO 40

ZONE II

DRAINAGE LAYER: PLACE IN MAX. 12-INCH THICK LIFTS TO 85% OF MAX. DRY DENSITY IN ACCORDANCE WITH ASTM D1557.

SIZE	PERCENT BY WEIGHT PASSING
1-INCH	100
NO. 4	70-100
NO. 200	0-12 (IN SAND PORTION ONLY)



OUTLET CONTROL STRUCTURE #1 FOR DETENTION BASIN

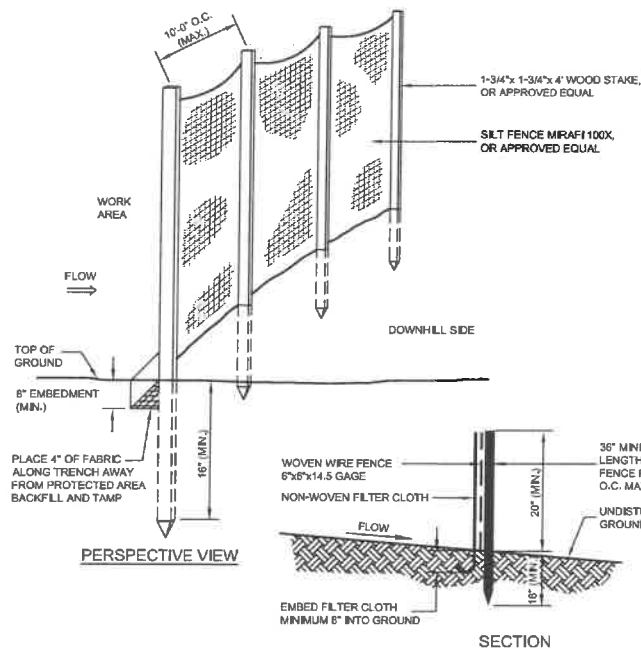
NOT TO SCALE

**CONSTRUCTION DETAILS
HIGHFIELD COMMONS
PHASE 1B**
MAP 237 LOT 3
FILLMORE BOULEVARD
ROCHESTER, NEW HAMPSHIRE
STRAFFORD COUNTY

OWNER OF RECORD:	APPLICANT:
SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453	SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018 SCALE: AS SHOWN			
PROJECT NO: 17-0417-3 SHEET 16 OF 19			



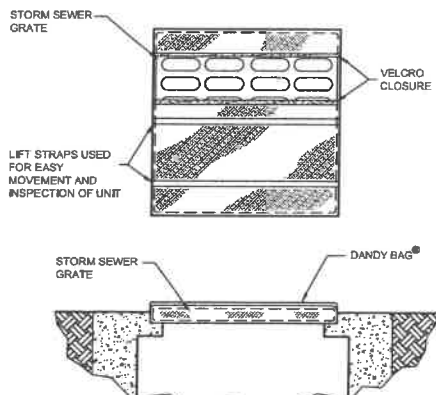
SILT FENCE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SPECIFICATIONS:

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES WHERE NOTED OR AS DIRECTED BY DESIGN ENGINEER.
4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MIDSECTION AND BOTTOM.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
6. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

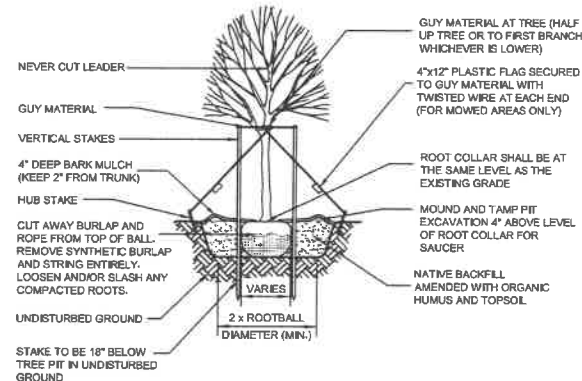


HH-FLOW DANDY BAG® (SAFETY ORANGE)

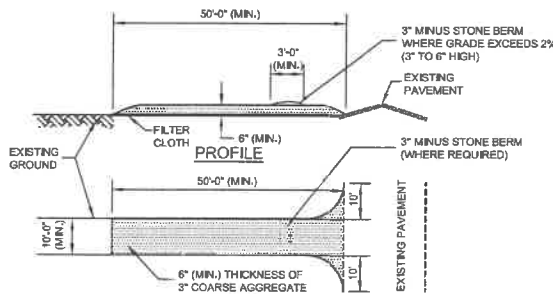
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 x 10
PUNCTURE STRENGTH	ASTM D 4633	kN (lbs)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV RESISTANCE	ASTM D 4355	%	80
APPARENT OPENING SIZE	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min/m² (gal/min/ft²)	5907 (145)
PERMITTIVITY	ASTM D 4491	Sec-1	2.1

DANDY BAG®
NOT TO SCALE
(APRIL 2010)

NOTE:
GUING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUING AND STAKING.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
(JANUARY 2012)



STABILIZED CONSTRUCTION EXIT DETAIL
NOT TO SCALE
(APRIL 2016)

MAINTENANCE:

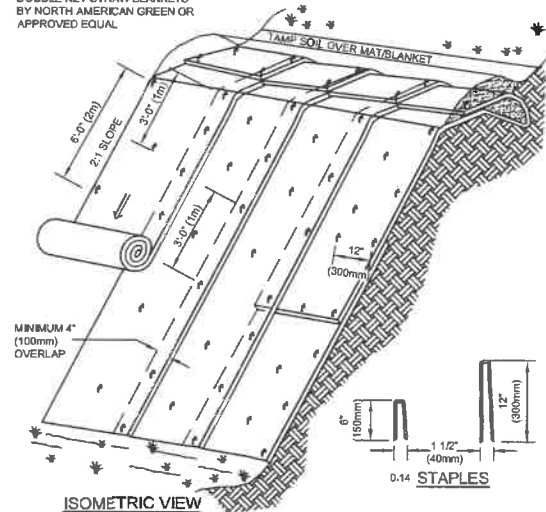
MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE CRUSHED STONE AND THE EFFECTIVENESS OF THE CRUSHED STONE PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOPDRESSED WITH NEW CRUSHED STONE OR COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN THE FULL WIDTH OF THE AREA WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERGED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWN-SLOPE AND SHALL BE DOUBLE NET STRAW BLANKETS BY NORTH AMERICAN GREEN OR APPROVED EQUAL.



NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION

NOT TO SCALE
(AUGUST 2011)

DEWATERING NOTES:

1. THE PROPOSED PROJECT IS SCHEDULED TO TAKE PLACE IN THE "DRY" SEASON AND DOES NOT ANTICIPATE ANY DEWATERING ACTIVITIES. HOWEVER, SHOULD DEWATERING ACTIVITIES BECOME NECESSARY DUE TO ACTUAL WET FIELD CONDITIONS, THE SITE CONTRACTOR SHALL BE REQUIRED TO PREPARE A DEWATERING PLAN FOR APPROVAL BY THE MUNICIPALITY, PRIOR TO PERFORMING ANY DEWATERING ACTIVITIES.
2. SHOULD A DEWATERING PLAN BE REQUIRED, THE PLAN SHALL CONTAIN THE MINIMUM ITEMS:
 - A. PLAN SKETCH: (PREPARED TO SCALE - INDICATING THE FOLLOWING)
 - ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL BMPs
 - BYPASS CHANNEL OR PIPE LOCATION, ELEVATION, SIZE, AND MATERIAL TYPE
 - PUMP SIZE, TYPE, LOCATION, OPERATING PARAMETERS (POWER, CAPACITY)
 - INTAKE LINE - SIZE & LOCATION
 - TEMPORARY IMPOUNDMENT VOLUME
 - DISCHARGE LINE - SIZE AND LOCATION
 - TEMPORARY DISCHARGE SCOUR PROTECTION
 - B. OPERATIONS & EMERGENCY CONTACT LIST: (NAME, ADDRESS, PHONE)
 - CONTRACTOR AND TOWN OFFICIALS (HIGHWAY AGENT, FIRE, POLICE, RESCUE)
 - C. DEWATERING SCHEDULE:
 - ANTICIPATED START DATE AND END DATE
 - DAILY HOURS OF OPERATION
 - D. CONTINGENCY PLAN

REFERENCE CONSTRUCTION STANDARDS/SPECIFICATIONS:

THE FOLLOWING CONSTRUCTION STANDARDS/SPECIFICATIONS/REFERENCES ARE TO BE UTILIZED IN CONCERT WITH THE APPROVED PLANS:

1. NHDOT - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. NHDOT - STANDARD PLANS FOR ROAD CONSTRUCTION, LATEST EDITION.
3. CITY OF ROCHESTER - CONSTRUCTION STANDARDS, LATEST REVISION.
4. AASHTO - A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, LATEST EDITION.
5. FHWA - THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO NOTIFY DIG-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PRIOR TO GRUBBING OF CLEARED AREAS, ALL SILTATION BARRIERS DESIGNED FOR USE AS TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AS CALLED FOR ON PROJECT PLANS. INSTALL STABILIZED CONSTRUCTION EXIT AT LOCATION OF CONSTRUCTION ACCESS AT LOCATION OF INTERSECTION WITH EXISTING PAVEMENT.
3. CUT AND CLEAR TREES AND BRUSH FROM CONSTRUCTION AREAS TO THE EXTENT NECESSARY. ALL BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF BY CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
4. COMPLETE GRUBBING OPERATIONS UNDER THE ROADWAY AND SLOPE SECTIONS. ALL STUMPS AND SIMILAR DEBRIS SHALL BE PROPERLY DISPOSED OF BY CONTRACTOR. ORGANIC MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLAND AREAS. ALL STOCKPILES SHALL BE SEED WITH WINTER RYE AND, IF NECESSARY, SURROUNDED WITH HAY BALES IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CULVERTS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
6. STABILIZE ALL DITCHLINES AND PONDS PRIOR TO DIRECTING FLOW INTO THEM, CONSTRUCT DRAINAGE SYSTEM SEWER AND OTHER SUBSURFACE UTILITIES.
7. COMMENCE CONSTRUCTION OF ROADWAY. PERFORM EXCAVATION ACTIVITIES REQUIRED TO ACHIEVE SUBGRADE ELEVATION. ALL EXCAVATED EMBANKMENTS, DITCHES, SWALES AND ROADWAY CROSS CULVERTS SHALL BE INSTALLED AND STABILIZED. ALL SWALES AND DITCHLINES SHALL BE PROTECTED FROM EROSION BY IMPLEMENTATION OF HAY BALE SILTATION FENCES AS SHOWN ON PROJECT PLANS. DIVERSIFY STORMWATER RUNOFF THROUGH THE USE OF TEMPORARY CULVERTS, OR OTHER MEANS NECESSARY PRIOR TO THE COMPLETIONS OF A FUNCTIONAL STORM DRAINAGE SYSTEM. SLOPES AND EMBANKMENTS SHALL BE STABILIZED BY TRACKING AND TEMPORARY SEEDING WITH WINTER RYE PRIOR TO TURF ESTABLISHMENT. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
8. COMPLETE CONSTRUCTION OF ROADWAY EMBANKMENTS BY ADDING APPROPRIATE BASE MATERIALS GRADED TO PROPER ELEVATION.
9. APPLY TOPSOIL TO ROADWAY SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDDED AND MULCHED. CONSTRUCTION PERSONNEL SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS HAS BECOME ESTABLISHED.
10. PERFORM FINE GRADING OF ROADWAY BASE MATERIALS.
11. MAINTAIN, REPAIR AND REPLACE AS NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL SUCH TIME AS THE ENTIRE CONSTRUCTION AREA HAS BEEN STABILIZED (A MINIMUM OF ONE WINTER SHALL HAVE PASSED).
12. AFTER STABILIZATION, REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
13. MONITOR CONSTRUCTION ACTIVITIES ON INDIVIDUAL LOTS TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF ROADWAY EMBANKMENTS, STORMWATER SYSTEMS AND UTILITIES. ALL DRIVEWAYS ACROSS DITCHLINES SHALL HAVE CULVERTS INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
14. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

EROSION CONTROL NOTES

1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
4. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
5. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERGING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
6. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
7. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENH-A-1000.
8. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
9. AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED. JUTE MATTING INSTALLED TO CONFORM WITH THE RECOMMENDED BEST MANAGEMENT PRACTICES OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
10. ALL DETENTION PONDS AND TREATMENT SWALES SHALL BE CONSTRUCTED PRIOR TO ANY EARTH MOVING ACTIVITIES THAT WILL INFLUENCE STORMWATER RUNOFF.
11. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

WINTER CONSTRUCTION NOTES:

1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION DETAILS HIGHFIELD COMMONS PHASE 1B MAP 237 LOT 3 FILLMORE BOULEVARD ROCHESTER, NEW HAMPSHIRE STRAFFORD COUNTY

OWNER OF RECORD:	APPLICANT:
SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700 S.C.R.D. BK. 3927 PG. 453	SDJ DEVELOPMENT OF ROCHESTER, LLC c/o CHESAPEAKE DEVELOPMENT, LLC 746 D.W. HIGHWAY, UNIT B MERRIMACK, NH 03054-2700



KEACH-NORDSTROM ASSOCIATES, INC.

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REVISIONS			
No.	DATE	DESCRIPTION	BY
1	7/5/18	REV. PER CITY COMMENTS	TTM
2	7/23/18	REV. PER CITY COMMENTS	MAC
DATE: MAY 29, 2018			
SCALE: AS SHOWN			
PROJECT NO: 17-0417-3			
SHEET 19 OF 19			