

JAN 24 2023

The project proposes to add multiple building additions, update utility connections, enhance stormwater design & treatment, and tie into the municipal sewer system for the existing Sig Sauer Facility. The project will also introduce a round-a-bout in Milton Road (Route 125).

Describe proposed activity/use:

Describe existing conditions/use (vacant land?):

The existing 7 & 16 Amarosa Drive properties are used for the existing Sig Sauer Facility. The existing 8 Amarosa Drive and 0 Milton Road properties are vacant to date. The 124 Milton Road property is currently occupied by two buildings along the roadway and contains undeveloped land in the centralized and rear portions of the parcel.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? 50+/- feet

City sewer? yes ☒ no ☐; How far is City sewer from the site? 25+/- feet

If City water, what are the estimated total daily needs? 11,700 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☒ (Fire) no ☐

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? On-site storm water management facilities with outlet to wetland area

Building information

Type of building(s): Concrete block masonry with corrugated metal facade/finish.

Building height: 1-2 stories, <55 ft (Varies) Finished floor elevation: Varies, average is 247.9

Other information

parking spaces: existing: 587+/- total proposed: 812; Are there pertinent covenants? N/A

Number of cubic yards of earth being removed from the site TBD

Number of existing employees: 300+/-; number of proposed employees total: 475+/-

Check any that are proposed: variance N/A; special exception ☒; conditional use N/A

Wetlands: Is any fill proposed? N/A; area to be filled: N/A; buffer impact? ☒

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	271,800 +/- sf (existing building with additions)	13.8%
Parking and vehicle circulation	434,700 +/- sf	22.1%
Planted/landscaped areas (excluding drainage)	155,750 +/- sf	7.9%
Natural/undisturbed areas (excluding wetlands)	319,600 +/- sf	16.2%
Wetlands	786,900 +/- sf	40.0%
Other – drainage structures, outside storage, etc.	1,050 +/- sf	0.005%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Jeff Chierepko VP US Facilities
Mgt, Sig Sauer Digitally signed by Jeff Chierepko VP US
Facilities Mgt, Sig Sauer
Date: 2023.01.18 13:07:40 -05'00'

Date: 1/18/23

Signature of applicant/developer: _____

Signature of agent:  _____

Date: _____

Date: 01-20-23

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: _____

Site Plan Checklist (residential and nonresidential)

****To be filled out by applicant/agent (with notes to be inserted by staff)***

See regulations for other specific requirements

City of Rochester Planning & Development Department

Project Name: Sig Sauer Map: 205 Lot: 32 & 33 Date: 01-20-23

Applicant/agent: Robert Terrazzano Signature: _____

(Staff review by: _____ Date: _____)

General items

	Yes	No	N/A	Waiver Requested	Comments
<u>4</u> sets completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Total application fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>4</u> copies of narrative (drainage report)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>3</u> sets of full-size plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>2</u> sets of 11 X 17 reductions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Completed abutters list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Copy of existing covenants, easements, deed restrictions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Plan Information

Basic information including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Title sheet					
• Name of Project					
• Date					
• North arrow					
• Scale					
• Legend					
• Revision block					
• Vicinity sketch -not less than 1" = 1,000'					
Name and address of developer/applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Name, stamp, and NH license # of land survey, engineer, and/or architect	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
City tax map & lot #'s	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Notation on plans: "For more information about this site plan contact...."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

General items Continued

	Yes	No	N/A	Waiver Requested	Comments
Approval block (for signature by staff attesting to Planning Board approval)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
References to neighboring plans and subdivisions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Surveyed property lines including: <ul style="list-style-type: none"> • existing and proposed bearings • existing and proposed distances • pins, stakes, bounds • monuments • benchmarks 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Include error of closure statement	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Information on abutting properties: <ul style="list-style-type: none"> • owner name • owner address • tax map and lot # • square footage of lots • approximate building footprints • use 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Zoning

Zoning designations of subject tract and in vicinity of tract	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning requirements for district: <ul style="list-style-type: none"> • frontage • lot dimensions/density • all setbacks • lot coverage 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning overlay districts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

Existing Topographic Features:

Contour lines a (not to exceed two-foot Intervals, except on steep slopes) and spot elevations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Soil types and boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Soil test pit locations, profiles, and Depth to water table and ledge	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Percolation test locations and results	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Existing Topographic Features Continued:

	Yes	No	N/A	Waiver Requested	Comments
Water features (ponds, streams)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Wetlands including name of certified Wetlands scientist who delineated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Statement whether located in flood area, And if so, 100 year flood elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Delineation of trees and open areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Overview of types of trees and vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Stone walls and archaeological features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Locations of trails and paths	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

Building Information

Existing buildings/structures including square footage and use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Proposed building/structures including <ul style="list-style-type: none">• square footage• first floor elevation• use• # bedrooms per unit if residential	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Elevation drawing of proposed buildings and structures as follows: <ul style="list-style-type: none">• Showing all four sides• Drawn to scale with dimensions• Showing exterior materials• Showing exterior colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Circulation and Parking Plans

Existing and proposed driveways and access points including: <ul style="list-style-type: none">• Width of opening• Turning radii• Cross section of driveway	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Curbing & edge treatment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Traffic control devices, if appropriate:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

Circulation and Parking Plans Continued:

	Yes	No	N/A	Waiver Requested	Comments
Number of parking spaces <ul style="list-style-type: none">• required by ordinance• proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Parking layout and dimensions of spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Handicap spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Loading area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Pedestrian circulation plan (including existing sidewalks in vicinity, if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Bicycle rack, if appropriate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Buffers, landscaping & screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Snow storage areas/plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Utilities

Show all pertinent existing and proposed profiles, elevations, materials, sizes, and details

Water lines/well (with protective radius)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Sewer lines/septic and leaching areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Pump stations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fire hydrant location(s) and details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Electric, telephone, cable TV (underground or overhead)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Gas lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fire alarm connections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Treatment of solid waste (dumpsters?)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Handling of oil, grease, chemicals hazardous materials/waste	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Landscaping Plan

	Yes	No	N/A	Waiver Requested	Comments
Demarcation of limits of construction, clear delineation of vegetation to be saved, and strategy for protecting vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Proposed ground cover, shrubbery, and trees including: <ul style="list-style-type: none">• botanical and common names• locations and spacing• total number of each species• size at installation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Planting plan (size of holes, depth of planting, soil amendments, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Irrigation: system? soaker hose? Manual? underground, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fencing/screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>Signage</u>					
Location and type of signs: <ul style="list-style-type: none">• Attached to building• Freestanding• Directional, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Dimensions of signs: <ul style="list-style-type: none">• Height• Area• Setback	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Elevation drawings with colors & materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Type of Illumination, if proposed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Outdoor Lighting

	Yes	No	N/A	Waiver Requested	Comments
Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Height of fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Wattage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Type of light (high pressure sodium, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Design/cut sheets of fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Illumination study, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Other Elements

Traffic study, if appropriate	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Drainage study with calculations, storm Water impact analysis, and mitigation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Grading plan (including finish grades)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Earth being removed from site(in cubic yards)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Erosion and sedimentation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Proposed covenants, easements, And deed restrictions, if any	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fiscal impact study, if requested	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Additional Comments:



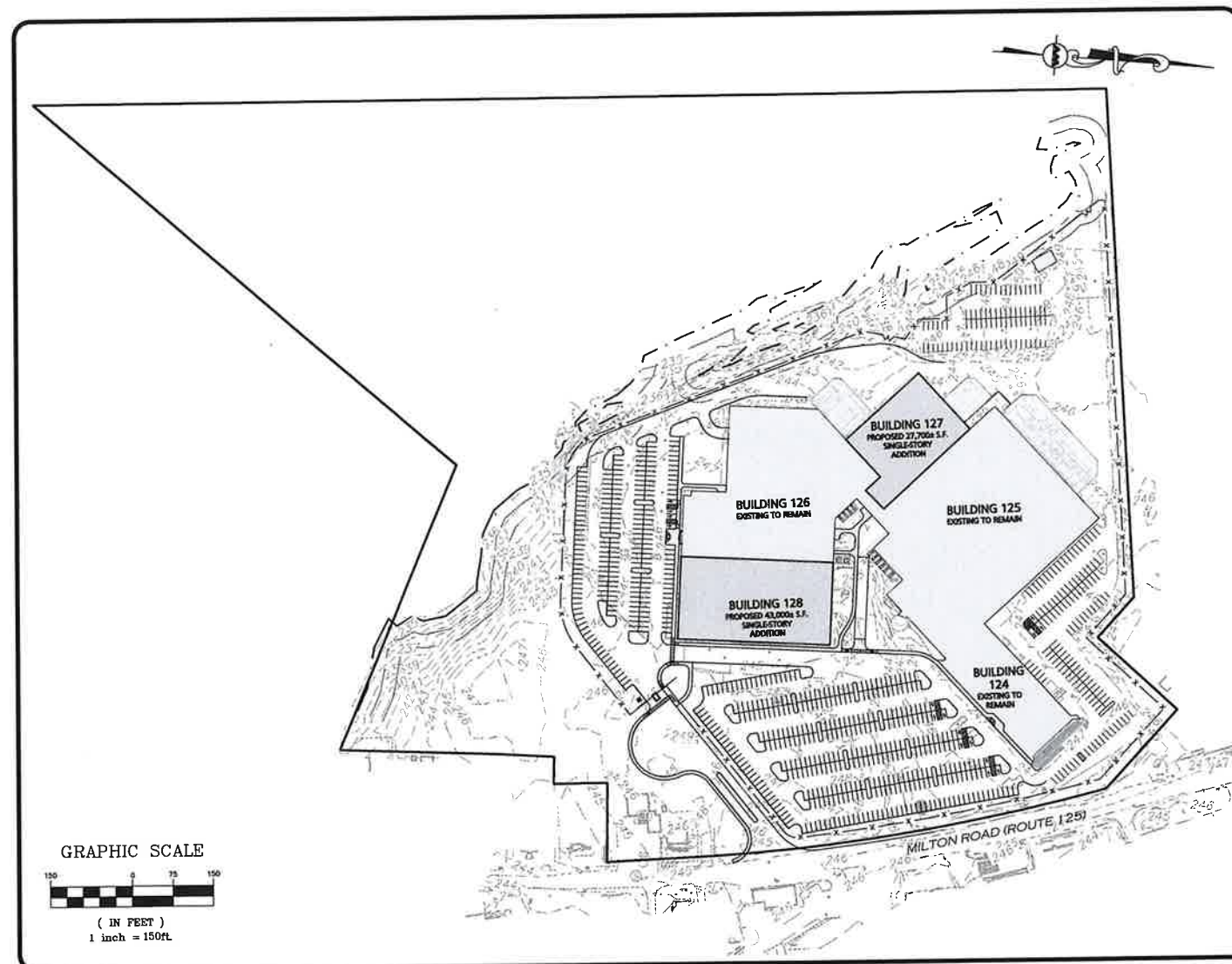
LOCUS MAP
NOT TO SCALE

APPLICANT:
SIG SAUER REAL ESTATE, INC.
72 PEASE BLVD.
NEWINGTON, NH 03801
(603) 610-3000

ARCHITECT:
PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH 03801
(603) 436-8891

CIVIL ENGINEER / LANDSCAPE ARCHITECT
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
(603) 627-5500

SITE DEVELOPMENT PLANS FOR SIG SAUER TAX MAP 205, LOTS 1, 2, & 6 TAX MAP 210, LOTS 32 & 33 ROCHESTER, NH 03868



LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REV 1	REV 2
OVERALL COMPILED EXISTING CONDITIONS	V-101	01-20-23	-	-
COMPILED EXISTING CONDITIONS	V-101A	01-20-23	-	-
COMPILED EXISTING CONDITIONS	V-101B	01-20-23	-	-
COMPILED EXISTING CONDITIONS	V-101C	01-20-23	-	-
COMPILED EXISTING CONDITIONS	V-101D	01-20-23	-	-
SITE SPECIFIC SOIL MAPPING	C-100	-	-	-
OVERALL EROSION CONTROL PLAN	C-101	01-20-23	-	-
EROSION CONTROL PLAN	C-101A	01-20-23	-	-
EROSION CONTROL PLAN	C-101B	01-20-23	-	-
EROSION CONTROL PLAN	C-101C	01-20-23	-	-
EROSION CONTROL PLAN	C-101D	01-20-23	-	-
OVERALL LAYOUT & MATERIALS PLAN	C-102	01-20-23	-	-
LAYOUT & MATERIALS PLAN	C-102A	01-20-23	-	-
LAYOUT & MATERIALS PLAN	C-102B	01-20-23	-	-
LAYOUT & MATERIALS PLAN	C-102C	01-20-23	-	-
LAYOUT & MATERIALS PLAN	C-102D	01-20-23	-	-
OVERALL GRADING & DRAINAGE PLAN	C-103	01-20-23	-	-
GRADING & DRAINAGE PLAN	C-103A	01-20-23	-	-
GRADING & DRAINAGE PLAN	C-103B	01-20-23	-	-
GRADING & DRAINAGE PLAN	C-103C	01-20-23	-	-
GRADING & DRAINAGE PLAN	C-103D	01-20-23	-	-
OVERALL UTILITIES PLAN	C-104	01-20-23	-	-
UTILITIES PLAN	C-104A	01-20-23	-	-
UTILITIES PLAN	C-104B	01-20-23	-	-
UTILITIES PLAN	C-104C	01-20-23	-	-
UTILITIES PLAN	C-104D	01-20-23	-	-
OVERALL SITE LIGHTING PLAN	C-105	01-20-23	-	-
SITE LIGHTING PLAN	C-105A	01-20-23	-	-
SITE LIGHTING PLAN	C-105B	01-20-23	-	-
SITE LIGHTING PLAN	C-105C	01-20-23	-	-
SITE LIGHTING PLAN	C-105D	01-20-23	-	-
TRUCK TURNING PLAN	C-106A	01-20-23	-	-
TRUCK TURNING PLAN	C-106B	01-20-23	-	-
SEWER PLAN & PROFILE	C-201	01-20-23	-	-
DETAILS	C-501	01-20-23	-	-
DETAILS	C-502	01-20-23	-	-
DETAILS	C-503	01-20-23	-	-
DETAILS	C-504	01-20-23	-	-
DETAILS	C-505	01-20-23	-	-
DETAILS	C-506	01-20-23	-	-
DETAILS	C-507	01-20-23	-	-
OVERALL LANDSCAPE PLAN	L-101	-	-	-
LANDSCAPE PLAN	L-101A	-	-	-
LANDSCAPE PLAN	L-101B	-	-	-
LANDSCAPE PLAN	L-101C	-	-	-
LANDSCAPE PLAN	L-101D	-	-	-
LANDSCAPE NOTES	L-102	-	-	-
LANDSCAPE DETAILS	L-501	-	-	-

APPROVED - CITY PLANNING STAFF

CHAIRMAN: DATE: DATE OF APPROVAL:



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

FOR MORE INFORMATION ABOUT THIS PLAN SET, CONTACT:
BRIAN D. JONES AT ALLEN & MAJOR ASSC., INC. 603-627-5500

PREPARED BY:



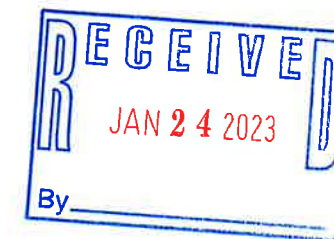
ALLEN & MAJOR
ASSOCIATES, INC.

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environmental consulting • landscape architecture
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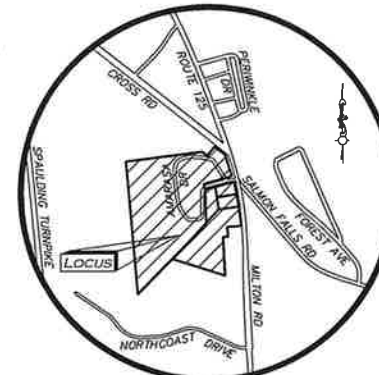
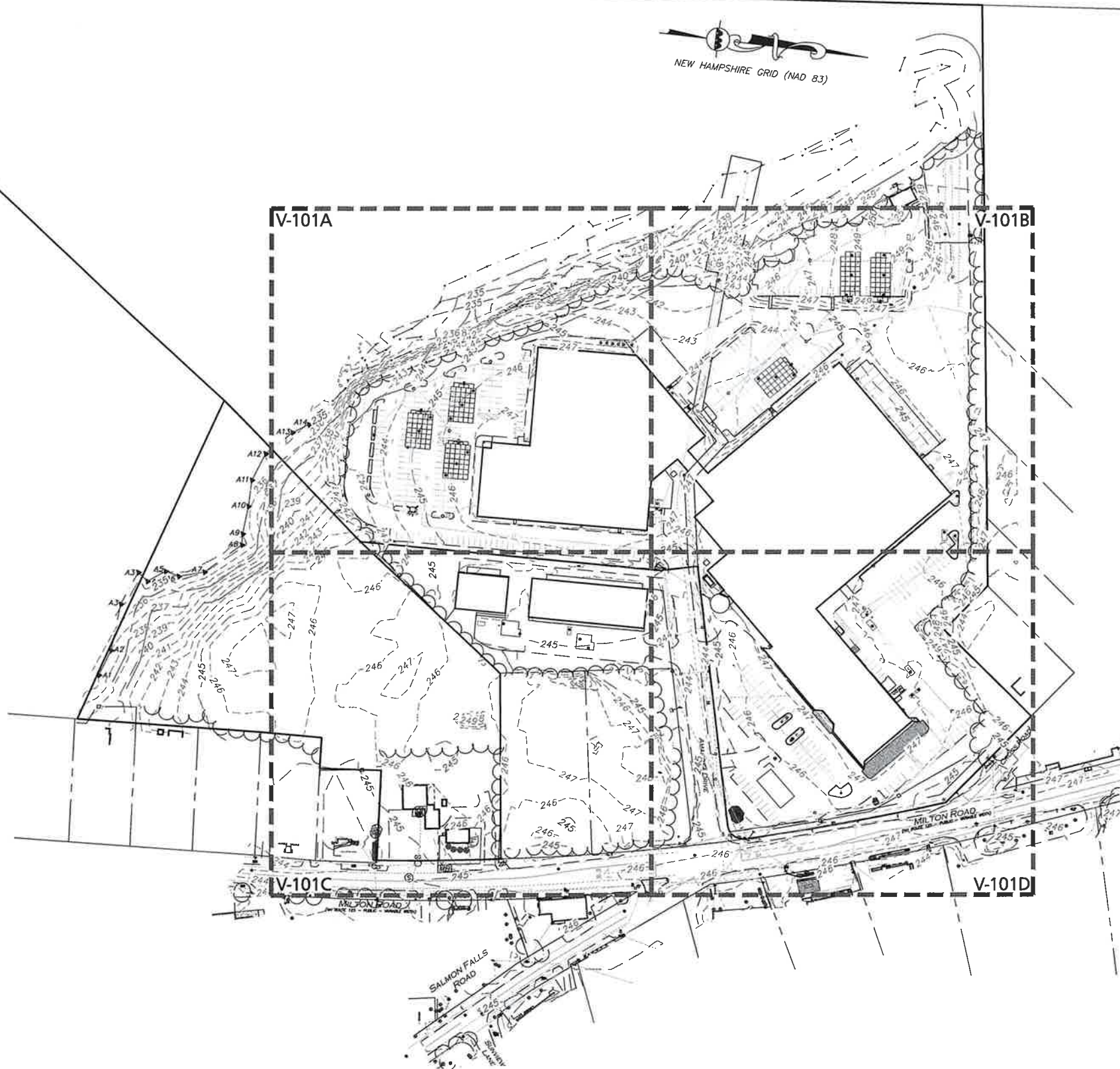
WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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ISSUED FOR SITE PLAN REVIEW: JANUARY 20, 2023

R:\PROJECTS\2012-01A\SURVEY\DRAWINGS\CURRENT\S-2012-01A-EC-COMBINED DRAWINGS.DWG



LOCUS MAP
(NOT TO SCALE)

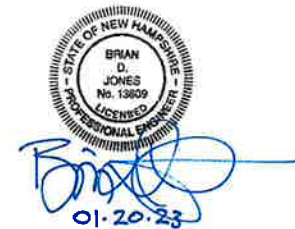
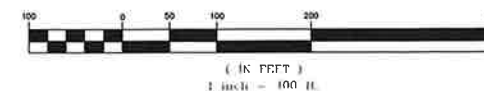
LEGEND

STONE BOUND (SB)	□
IRON PIPE (IP)	○
IRON ROD (IR)	●
SEWER MANHOLE (SMH)	⊗
UTILITY POLE	⊕
UTILITY POLE W/LIGHT	⊕
FIRE HYDRANT	⊕
GAS GATE	⊕
BOLLARD	⊕
GAS METER	⊕
ELECTRIC METER	⊕
MAILBOX	⊕
SIGN	⊕
TREE	⊕
BUSH / SHRUB	⊕
BUILDING	⊕
BUILDING OVERHANG	⊕
WETLAND	⊕
BUFFER ZONE	⊕
1' CONTOUR	⊕
5' CONTOUR	⊕
PROPERTY LINE	⊕
ABUTTERS LINE	⊕
TREE LINE	⊕
EDGE OF PAVEMENT	⊕
CHAIN LINK FENCE	⊕
STOCKADE FENCE	⊕
GAS LINE	⊕
OVERHEAD WIRES	⊕
FINISHED FLOOR ELEVATION	FFE
BITUMINOUS	BIT.
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

NOTES

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE COMPILED EXISTING CONDITIONS INFORMATION. SEE SHEETS V-101A THROUGH V-101D FOR 1"=30' SCALE ENLARGEMENTS. THIS IS NOT A PROPERTY LINE SURVEY.
2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER, NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
3. OFF-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM DOUCET SURVEY, LLC. "EXISTING CONDITIONS PLAN FOR HOYLE, TANNER, & ASSOCIATES, INC. OF MILTON ROAD (NH ROUTE 125) AND AMAROSA DRIVE INTERSECTION, ROCHESTER, NH" DATED JUNE 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
4. VERTICAL DATUM IS NAVD83. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 100' DWG. NAME: C2912-01A

DESIGNED BY: AJR CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering • land surveying environmental
consulting • landscape architecture
www.allenmajor.com

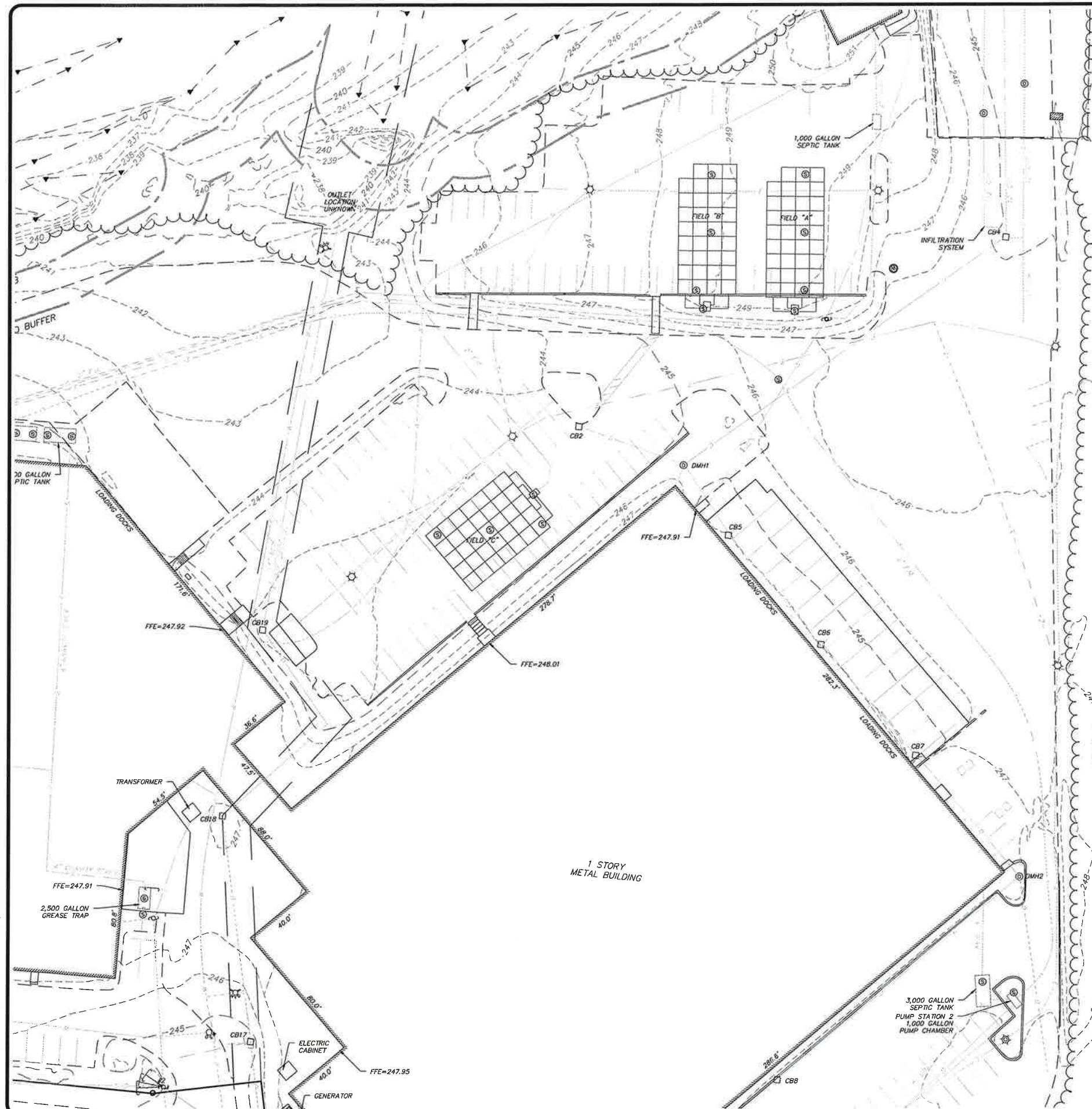
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

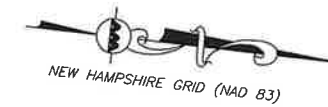
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DRAWING TITLE:
OVERALL
COMPILED EXISTING
CONDITIONS PLAN

SHEET No.
V-101



MAP 205, LOT 12
N/F
IZA M. SEEKINS
BK.994/PG.934



LEGEND	
STONE BOUND (SB)	
IRON PIPE (IP)	
IRON ROD (IR)	
SEWER MANHOLE (SMH)	
UTILITY POLE	
UTILITY POLE W/LIGHT	
FIRE HYDRANT	
GAS GATE	
BOLLARD	
GAS METER	
ELECTRIC METER	
MAILBOX	
SIGN	
TREE	
BUSH / SHRUB	
BUILDING	
BUILDING OVERHANG	
WETLAND	
BUFFER ZONE	
1' CONTOUR	
5' CONTOUR	
PROPERTY LINE	
ABUTTERS LINE	
TREE LINE	
EDGE OF PAVEMENT	
CHAIN LINK FENCE	
STOCKADE FENCE	
GAS LINE	
OVERHEAD WIRES	
FINISHED FLOOR ELEVATION	FFE
BITUMINOUS	BIT.
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

MAP 205, LOT 10
N/F
SHAWN F. MARSH
BK.3051/PG.347

MAP 205, LOT 9
N/F
KATHERINE I. LLOYD
SCRIP 319-2017-ET-00230

MAP 205, LOT B
N/F
MARY E. ALLYSON
BK.4466/PG.908

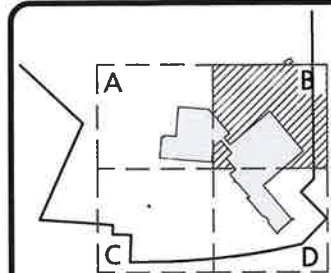
NOTES

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE COMPILED EXISTING CONDITIONS INFORMATION. SEE SHEET V-101 FOR OVERALL SITE. THIS IS NOT A PROPERTY LINE SURVEY.
2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
3. OFF-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM DOUCET SURVEY, LLC: "EXISTING CONDITIONS PLAN FOR HOYLE, TANNER, & ASSOCIATES, INC. OF MILTON ROAD (NH ROUTE 125) AND AMAROSA DRIVE INTERSECTION, ROCHESTER, NH" DATED JUNE 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OF COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
4. VERTICAL DATA IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.

DIG SAFE



GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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SCALE:	1" = 30'	DWG. NAME:	C2912-01A
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DESIGNED BY:	AJR	CHECKED BY:	BDJ
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PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering ♦ land surveying environmental
consulting ♦ landscape architecture
www.allenmajor.com

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MANCHESTER, NH 03103
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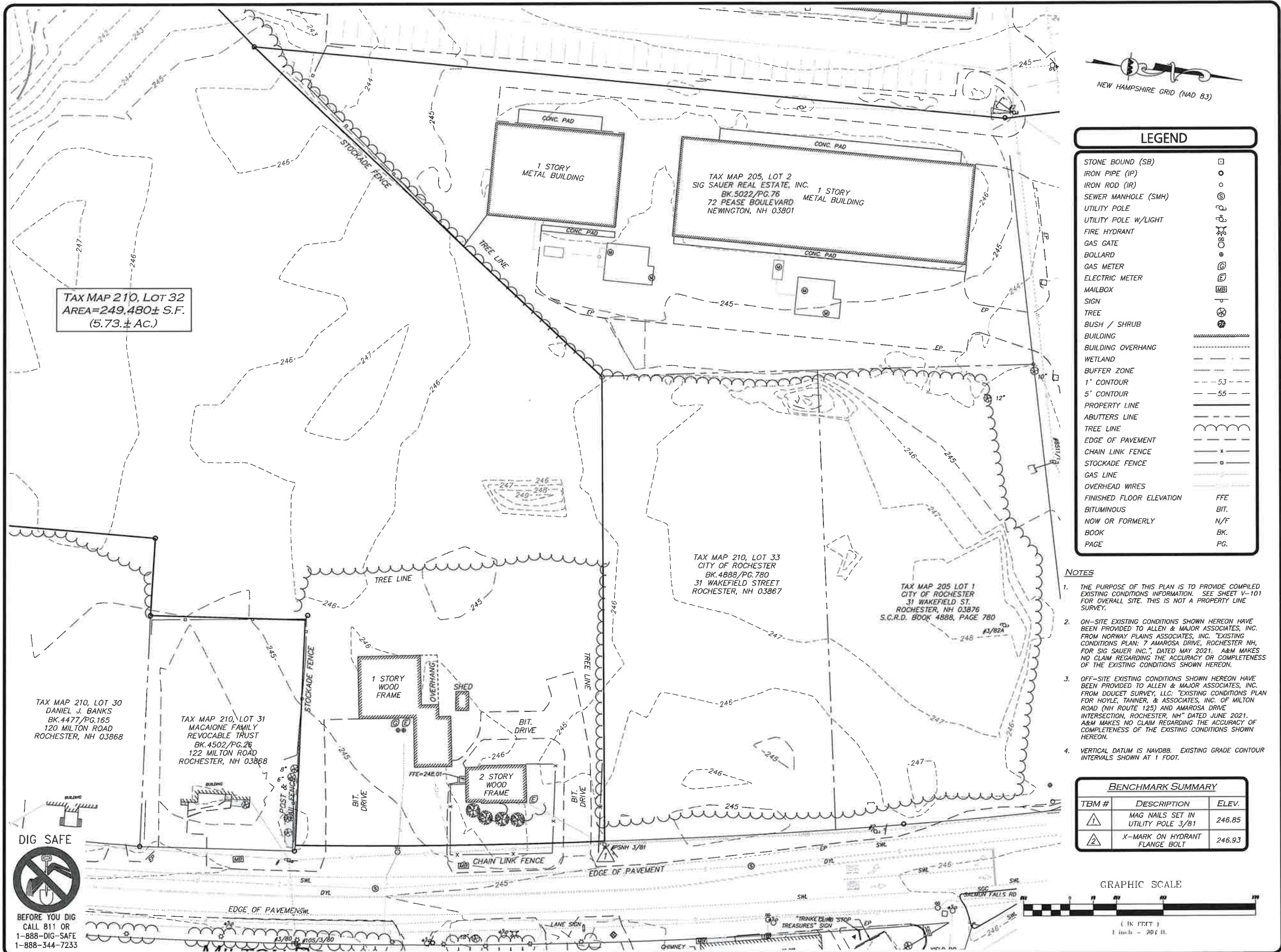
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DRAWING TITLE:
COMPILED EXISTING
CONDITIONS PLAN

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SHEET No.
V-101B

R:\PROJECTS\2912-01A SURVEY\DRAWINGS\CURRENT\5-2912-01A-EC-COMBINED DRAWINGS.DWG



A

B

C

D

SHEET KEY PLAN

BRIAN D. JONES
No. 13809
PROFESSIONAL ENGINEER

01-20-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 30'	DWG. NAME:	C2912-01A
DESIGNED BY:	AJR	CHECKED BY:	BDJ

PREPARED BY:

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civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com
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MANCHESTER, NH 03108
TEL: (603) 627-5500
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DRAWING TITLE:

COMPILED EXISTING CONDITIONS PLAN

SHEET No.

V-101C

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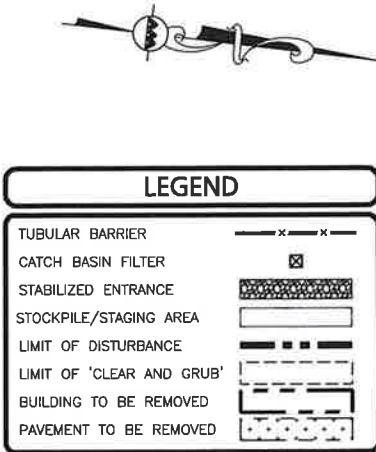
GENERAL SEQUENCE OF CONSTRUCTION:

1. CONTACT THE CITY ENGINEERING DEPARTMENT AT LEAST TWO (2) WEEKS PRIOR TO START OF CONSTRUCTION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES. SITE ACCESS SHALL BE ACHIEVED ONLY FROM THE DESIGNATED CONSTRUCTION ENTRANCE.
3. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
4. INSTALL THE TUBULAR BARRIERS AND SILT SACKS AS SHOWN HEREON. SEE ALSO SHEETS C-101A THROUGH C-101D.
5. CLEAR AND GRUB THE SITE.
6. CONSTRUCT TEMPORARY SEDIMENTATION AND SEDIMENT TRAP BASINS AS NECESSARY.

7. BEGIN GRADING THE SITE.

8. CONSTRUCT STORMWATER MEASURES. SITE SHALL BE STABILIZED PRIOR TO STORMWATER MEASURES RECEIVING RUNOFF.
9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES. TEMPORARILY SEED DENUDED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED / LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE, EXCEPT WHERE RIP RAP IS APPLIED.
10. INSTALL BUILDING, UTILITIES, STORM SEWERS, CURBS AND GUTTERS.
11. INSTALL INLET PROTECTION DEVICES AROUND ALL STORM DRAIN STRUCTURES.
12. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
13. FINALIZE GRADING, AND PREPARE SITE FOR PAVING. NOTE, ALL PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
14. PAVE SITE. COMPLETE FINISH GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.

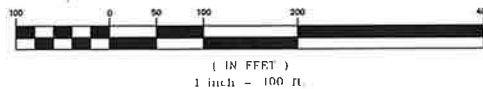
15. ONCE SITE IS STABILIZED, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
16. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER ALL RAINFALL EVENTS GREATER THAN 0.25", AND SHALL BE MAINTAINED, REPAIRED OR REPLACED AS REQUIRED OR AT THE DIRECTION OF THE OWNER'S ENGINEER, OR THE TOWN ENGINEER.
17. SEDIMENT ACCUMULATION UP-GRADE OF THE TUBULAR BARRIERS GREATER THAN 6" IN DEPTH SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. IF IT APPEARS THAT SEDIMENT IS EXITING THE SITE, SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS ADJACENT TO THE SITE. SEDIMENT ACCUMULATION ON ALL ADJACENT CATCH BASIN INLETS SHALL BE REMOVED AND THE SILT SACK REPLACED IF TORN OR DAMAGED.
19. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL AND EROSION NOTES AS SHOWN ON THE SITE DEVELOPMENT PLANS.



GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE OVERALL EROSION CONTROL INFORMATION FOR THE PROPOSED BUILDING ADDITIONS AND ASSOCIATED SITE IMPROVEMENTS. SEE SHEETS C-101A THROUGH C-101D FOR 1"=30' SCALE ENLARGEMENTS.
2. EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. EXISTING CONDITIONS PLAN, 7 AMAROSA DRIVE, ROCHESTER, NH, FOR SIG SAUER INC., DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
3. ALL WORK MUST CONFORM TO THE CITY OF ROCHESTER, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL ELEVATIONS REFER TO NAVD '88.
6. NO MATERIAL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR3800 TABLE 3800.1) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITE WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPARTMENT OF AGRICULTURE PER RSA 430:55.
7. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED IN ACCORDANCE WITH ENV-A1000.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
9. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
10. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.25 INCHES. THE INSPECTIONS SHALL VERIFY THAT THE STRUCTURAL BMPs SHOWN AND DESCRIBED ON THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE AND INSPECTION REPORT SHALL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE FOR THE DURATION OF THE PROJECT AND BE MADE AVAILABLE FOR REVIEW BY THE CITY UPON REQUEST.
11. THE CONTRACTOR SHALL VERIFY EROSION CONTROL MEASURES, WHICH ARE PLACED IN OR NEAR CITY RIGHTS-OF-WAY, ARE PROPERLY MAINTAINED JUST PRIOR TO AND/OR DURING LARGE STORM EVENTS IN ORDER TO PREVENT POTENTIAL STREET FLOODING DURING THE CONSTRUCTION DURATION.
12. A NOTICE OF INTENT (NOI) SHALL BE PREPARED AND SUBMITTED TO THE EPA UNDER THE EPA SWPPP. THE NOI AND SWPPP SHALL ALSO BE SUBMITTED TO DPW.

GRAPHIC SCALE



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1-888-DIG-SAFE
1-888-344-7233

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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 100'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:



WORURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
OVERALL EROSION CONTROL PLAN	C-101

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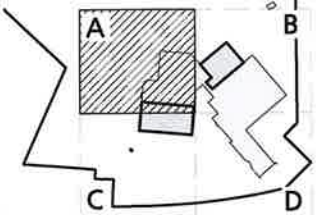
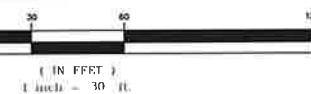
LEGEND

TUBULAR BARRIER	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	
LIMIT OF DISTURBANCE	
LIMIT OF 'CLEAR AND GRUB'	
BUILDING TO BE REMOVED	
PAVEMENT TO BE REMOVED	

NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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6. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED IN ACCORDANCE WITH ENV-A1000.
7. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
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9. A NOTICE OF INTENT (NOI) SHALL BE PREPARED AND SUBMITTED TO THE EPA UNDER THE NPDES CGP. A SWPPP SHALL BE PREPARED AND MAINTAINED ON SITE.
10. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

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0,124 MILTON ROAD
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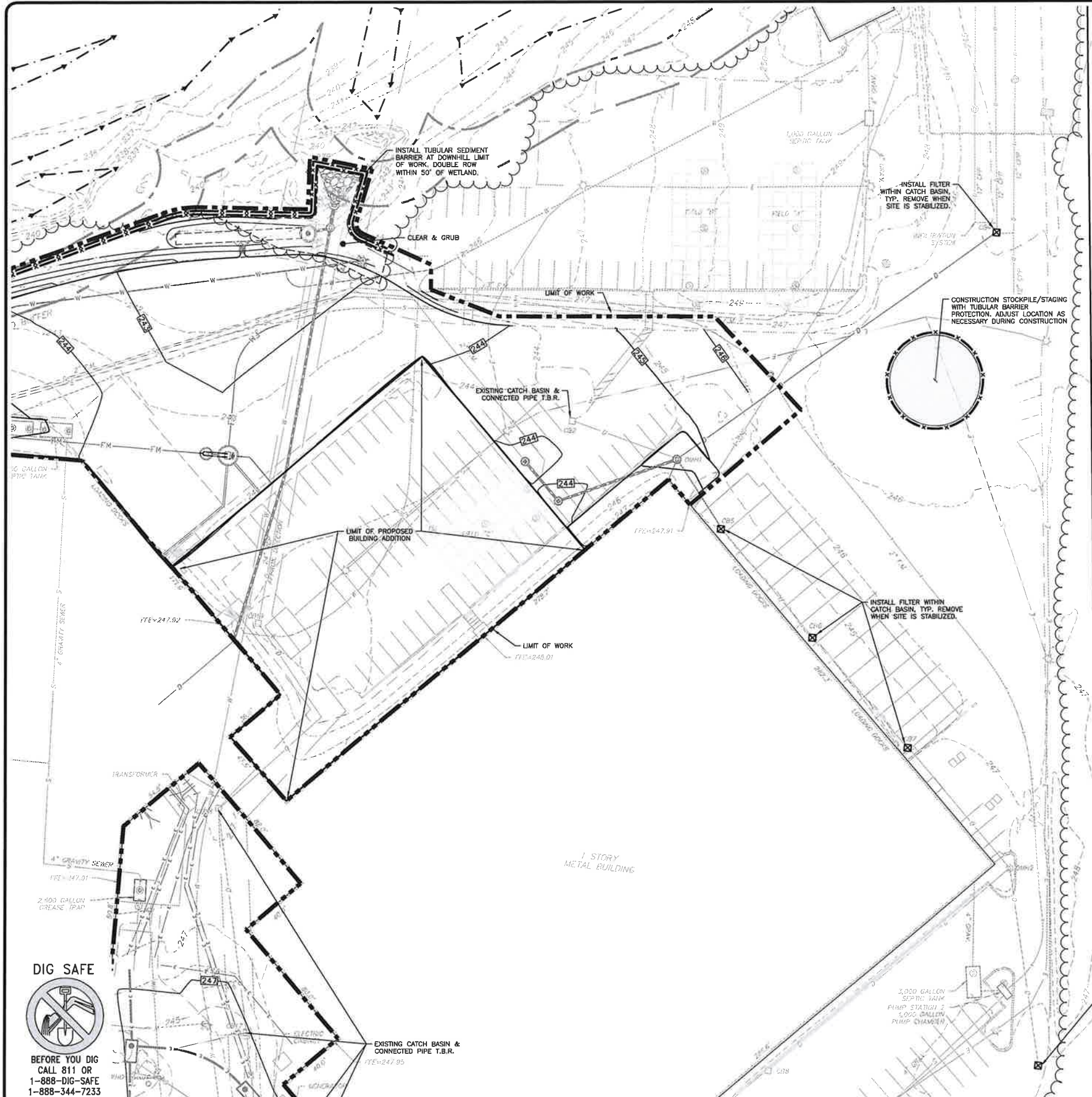
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DRAWING TITLE:
EROSION CONTROL
PLAN

SHEET No.
C-101A

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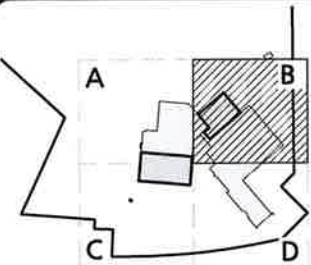
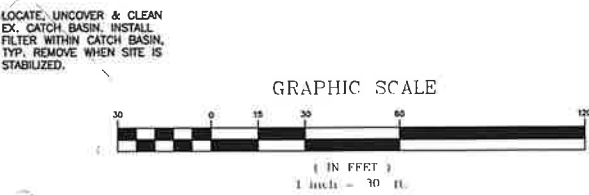
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LEGEND

TUBULAR BARRIER	— x — x —
CATCH BASIN FILTER	⊠
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▤
LIMIT OF DISTURBANCE	— · — · —
LIMIT OF 'CLEAR AND GRUB'	▬
BUILDING TO BE REMOVED	▧
PAVEMENT TO BE REMOVED	▩

- NOTES**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLANS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
 3. OFF-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM DOUCET SURVEY, LLC. "EXISTING CONDITIONS PLAN FOR HOYLE, TANNER, & ASSOCIATES, INC. OF MILTON ROAD (NH ROUTE 125) AND AMAROSA DRIVE INTERSECTION, ROCHESTER, NH" DATED JUNE 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
 4. ALL ELEVATIONS REFER TO NAVD '88.
 5. NO MATERIAL CONTAINING ANY LIVING OR Viable PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR3800 TABLE 3800.1) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITE WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPARTMENT OF AGRICULTURE PER RSA 430:55.
 6. A WATERING TRUCK SHALL BE USED TO PERIODICALLY SPRINKLE CONSTRUCTION AREAS IN ORDER TO KEEP THE LEVEL OF DUST TO A MINIMUM DURING THE DRY MONTHS AND AS REQUIRED IN ACCORDANCE WITH ENV-A1000.
 7. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE, THE PROPERTY OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
 8. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.25 INCHES. THE INSPECTIONS SHALL VERIFY THAT THE STRUCTURAL BMPs SHOWN AND DESCRIBED ON THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE AND INSPECTION REPORT SHALL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE FOR THE DURATION OF THE PROJECT AND BE MADE AVAILABLE FOR REVIEW BY THE CITY UPON REQUEST.
 9. A NOTICE OF INTENT (NOI) SHALL BE PREPARED AND SUBMITTED TO THE EPA UNDER THE NPDES CGP. A SWPPP SHALL BE PREPARED AND MAINTAINED ON SITE.
 10. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



SHEET KEY PLAN

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

BRIAN D. JONES
No. 19809
LICENSED PROFESSIONAL ENGINEER
01-20-23

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 30'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental
consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

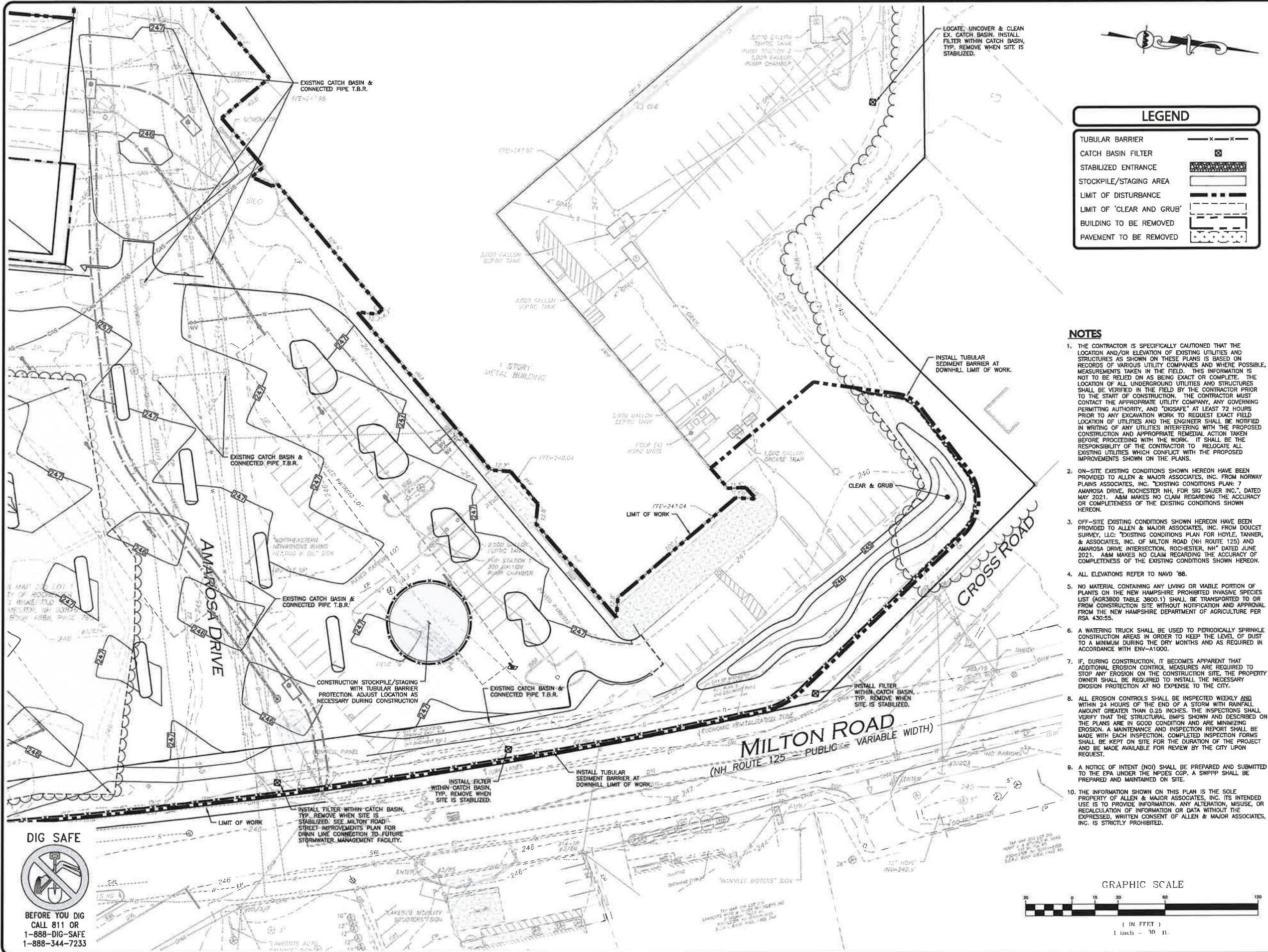
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DRAWING TITLE:	SHEET NO.
EROSION CONTROL PLAN	C-101B

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SHEET KEY PLAN

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A **DATE:** 01-20-23

SCALE: 1" = 30' **DWG. NAME:** C2912-01A

DESIGNED BY: JRG **CHECKED BY:** BDJ

PREPARED BY:

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DRAWING TITLE: EROSION CONTROL PLAN

SHEET No. C-101D

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ITEM	REQUIRED/ALLOWED	PROPOSED
MINIMUM LOT AREA	30,000 SF ⁽¹⁾	1,721,000± SF
MINIMUM LOT FRONTAGE	100 FT	729± FT (MILTON ROAD) 197± FT (CROSS ROAD)
MAXIMUM LOT COVERAGE	75%	39%
MINIMUM FRONT YARD SETBACK	25 FT	79.7± FT
MINIMUM REAR YARD SETBACK	25 FT	296.7± FT
MINIMUM SIDE YARD SETBACK	20 FT	56.4± FT
MAXIMUM BUILDING HEIGHT	55 FT	<55 FT

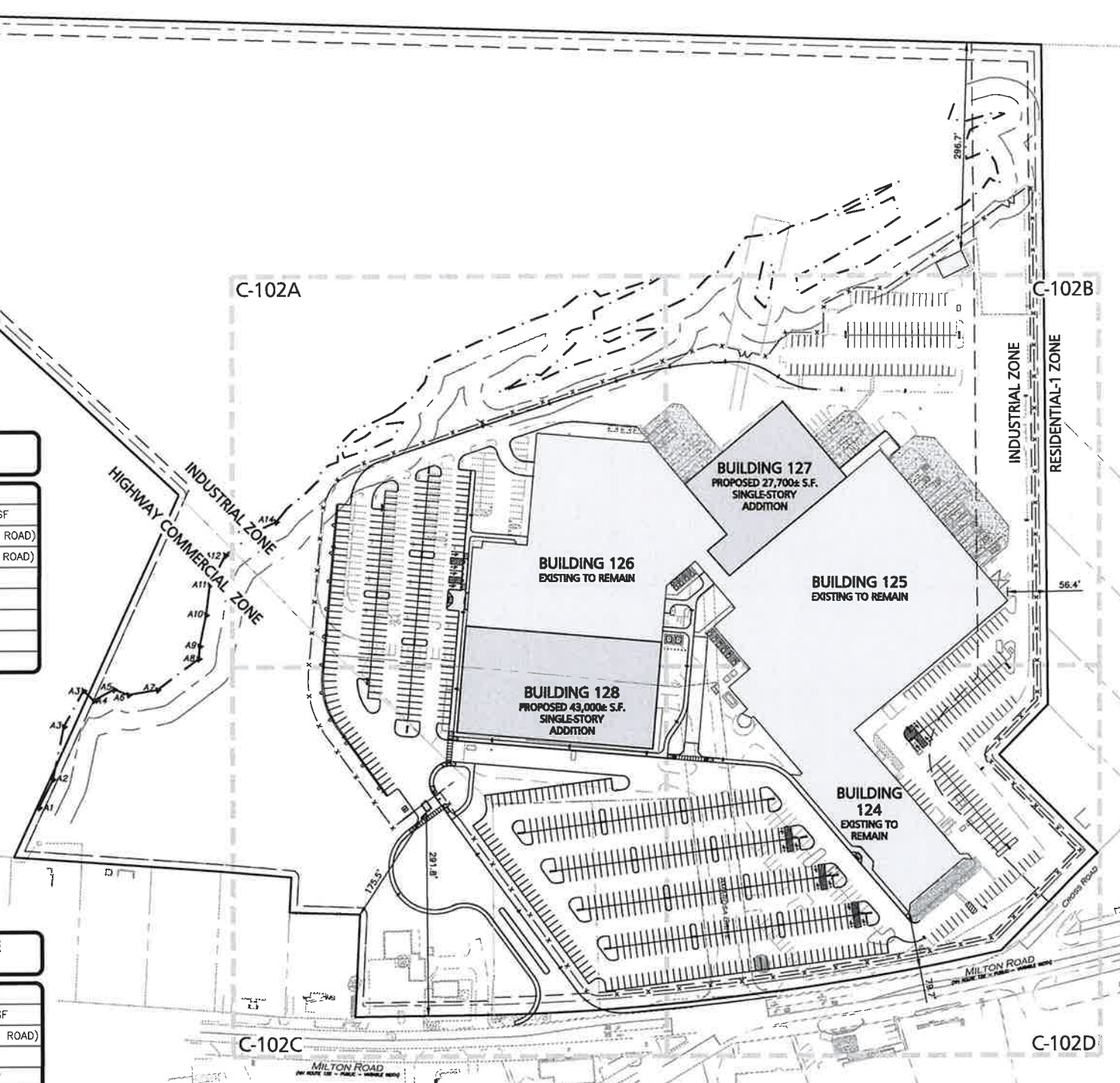
ZONING SUMMARY TABLE - HIGHWAY COMMERCIAL ZONE
124 MILTON ROAD

ITEM	REQUIRED/ALLOWED	PROPOSED
MINIMUM LOT AREA	20,000 SF	249,277± SF
MINIMUM LOT FRONTAGE	100 FT	199± FT (MILTON ROAD)
MAXIMUM LOT COVERAGE	85%	13%
MINIMUM FRONT YARD SETBACK	20 FT	291.8± FT
MINIMUM REAR YARD SETBACK	25 FT	N/A
MINIMUM SIDE YARD SETBACK	10 FT	175.5± FT
MAXIMUM NUMBER OF STORIES	3	1

DIG SAFE



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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233**

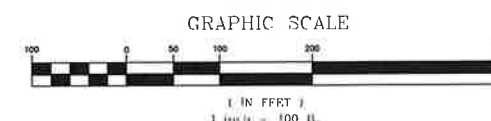


PARKING SUMMARY TABLE			
CITY OF ROCHESTER, NH – SITE PLAN REVIEW REGULATIONS: SECTION 10 – PARKING & CIRCULATION	MINIMUM REQUIRED	EXISTING PARKING	PROPOSED PARKING
INDUSTRIAL USE (INDUSTRY, HEAVY): 271,800± SF (TOTAL GFA), 25,000± SF (OFFICE GFA)	347	587	812
1 SPACE PER 1,000 SF GFA → 1 SPACE X (271,800 SF/1,000 SF) = 271.8			
3 SPACES PER 1,000 SF GFA DEDICATED TO OFFICE USE → 3 SPACES X (25,000 SF/1,000 SF) = 75.0			

LEGEND	
PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING SETBACK LINE	
LANDSCAPE BUFFER LINE	
BUILDING ARCHITECTURE	
PARKING COUNT	
SIDEWALK	
CURB	
PARKING STRIPING	
ROADWAY STRIPING	
STEEL GUARDRAIL	
HEAVY DUTY CONCRETE	
CHAIN LINK FENCE	
SAW-CUT LINE	

NOTES

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE OVERALL SITE LAYOUT AND MATERIALS INFORMATION FOR THE PROPOSED BUILDING ADDITIONS AND ASSOCIATED SITE IMPROVEMENTS. SEE SHEETS C-102A THROUGH C-102D FOR 1"=30' SCALE ENLARGEMENTS.
2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT: SIG SAUER 7-8 AMAROSA DRIVE ROCHESTER, NH 03868		
PROJECT: 7,8,16 AMAROSA DRIVE 0,124 MILTON ROAD ROCHESTER, NH 03868		
PROJECT NO.	2912-01A	DATE: 01-20-23
SCALE:	1" = 100'	DWG. NAME: C2912-01A
DESIGNED BY:	JRG	CHECKED BY: BJD

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

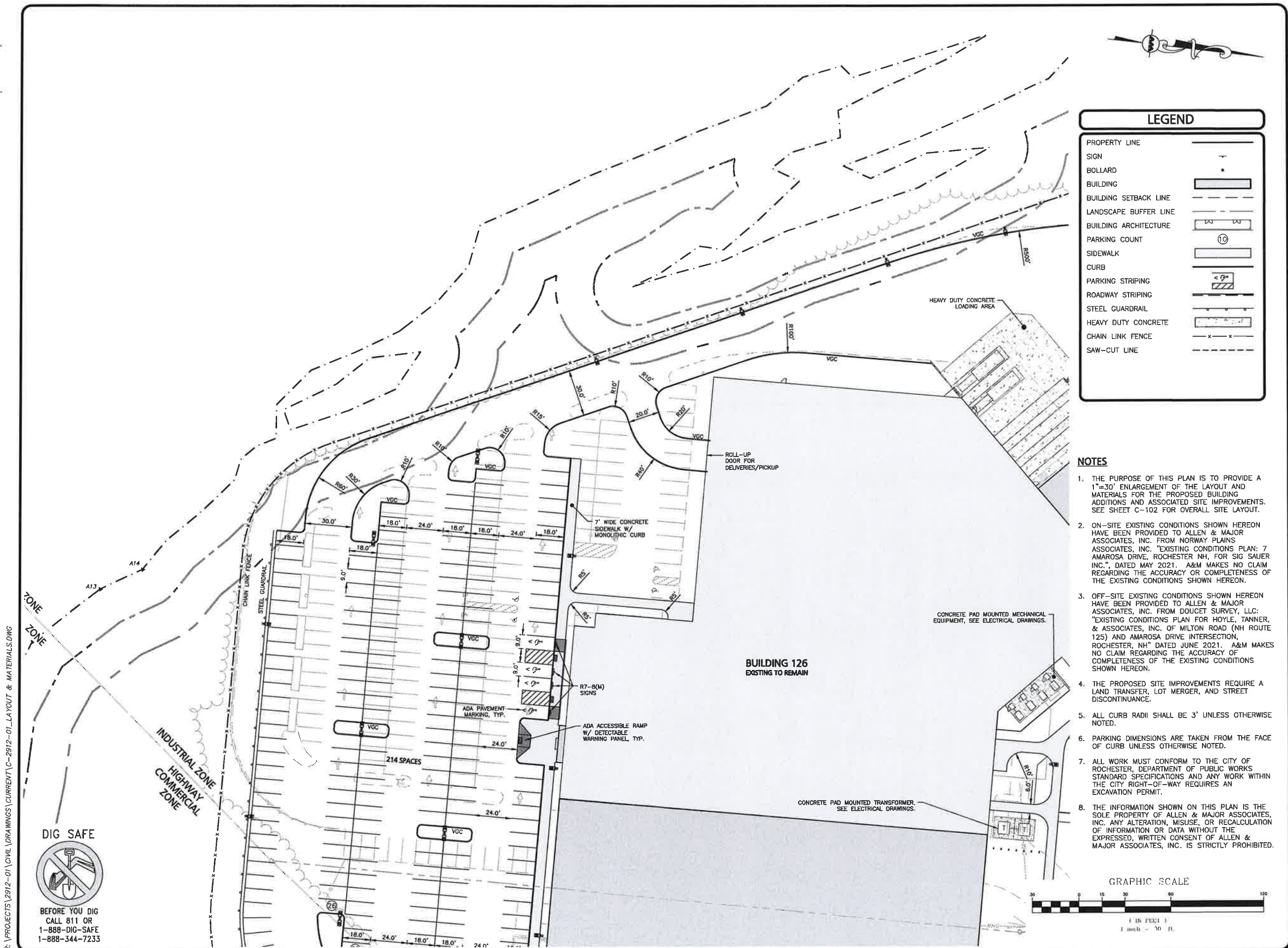
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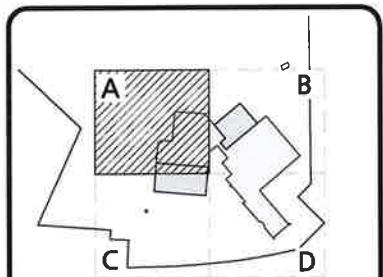
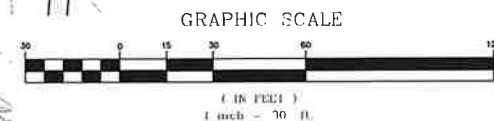
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DRAWING TITLE:	SHEET No.
OVERALL LAYOUT & MATERIALS PLAN	C-102



LEGEND	
PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING SETBACK LINE	
LANDSCAPE BUFFER LINE	
BUILDING ARCHITECTURE	
PARKING COUNT	
SIDEWALK	
CURB	
PARKING STRIPING	
ROADWAY STRIPING	
STEEL GUARDRAIL	
HEAVY DUTY CONCRETE	
CHAIN LINK FENCE	
SAW-CUT LINE	

- ## NOTES
1. THE PURPOSE OF THIS PLAN IS TO PROVIDE A 1"=30' ENLARGEMENT OF THE LAYOUT AND MATERIALS FOR THE PROPOSED BUILDING ADDITIONS AND ASSOCIATED SITE IMPROVEMENTS. SEE SHEET C-102 FOR OVERALL SITE LAYOUT.
 2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
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SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT: SIG SAUER 7-8 AMAROSA DRIVE ROCHESTER, NH 03868		
PROJECT: 7,8,16 AMAROSA DRIVE 0,124 MILTON ROAD ROCHESTER, NH 03868		
PROJECT NO.	2912-01A	DATE: 01-20-23
SCALE:	1" = 30'	DWG. NAME: C2912-01A
DRAWN BY:	JRG	CHECKED BY: BDJ



ALLEN & MAJOR
ASSOCIATES, INC.

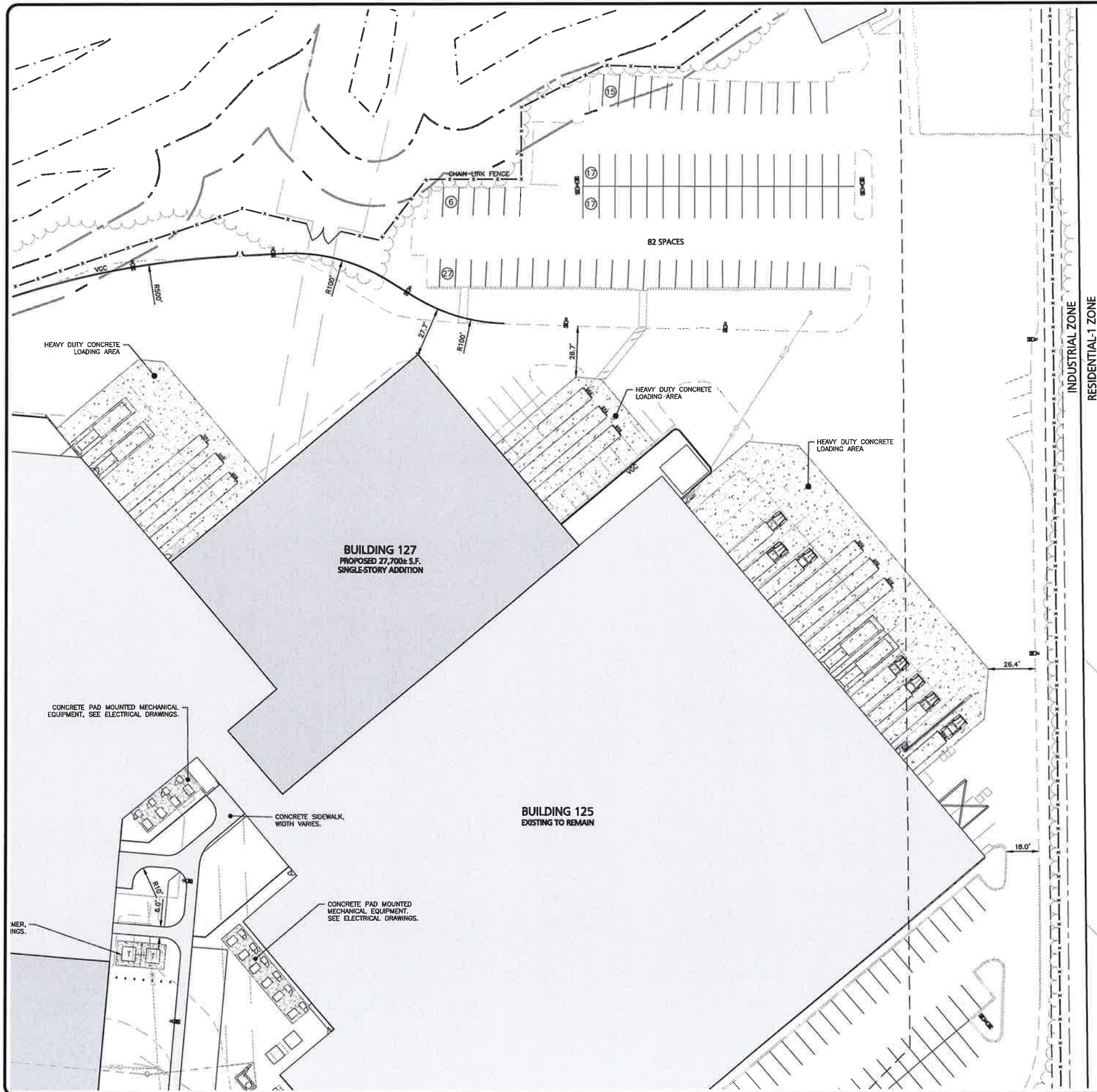
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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102A

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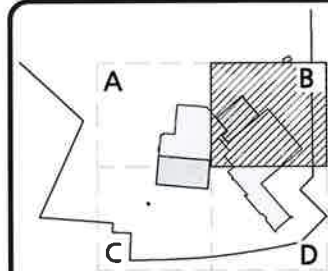
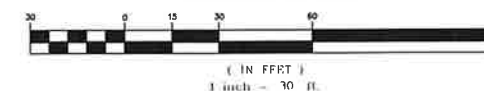


LEGEND

PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING SETBACK LINE	
LANDSCAPE BUFFER LINE	
BUILDING ARCHITECTURE	
PARKING COUNT	
SIDEWALK	
CURB	
PARKING STRIPING	
ROADWAY STRIPING	
STEEL GUARDRAIL	
HEAVY DUTY CONCRETE	
CHAIN LINK FENCE	
SAW-CUT LINE	

NOTES

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REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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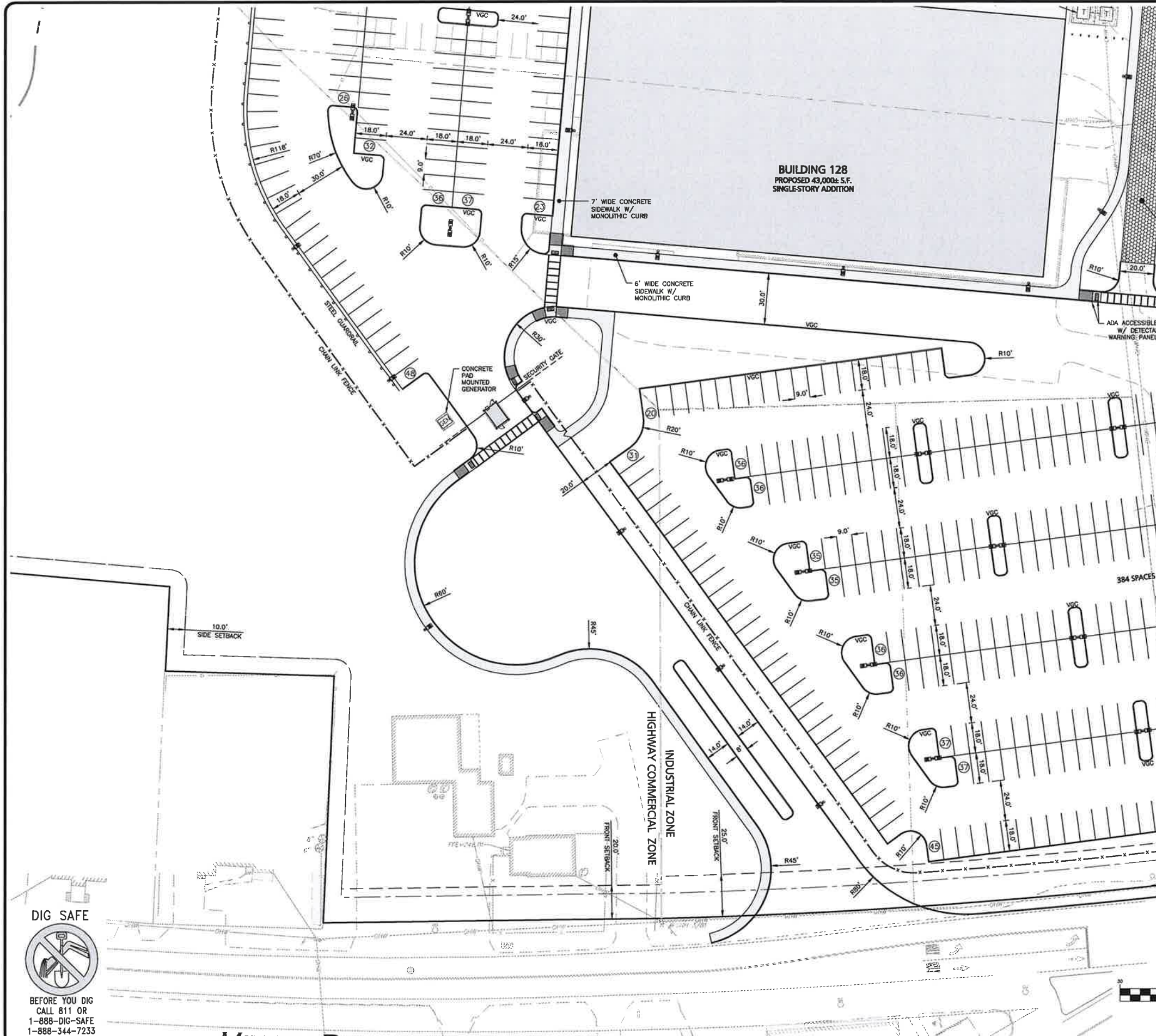
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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102B

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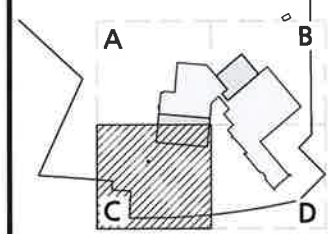
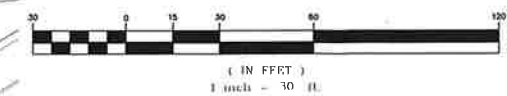
LEGEND

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Solid black rectangle]
BUILDING SETBACK LINE	- - -
LANDSCAPE BUFFER LINE	- - -
BUILDING ARCHITECTURE	[Patterned rectangle]
PARKING COUNT	10
SIDEWALK	[Patterned rectangle]
CURB	[Patterned rectangle]
PARKING STRIPING	[Patterned rectangle]
ROADWAY STRIPING	[Patterned rectangle]
STEEL GUARDRAIL	[Patterned rectangle]
HEAVY DUTY CONCRETE	[Patterned rectangle]
CHAIN LINK FENCE	[Patterned rectangle]
SAW-CUT LINE	---

NOTES

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GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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SCALE:	1" = 30'	DWG. NAME:	C2912-01A
--------	----------	------------	-----------

DESIGNED BY:	JRG	CHECKED BY:	BDJ
--------------	-----	-------------	-----

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

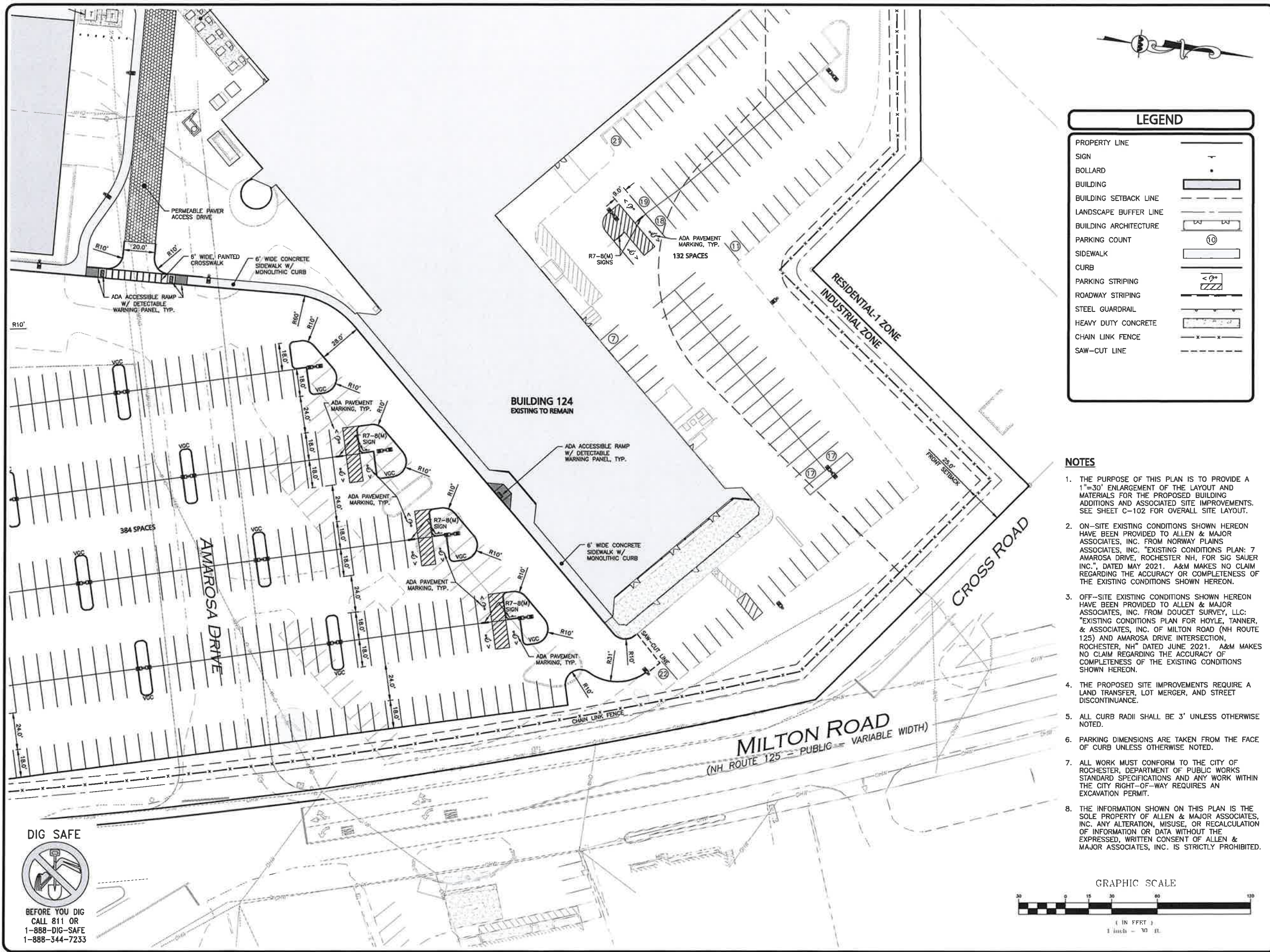
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DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102C

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LEGEND

PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	▒
BUILDING SETBACK LINE	---
LANDSCAPE BUFFER LINE	---
BUILDING ARCHITECTURE	▒
PARKING COUNT	10
SIDEWALK	---
CURB	---
PARKING STRIPING	---
ROADWAY STRIPING	---
STEEL GUARDRAIL	---
HEAVY DUTY CONCRETE	---
CHAIN LINK FENCE	---
SAW-CUT LINE	---

- NOTES**
1. THE PURPOSE OF THIS PLAN IS TO PROVIDE A 1"=30' ENLARGEMENT OF THE LAYOUT AND MATERIALS FOR THE PROPOSED BUILDING ADDITIONS AND ASSOCIATED SITE IMPROVEMENTS. SEE SHEET C-102 FOR OVERALL SITE LAYOUT.
 2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
 3. OFF-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM DOUGET SURVEY, LLC: "EXISTING CONDITIONS PLAN FOR HOYLE, TANNER, & ASSOCIATES, INC. OF MILTON ROAD (NH ROUTE 125) AND AMAROSA DRIVE INTERSECTION, ROCHESTER, NH" DATED JUNE 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
 4. THE PROPOSED SITE IMPROVEMENTS REQUIRE A LAND TRANSFER, LOT MERGER, AND STREET DISCONTINUANCE.
 5. ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
 6. PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
 7. ALL WORK MUST CONFORM TO THE CITY OF ROCHESTER, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND ANY WORK WITHIN THE CITY RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT.
 8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

SHEET KEY PLAN

PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 30' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102D

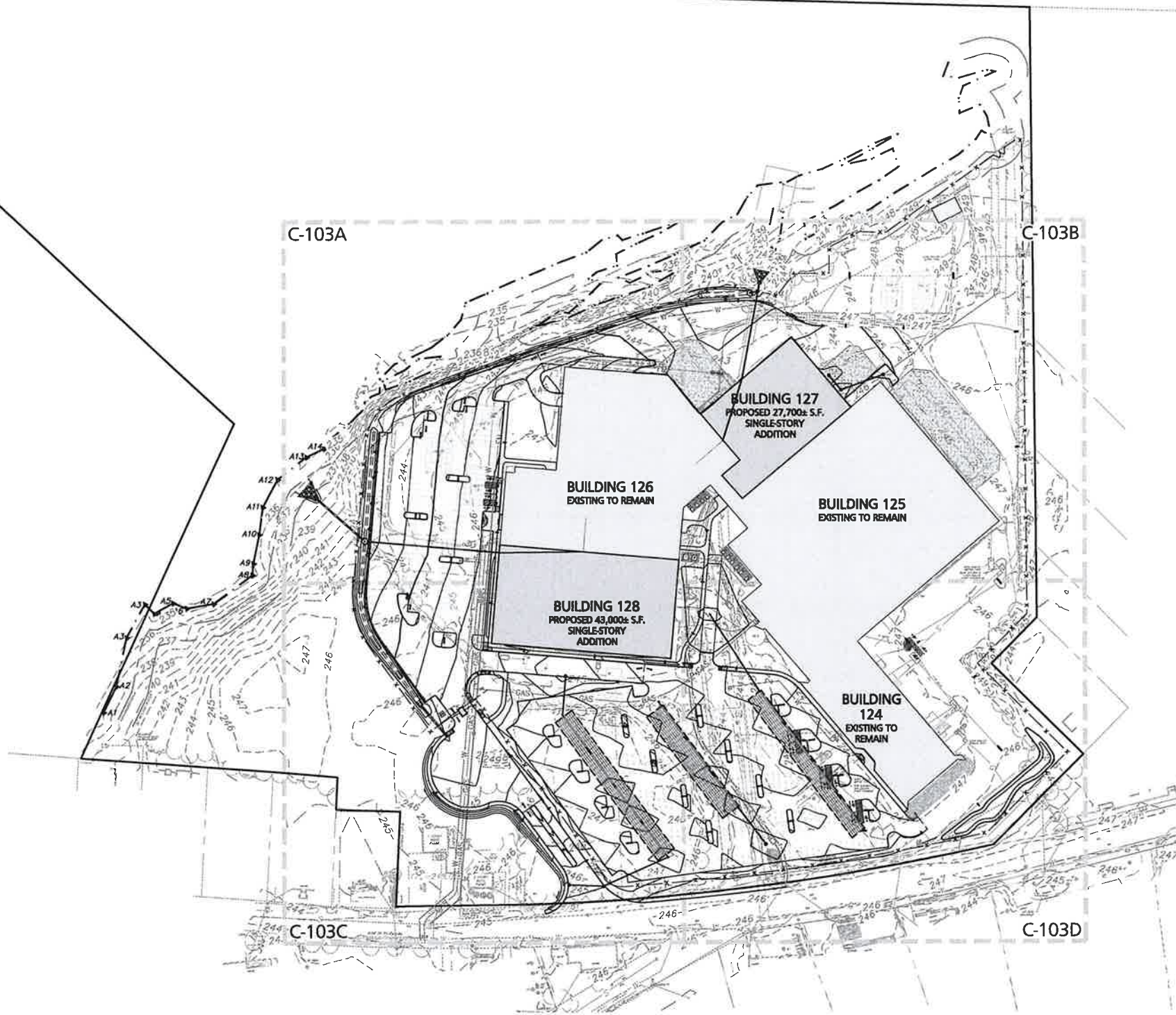
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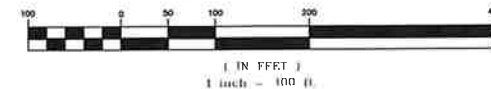
LEGEND

DRAIN MANHOLE	
OUTLET CONTROL (BEEHIVE)	
CATCH BASIN	
CATCH BASIN (30" NYLOPLAST)	
FLARED END SECTION	
DRAIN LINE	
RIPRAP OUTFALL	
HEADWALL	
5' CONTOUR	
1' CONTOUR	
SPOT GRADE	
INFILTRATION SYSTEM	
INFILTRATION CHAMBER	
ISOLATION ROW	
FLOW DIRECTION	

NOTES

- EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER, NH, FOR SIG SAUER INC., DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- SPOT GRADES ALONG CURBING, SHOWN ON THE FOLLOWING SHEETS (C-103A THROUGH C-103D), REPRESENT BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- THE OWNER SHALL BE RESPONSIBLE TO MAINTAIN COMPLIANCE WITH Env-Wq 401, BEST MANAGEMENT PRACTICES FOR GROUNDWATER PROTECTION WITH RESPECT TO ALL REGULATED SUBSTANCES FOUND ON SITE.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 100' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

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consulting • landscape architecture
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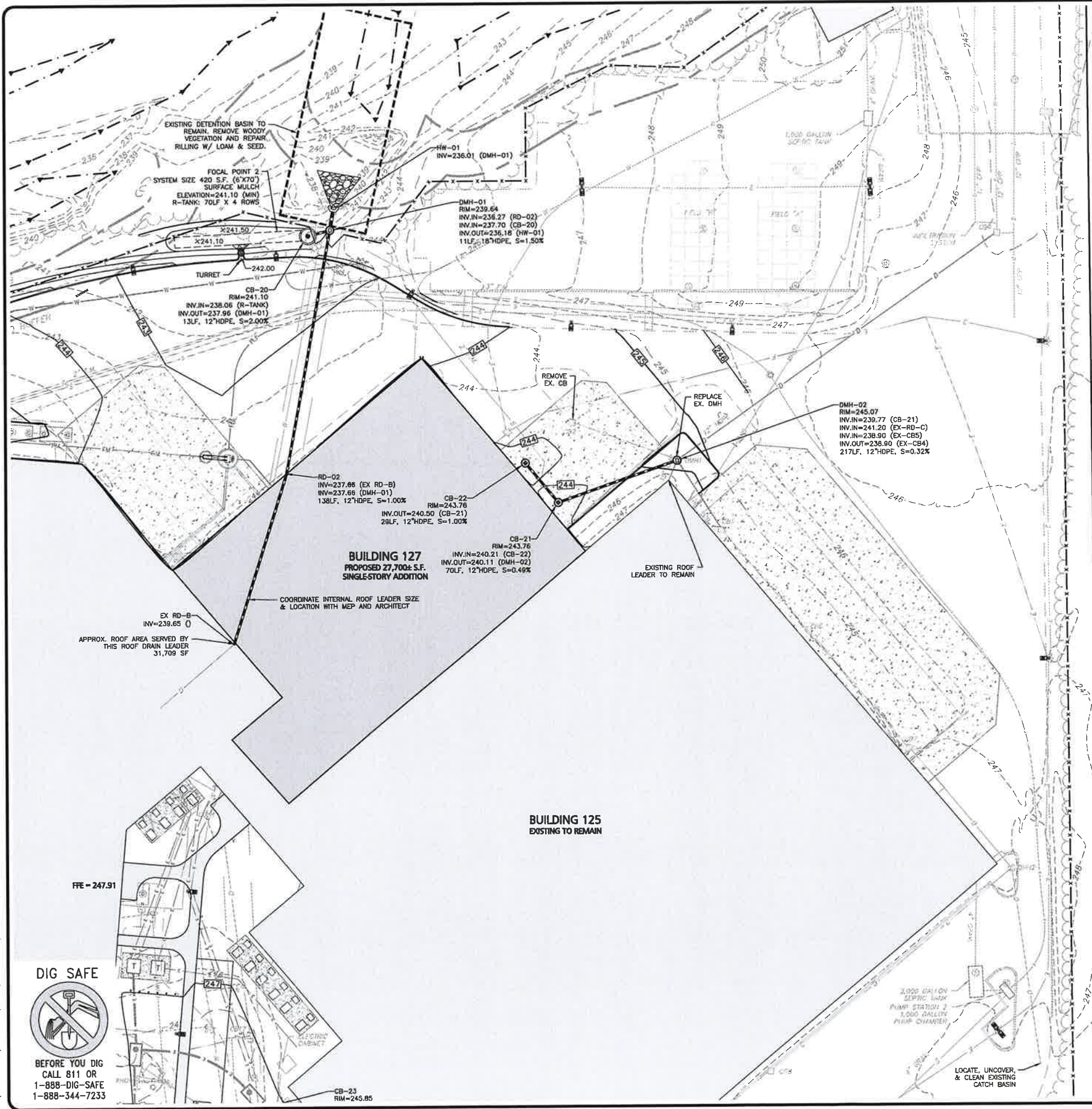
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DRAWING TITLE:
OVERALL GRADING
& DRAINAGE PLAN

SHEET No.
C-103

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LEGEND

DRAIN MANHOLE

OUTLET CONTROL (BEEHIVE)

CATCH BASIN

CATCH BASIN (30" NYLOPLAST)

FLARED END SECTION

DRAIN LINE

RIPRAP OUTFALL

HEADWALL

5' CONTOUR

1' CONTOUR

SPOT GRADE

INFILTRATION SYSTEM

INFILTRATION CHAMBER

ISOLATION ROW

FLOW DIRECTION

- NOTES
1.

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2.

VERTICAL DATUM IS NAVD83. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
3.

ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4.

PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
5.

ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
6.

SPOT GRADES ALONG CURBING, SHOWN ON THE FOLLOWING SHEETS (C-103A THROUGH C-103D), REPRESENT BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
7.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8.

ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
9.

THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
10.

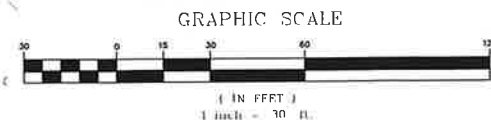
CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
11.

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
12.

ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
13.

THE OWNER SHALL BE RESPONSIBLE TO MAINTAIN COMPLIANCE WITH Env-Wq 401, BEST MANAGEMENT PRACTICES FOR GROUNDWATER PROTECTION WITH RESPECT TO ALL REGULATED SUBSTANCES FOUND ON SITE.
14.

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A

B

C

D

SHEET KEY PLAN

BRIAN D. JONES
No. 13869
STATE OF NEW HAMPSHIRE
PROFESSIONAL ENGINEER

01-20-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 30'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:

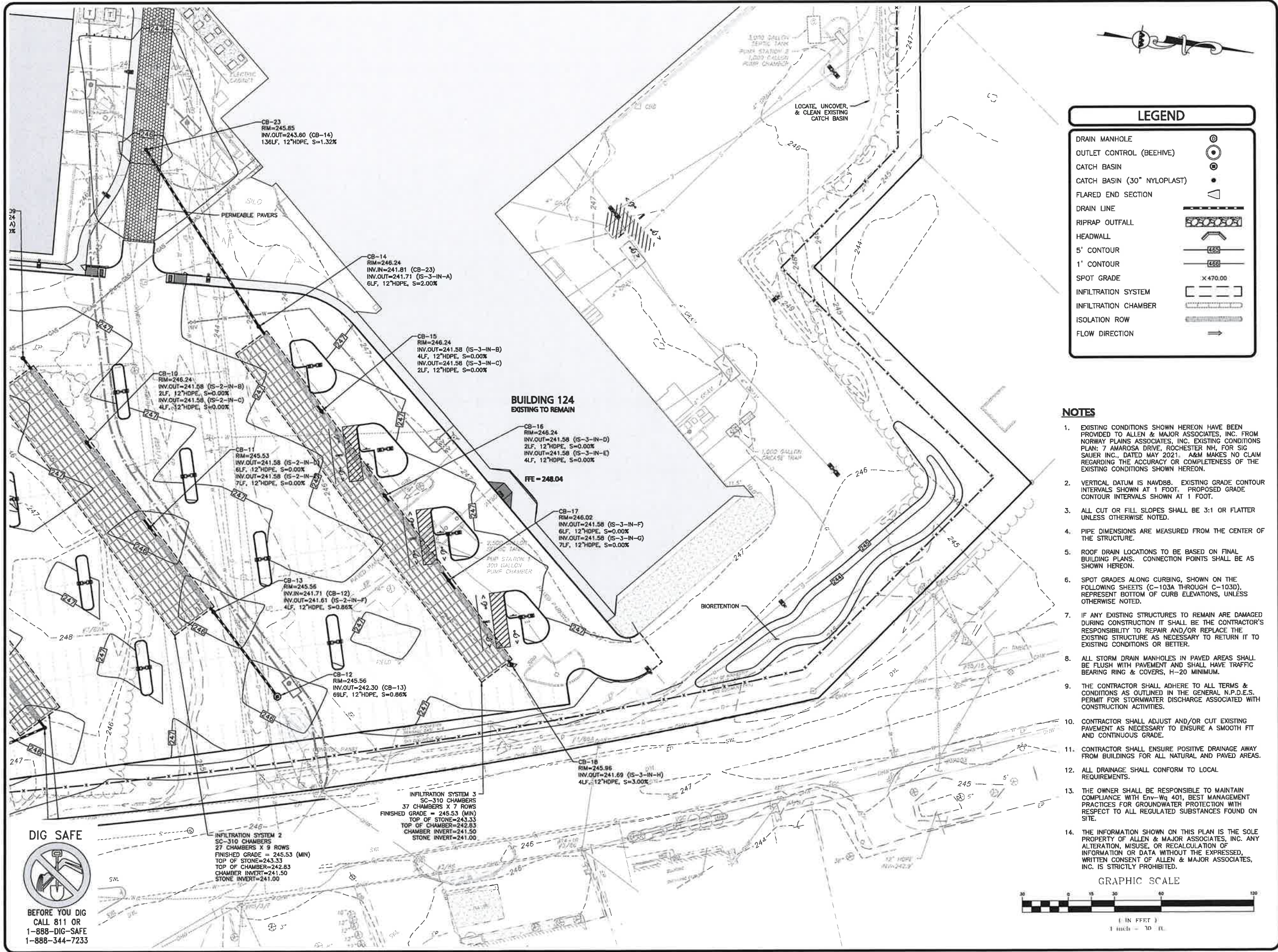
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DRAWING TITLE: GRADING & DRAINAGE PLAN	SHEET No. C-103B
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SHEET KEY PLAN

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A **DATE:** 01-20-23

SCALE: 1" = 30' **DWG. NAME:** C2912-01A

DESIGNED BY: JRG **CHECKED BY:** BDJ

PREPARED BY:

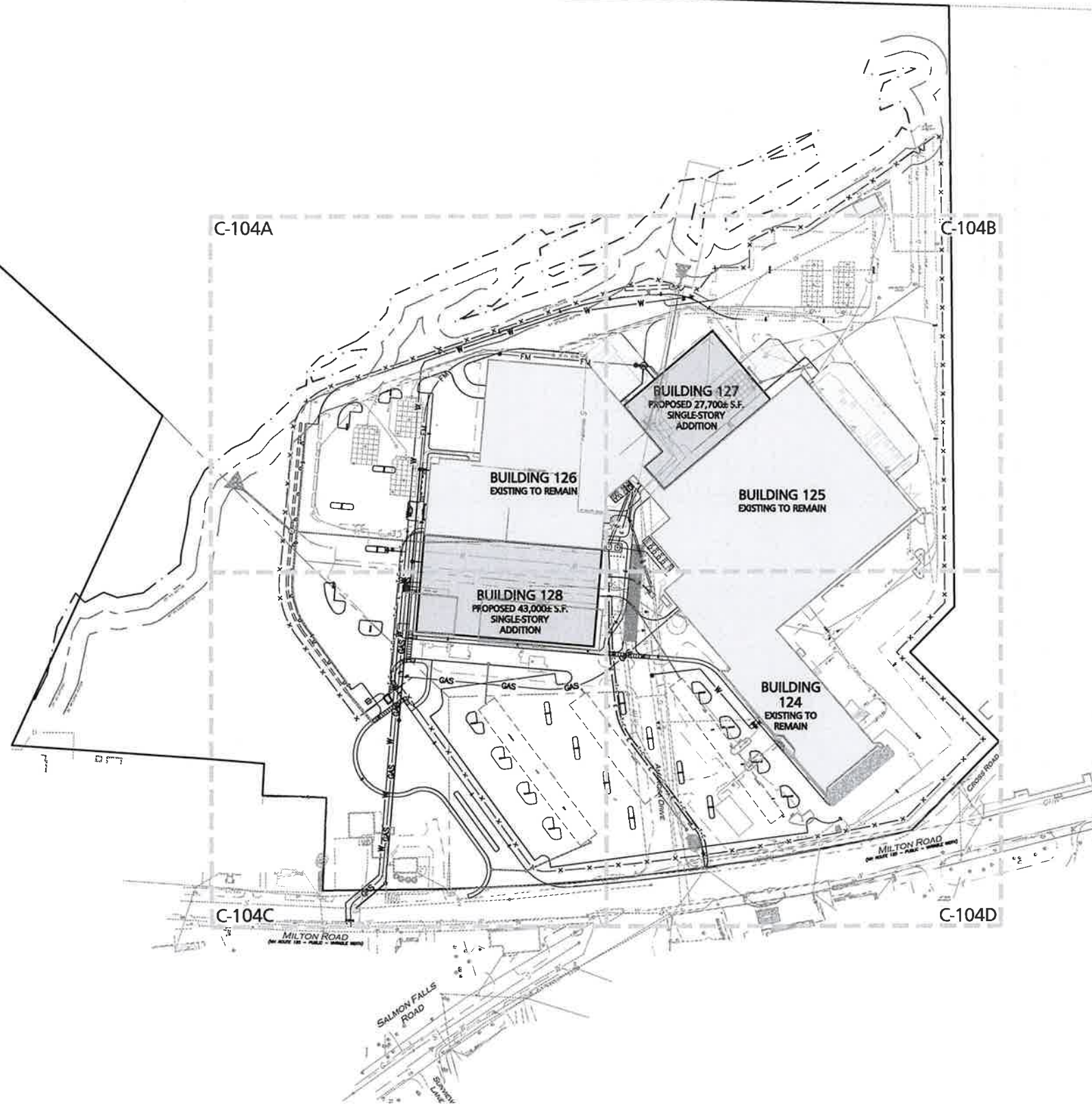
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DRAWING TITLE: GRADING & DRAINAGE PLAN **SHEET No.:** C-103D

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LEGEND

SEWER MANHOLE	
SEWER CLEANOUT	
SEWER VENT	
SEWER LINE	
SEWER FORCEMAIN	
CONCRETE PIPE ENCASEMENT	
WATER LINE	
WATER VALVE	
HYDRANT	
WATER LINE REDUCER	
GAS LINE	
GAS VALVE	
SEPTIC/HOLDING TANK	
GREASE TRAP	
OVER HEAD WIRE	
UTILITY POLE	
ELECTRIC MANHOLE	
HAND HOLE	
ELECTRICAL CONDUIT	
LIGHTING CONDUIT	
IRRIGATION SLEEVE	
TELE/CABLE CONDUIT	

NOTES

1. THE PURPOSE OF THIS PLAN IS TO PROVIDE OVERALL UTILITIES INFORMATION FOR THE PROPOSED BUILDING ADDITIONS AND ASSOCIATED SITE IMPROVEMENTS. SEE SHEETS C-104A THROUGH C-104D FOR 1"=30' SCALE ENLARGEMENTS.
2. ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER, NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
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4. VERTICAL DATUM IS NAVD83. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
5. PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. ALL SEWER IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
8. ALL UTILITIES SHALL CONFORM TO LOCAL REQUIREMENTS.
9. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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SCALE:	1" = 100'	DWG. NAME:	C2912-01A
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DESIGNED BY:	JRG	CHECKED BY:	BDJ
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PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering • land surveying environmental
consulting • landscape architecture
www.allenmajor.com

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DRAWING TITLE:	SHEET No.
OVERALL UTILITIES PLAN	C-104

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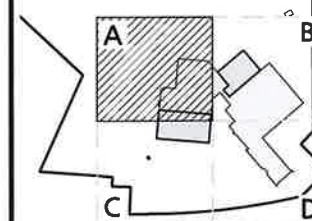
LEGEND

SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
SEWER FORCEMAIN	— FM —
CONCRETE PIPE ENCASEMENT	—
WATER LINE	— W —
WATER VALVE	WV
HYDRANT	⊙
WATER LINE REDUCER	—
GAS LINE	— GAS —
GAS VALVE	GV
SEPTIC/HOLDING TANK	⊙
GREASE TRAP	⊙
OVER HEAD WIRE	— OHW —
UTILITY POLE	⊙
ELECTRIC MANHOLE	⊙
HAND HOLE	⊙
ELECTRICAL CONDUIT	— E —
LIGHTING CONDUIT	— L —
IRRIGATION SLEEVE	— I —
TELE/CABLE CONDUIT	— T —

NOTES

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GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 30' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

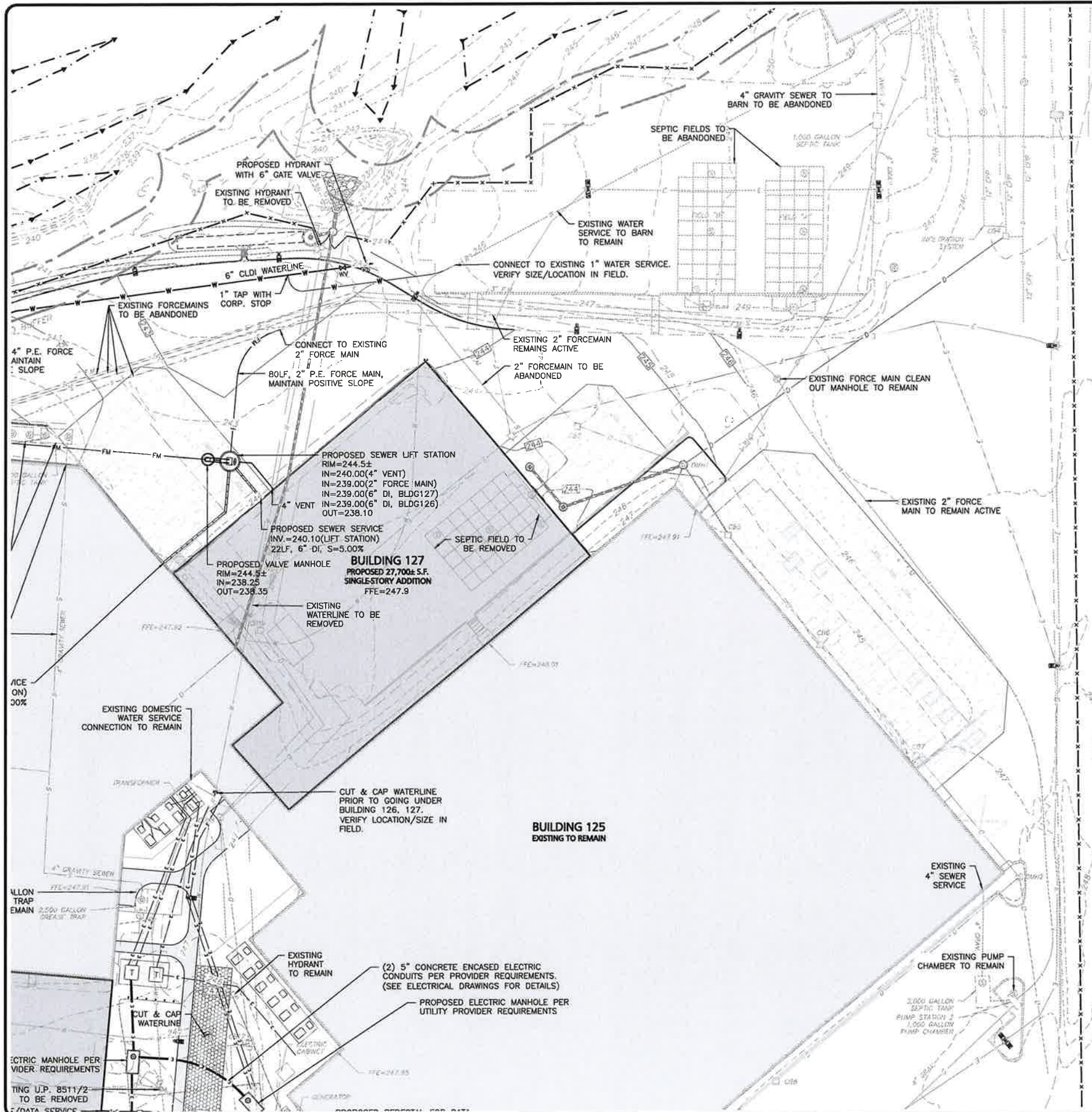
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consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

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DRAWING TITLE: UTILITIES PLAN SHEET No. C-104A

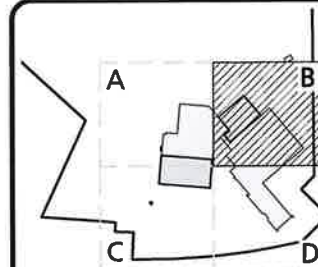
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NOTES



GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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DESIGNED BY: JRG CHECKED BY: BDJ



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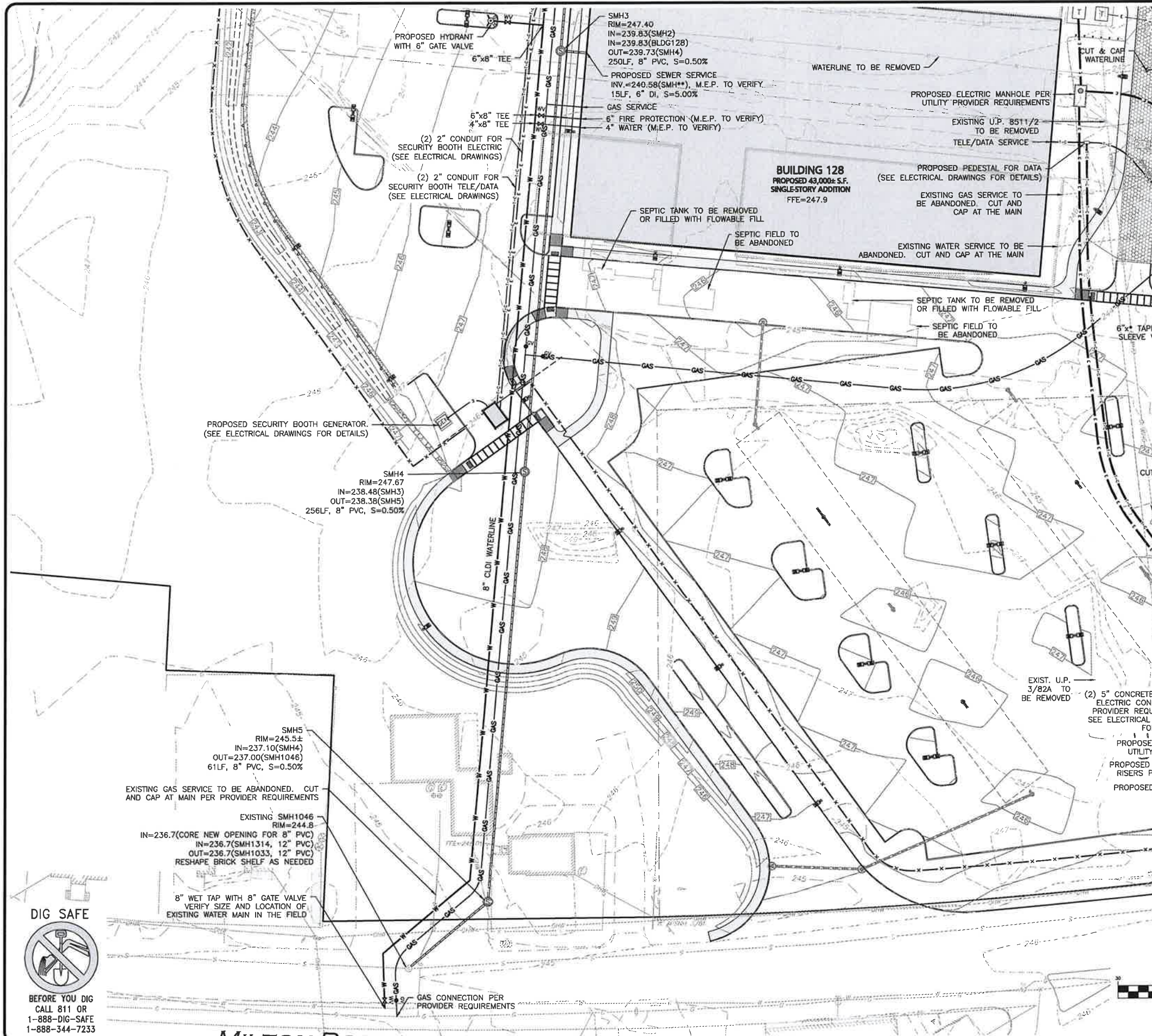
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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104B

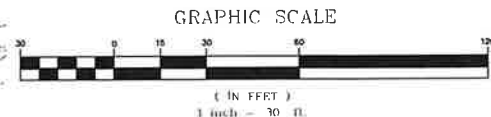
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R:\PROJECTS\2012-01\CIVIL\DRAWINGS\CURRENT\C-2012-01 UTILITIES.DWG



LEGEND	
SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
SEWER FORCEMAIN	FM
CONCRETE PIPE ENCASEMENT	—
WATER LINE	W
WATER VALVE	WV
HYDRANT	⊙
WATER LINE REDUCER	—
GAS LINE	GAS
GAS VALVE	GV
SEPTIC/HOLDING TANK	⊙
GREASE TRAP	⊙
OVER HEAD WIRE	—
UTILITY POLE	⊙
ELECTRIC MANHOLE	⊙
HAND HOLE	⊙
ELECTRICAL CONDUIT	—
LIGHTING CONDUIT	—
IRRIGATION SLEEVE	—
TELE/CABLE CONDUIT	—

- NOTES**
- ON-SITE EXISTING CONDITIONS SHOWN HEREON HAVE BEEN PROVIDED TO ALLEN & MAJOR ASSOCIATES, INC. FROM NORWAY PLAINS ASSOCIATES, INC. "EXISTING CONDITIONS PLAN: 7 AMAROSA DRIVE, ROCHESTER NH, FOR SIG SAUER INC.", DATED MAY 2021. A&M MAKES NO CLAIM REGARDING THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN HEREON.
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 - VERTICAL DATUM IS NAVD83. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
 - PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL SEWER IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
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A

B

C

D

SHEET KEY PLAN

BRIAN D. JONES
No. 13669
LICENSED
PROFESSIONAL ENGINEER

01-20-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 30'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

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ASSOCIATES, INC.

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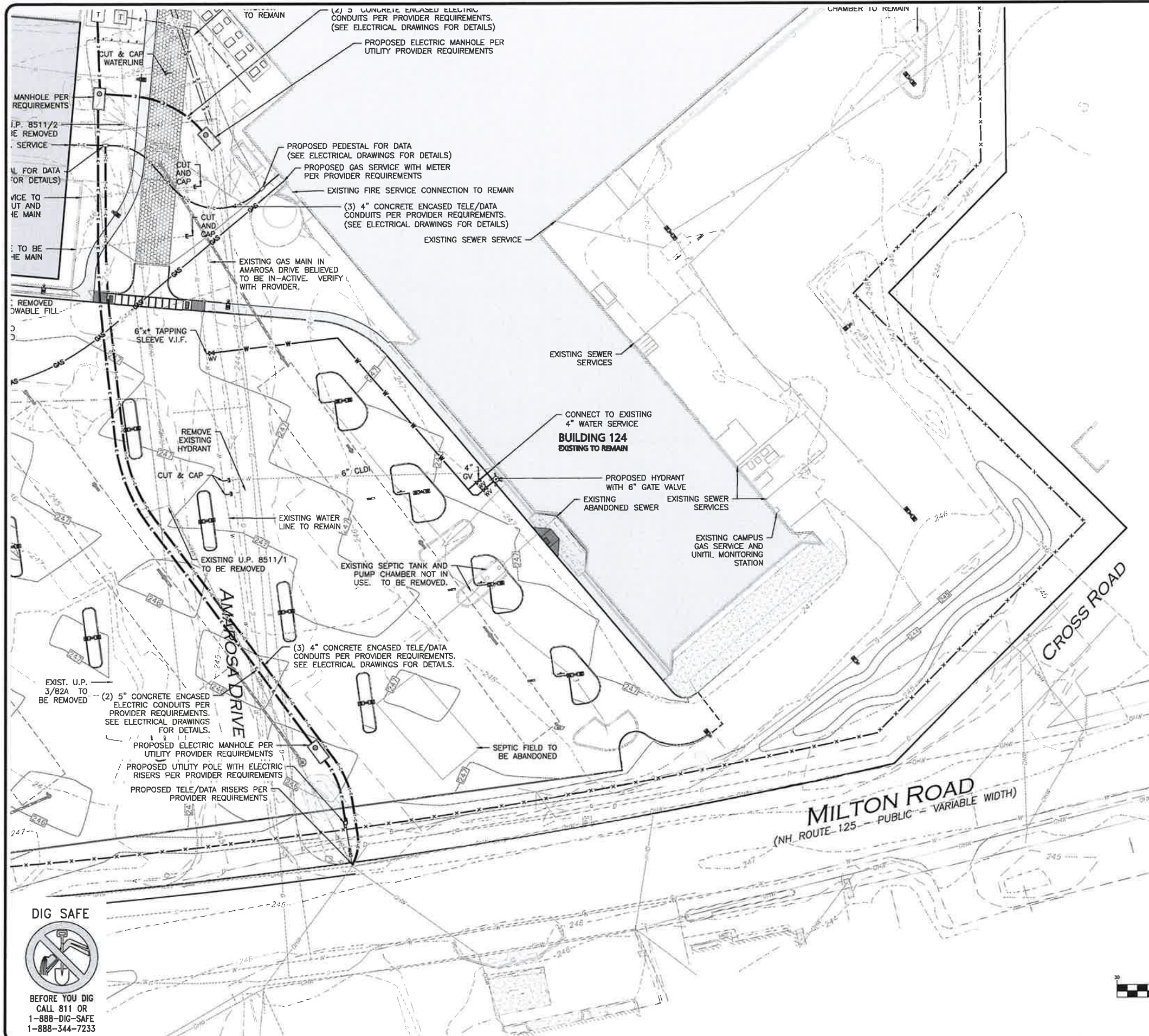
DRAWING TITLE:
UTILITIES PLAN

SHEET No.
C-104C

BEFORE YOU DIG
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1-888-344-7233

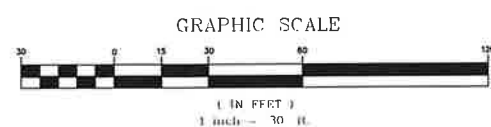
DIG SAFE

R:\PROJECTS\2012-01\CIVIL\DRAWINGS\CURRENT\C-2012-01_UTILITIES.DWG



LEGEND	
SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
SEWER FORCEMAIN	— FM —
CONCRETE PIPE ENCASEMENT	—
WATER LINE	— W —
WATER VALVE	⊙
HYDRANT	⊙
WATER LINE REDUCER	—
GAS LINE	— GAS —
GAS VALVE	⊙
SEPTIC/HOLDING TANK	⊙
GREASE TRAP	⊙
OVER HEAD WIRE	— OHW —
UTILITY POLE	⊙
ELECTRIC MANHOLE	⊙
HAND HOLE	⊙
ELECTRICAL CONDUIT	— E —
LIGHTING CONDUIT	— L —
IRRIGATION SLEEVE	— I —
TELE/CABLE CONDUIT	— T —

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A

B

C

D

SHEET KEY PLAN

BRIAN D. JONES
No. 13609
LICENSED PROFESSIONAL ENGINEER
01-20-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 30'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:

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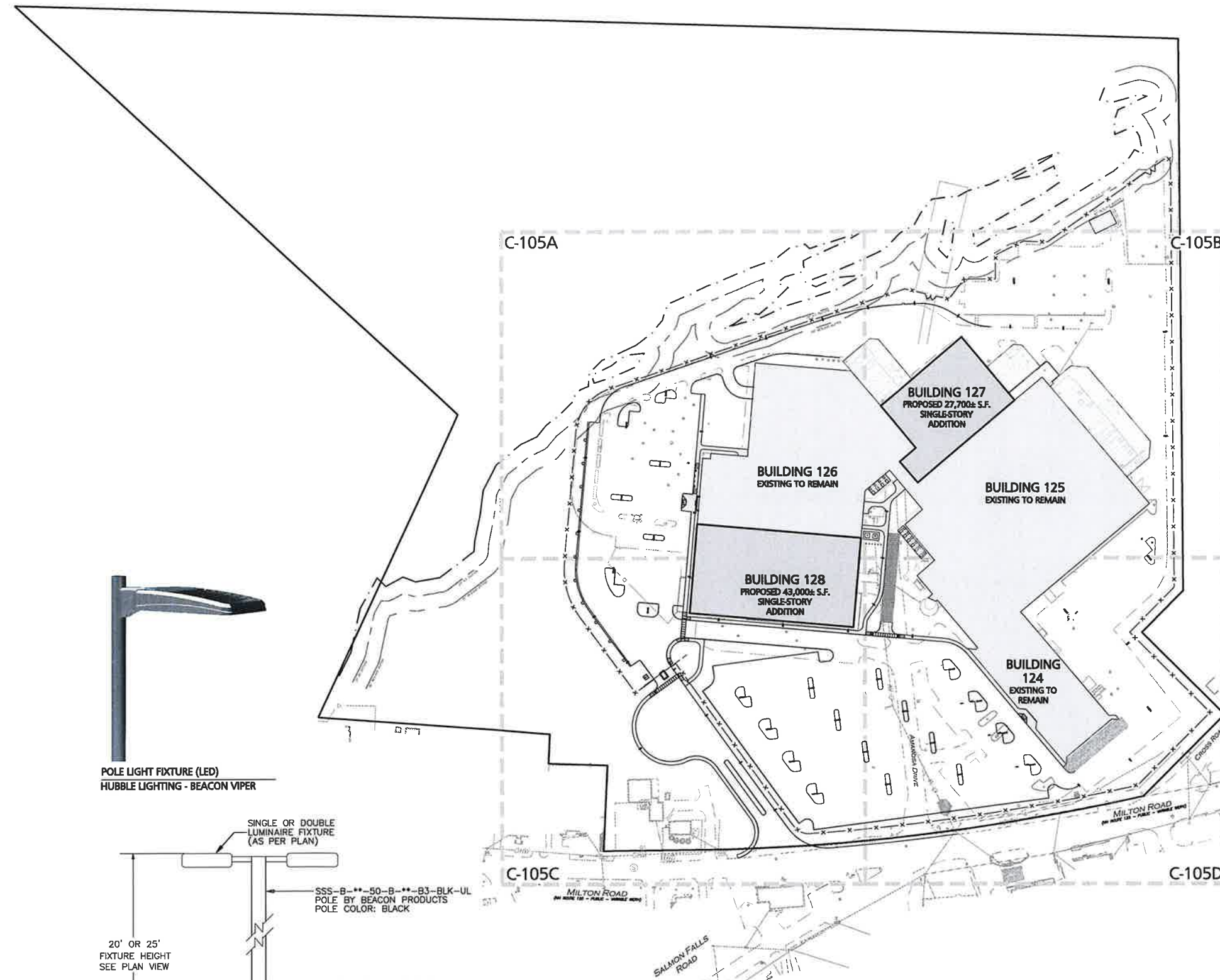
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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104D

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R:\PROJECTS\2012-01\CIVIL\DRAWINGS\CURRENT\C-2012-01_LIGHTING.DWG



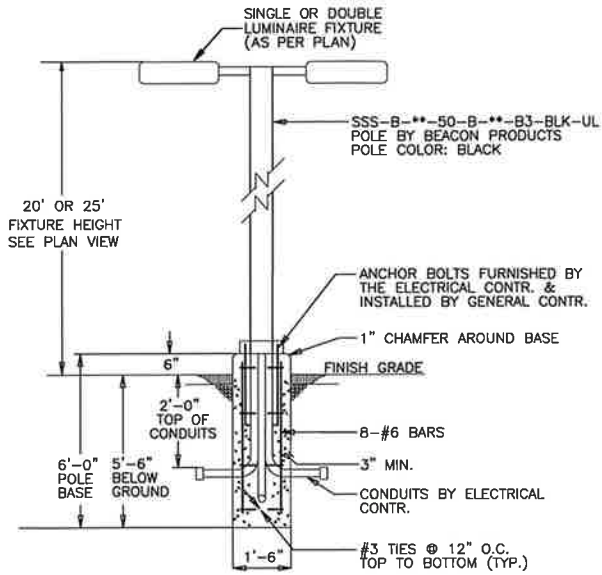
LEGEND

SINGLE POLE LIGHT

DOUBLE POLE LIGHT

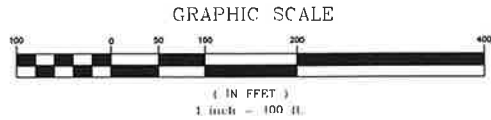
LIGHTING LEVELS
GIVEN IN FOOT-CANDLES 0.1 0.2 0.4 0.6

- NOTES**
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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 - VENDOR INFORMATION:
SWANEY LIGHTING ASSOCIATES
CONTACT: CHRIS PECHALK
PHONE: 207-883-7100
 - LIGHTS WITHIN THE PARKING AREAS AND ACCESS DRIVES SHALL OPERATE ON A PHOTO-CELL & PROGRAMMABLE TIMER.
 - CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
 - WIRING OF BUILDING MOUNTED FIXTURES BY BUILDING CONTRACTOR.
 - ALL POLES AND FIXTURE HEADS SHALL BE BLACK COLOR.
 - THE SITE LIGHTING FIXTURES SHOWN HEREON ARE FULL CUT-OFF AND COMPLIANT WITH THE INTERNATIONAL DARK SKY ASSOCIATION.
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LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY	WATTS	LUMENS	LLF	DESCRIPTION
	2S4	11	242	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	2S4F	17	242	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC
	S3	14	120.9	12247	0.90	VP-1-120L-120-3K7-3-UNV-A-BLT-WIRSC
	S4	12	120.9	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	S4F	6	120.9	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE	ILLUMINANCE	Fc	1.2	6.8	0.0	N.A.	N.A.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	1" = 100'	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:






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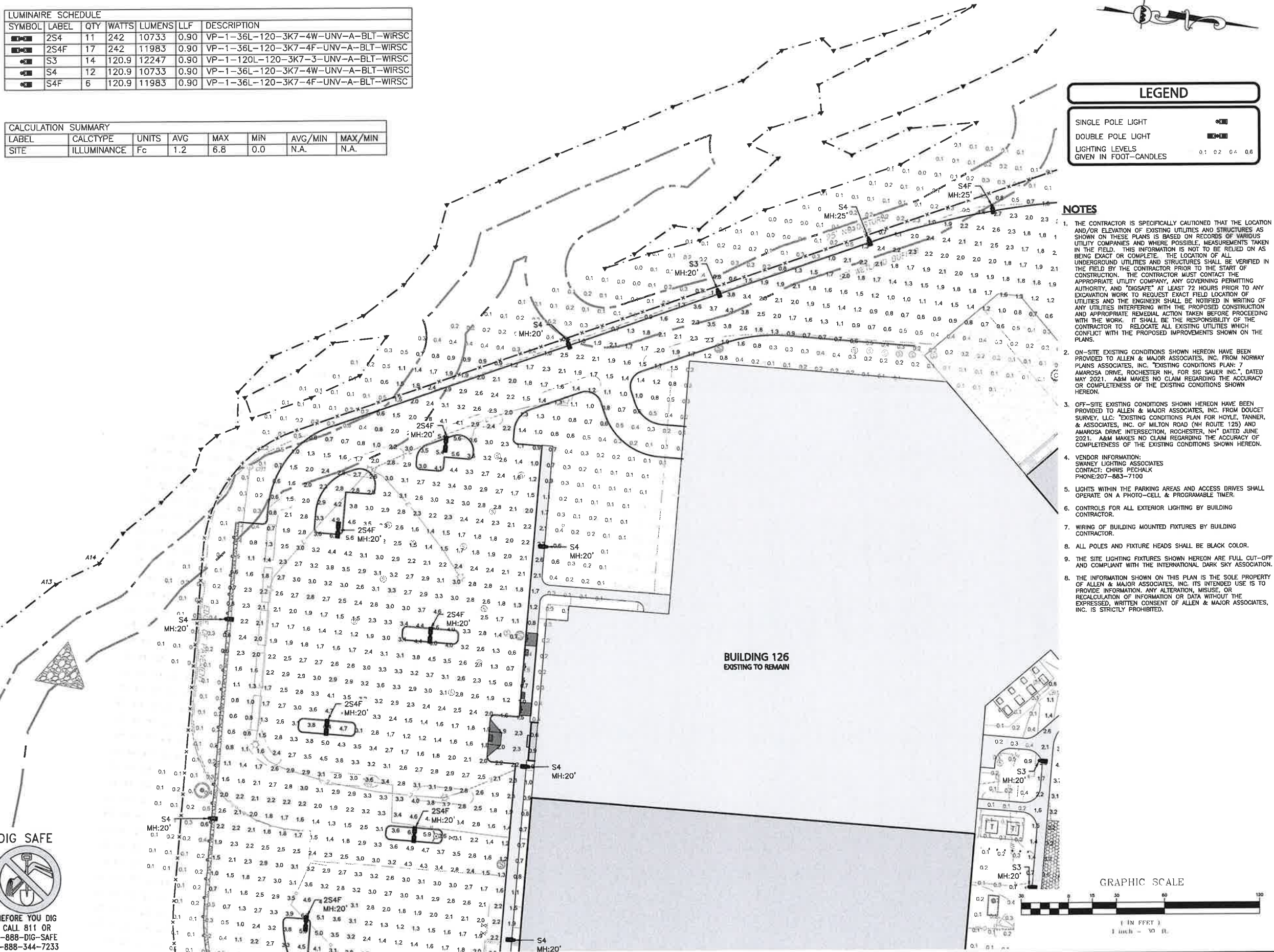
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DRAWING TITLE:	SHEET No.
OVERALL LIGHTING PLAN	C-105


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LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY	WATTS	LUMENS	LLF	DESCRIPTION
	2S4	11	242	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	2S4F	17	242	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC
	S3	14	120.9	12247	0.90	VP-1-120L-120-3K7-3-UNV-A-BLT-WIRSC
	S4	12	120.9	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	S4F	6	120.9	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE	ILLUMINANCE	Fc	1.2	6.8	0.0	N.A.	N.A.



LEGEND

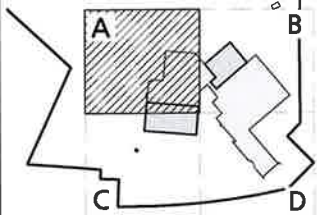
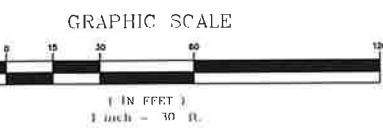
SINGLE POLE LIGHT 

DOUBLE POLE LIGHT 

LIGHTING LEVELS
GIVEN IN FOOT-CANDLES

0.1 0.2 0.4 0.6

- NOTES**
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 - VENDOR INFORMATION:
SHAWNEE LIGHTING ASSOCIATES
CONTACT: CHRIS PECHALK
PHONE: 207-883-7100
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SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
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DRAWING TITLE: **SITE LIGHTING PLAN**

SHEET No. **C-105A**

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LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY	WATTS	LUMENS	LLF	DESCRIPTION
	2S4	11	242	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	2S4F	17	242	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC
	S3	14	120.9	12247	0.90	VP-1-120L-120-3K7-3-UNV-A-BLT-WIRSC
	S4	12	120.9	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	S4F	6	120.9	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC

CALCULATION SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
SITE	ILLUMINANCE	Fc	1.2	6.8	0.0	N.A.



LEGEND

SINGLE POLE LIGHT	
DOUBLE POLE LIGHT	
LIGHTING LEVELS GIVEN IN FOOT-CANDLES	0.1 0.2 0.4 0.6

NOTES

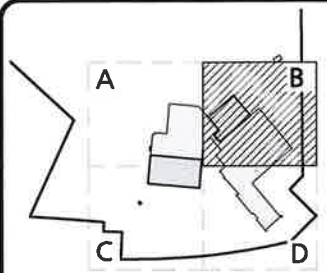
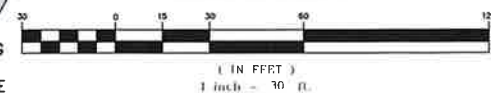
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SWANEY LIGHTING ASSOCIATES
CONTACT: CHRIS PECHALK
PHONE: 207-883-7100
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- CONTROLS FOR ALL EXTERIOR LIGHTING BY BUILDING CONTRACTOR.
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GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 30' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



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ASSOCIATES, INC.**

civil engineering • land surveying environmental
consulting • landscape architecture
www.allenmajor.com

400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA • LAKESVILLE, MA • MANCHESTER, NH

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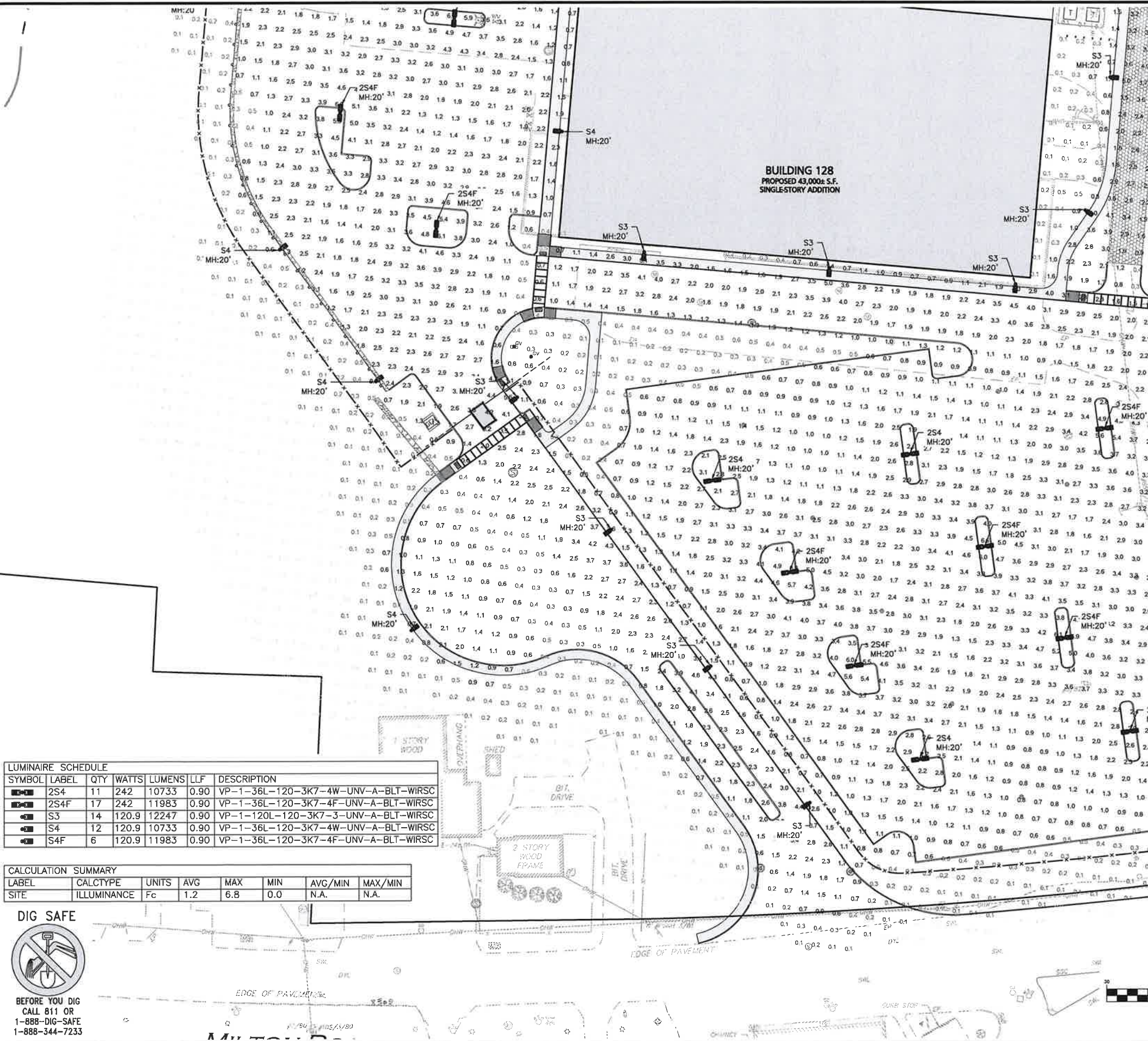
DRAWING TITLE: SHEET No.

SITE LIGHTING PLAN

C-105B

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LEGEND

SINGLE POLE LIGHT
DOUBLE POLE LIGHT
LIGHTING LEVELS
GIVEN IN FOOT-CANDLES

NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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- VENDOR INFORMATION:
SWANEY LIGHTING ASSOCIATES
CONTACT: CHRIS PECHALK
PHONE: 207-883-7100
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GRAPHIC SCALE

1" = 30' FT

SHEET KEY PLAN

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV **DATE** **DESCRIPTION**

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A **DATE:** 01-20-23

SCALE: 1" = 30' **DWG. NAME:** C2912-01A

DESIGNED BY: JRG **CHECKED BY:** BDJ

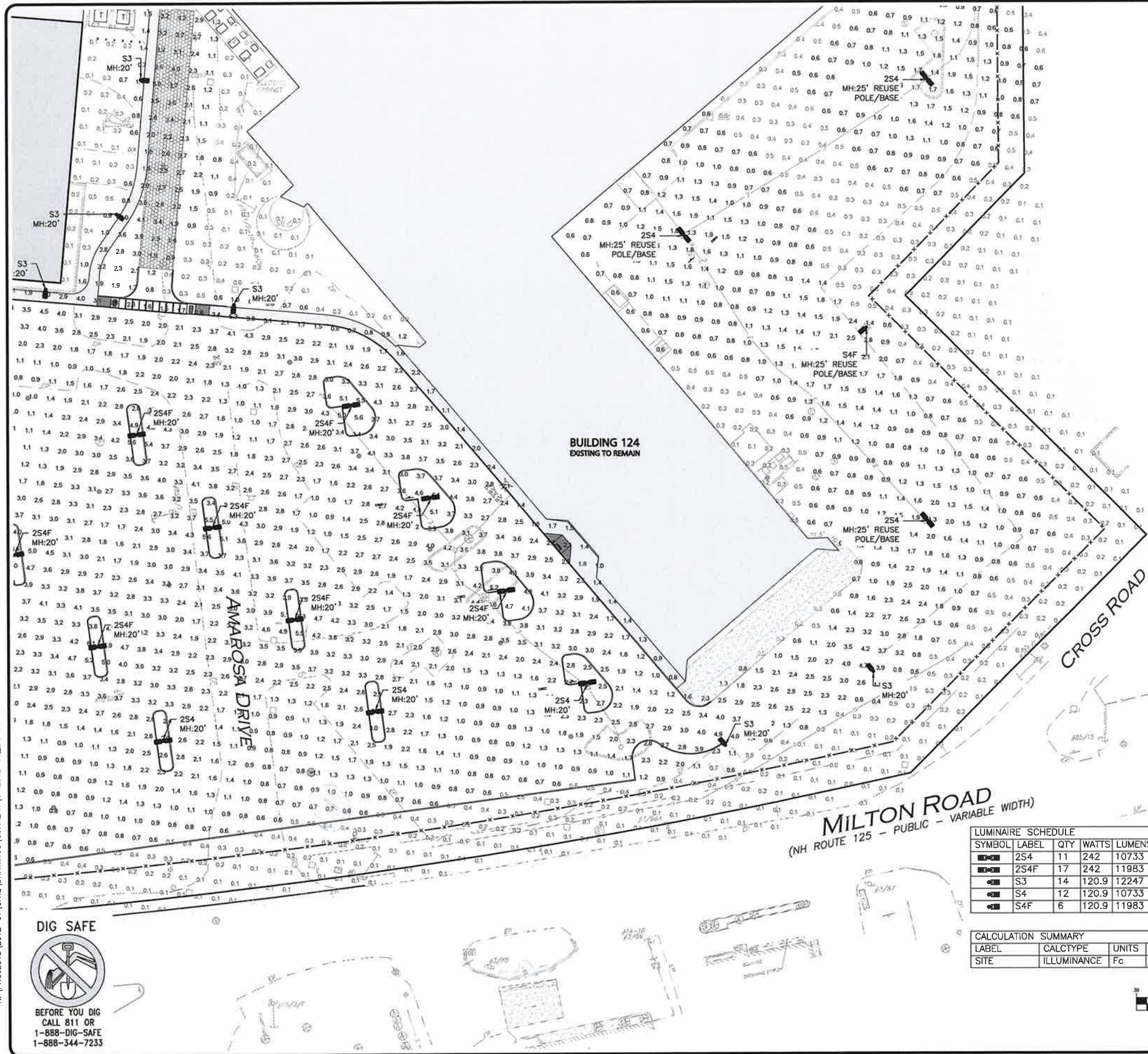
PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
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consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

DRAWING TITLE: SITE LIGHTING PLAN **SHEET No.** C-105C

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LEGEND

SINGLE POLE LIGHT
DOUBLE POLE LIGHT
LIGHTING LEVELS
GIVEN IN FOOT-CANDLES

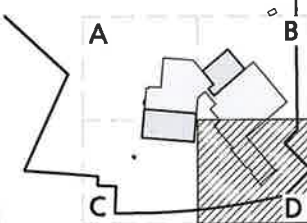
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LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QTY	WATTS	LUMENS	LLF	DESCRIPTION
	2S4	11	242	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	2S4F	17	242	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC
	S3	14	120.9	12247	0.90	VP-1-120L-120-3K7-3-UNV-A-BLT-WIRSC
	S4	12	120.9	10733	0.90	VP-1-36L-120-3K7-4W-UNV-A-BLT-WIRSC
	S4F	6	120.9	11983	0.90	VP-1-36L-120-3K7-4F-UNV-A-BLT-WIRSC

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
SITE	ILLUMINANCE	Fc	1.2	6.8	0.0	N.A.	N.A.

GRAPHIC SCALE



SHEET KEY PLAN



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 30' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



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www.allenmajor.com

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TEL: (603) 627-5500
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DRAWING TITLE: SHEET No.

SITE LIGHTING PLAN

C-105D

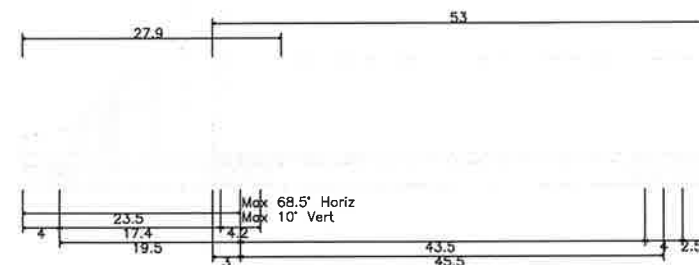
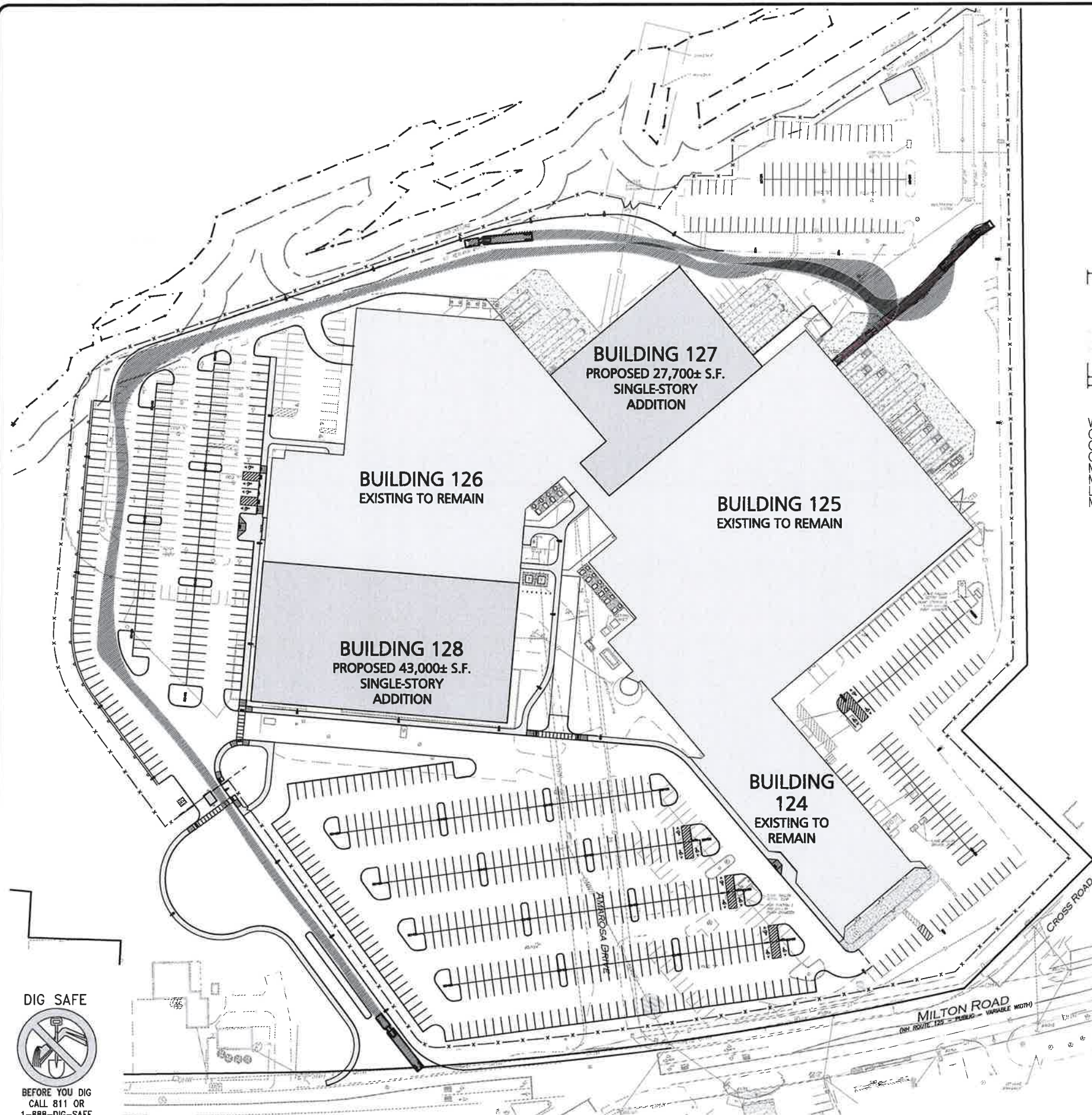
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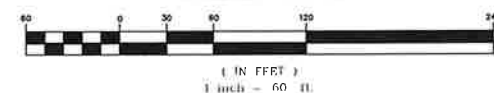


WB-67 - Interstate Semi-Trailer
Overall Length 73.501ft
Overall Width 8.500ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.334ft
Max Track Width 8.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°

NOTES

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GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: 1" = 60' DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



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DRAWING TITLE:
TRUCK TURN PLAN
WB-67

SHEET No.
C-106A

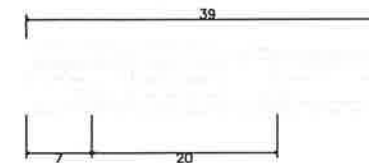
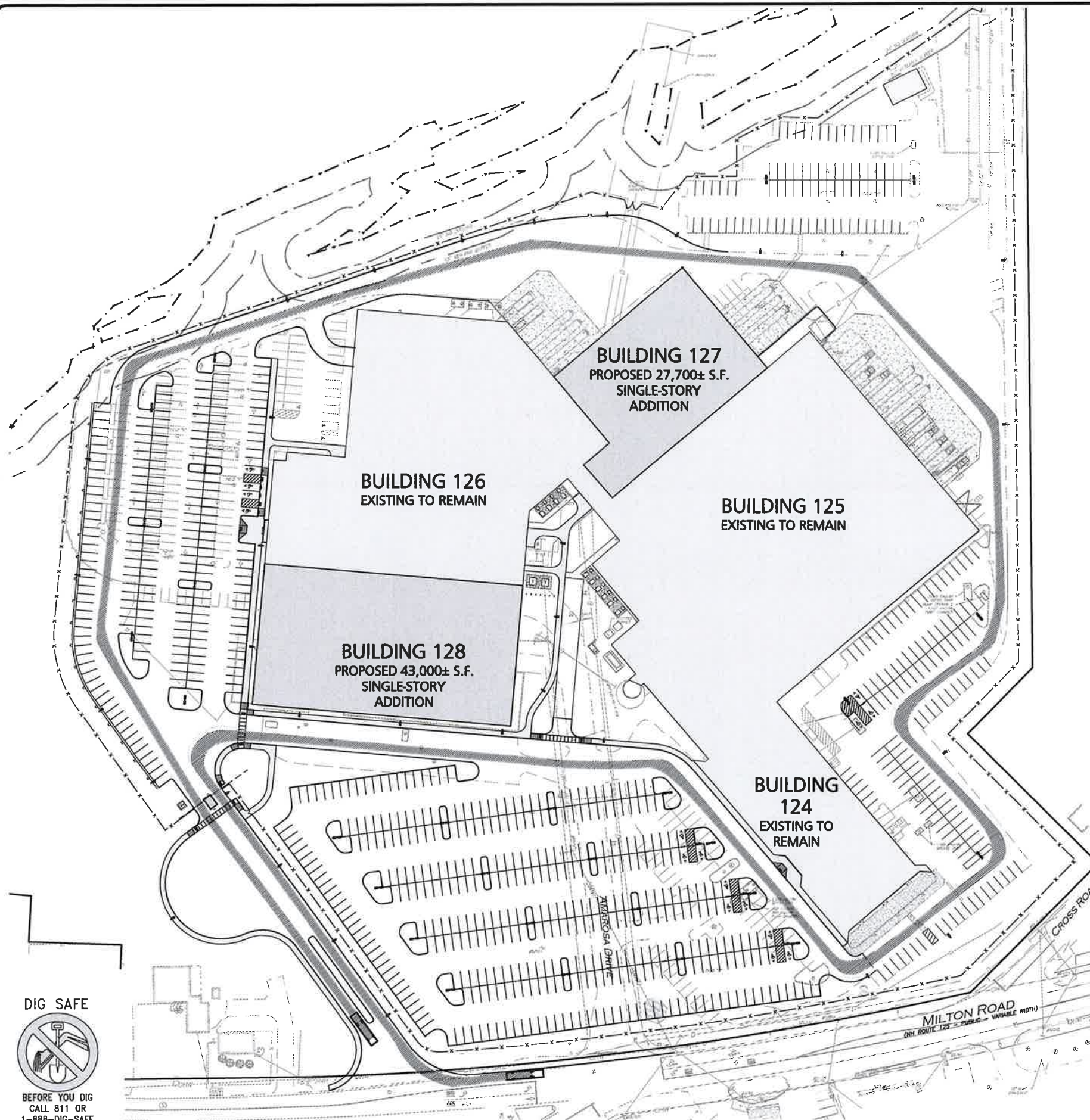
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1-888-344-7233



Aerial Fire Truck	39.000ft
Overall Length	8.167ft
Overall Width	7.500ft
Overall Body Height	0.750ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

NOTES

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GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
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SCALE:	1" = 60'	DWG. NAME:	C2912-01A
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DESIGNED BY:	JRG	CHECKED BY:	BDJ
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PREPARED BY:



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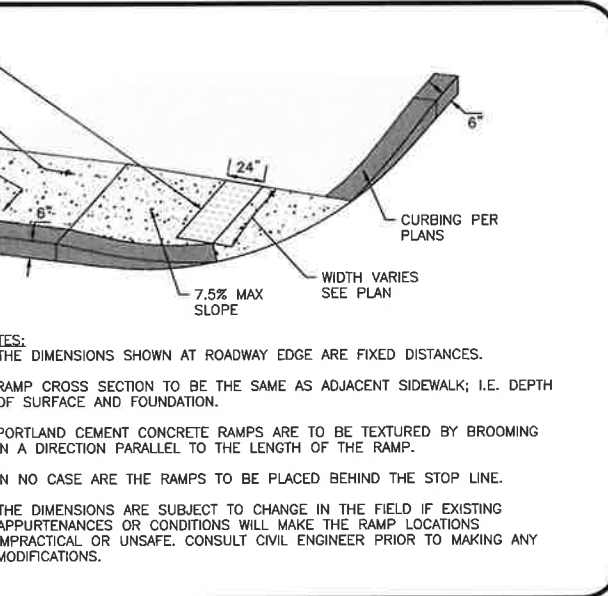
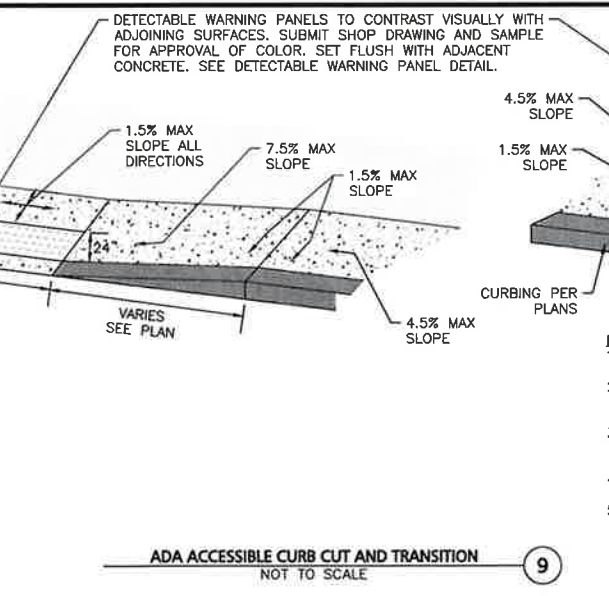
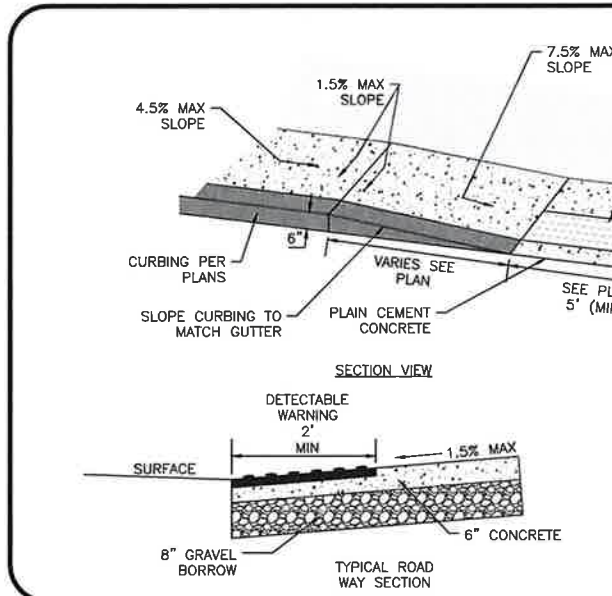
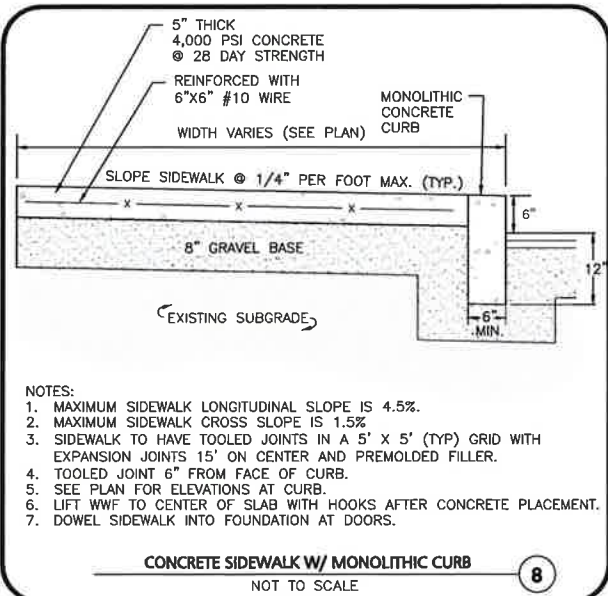
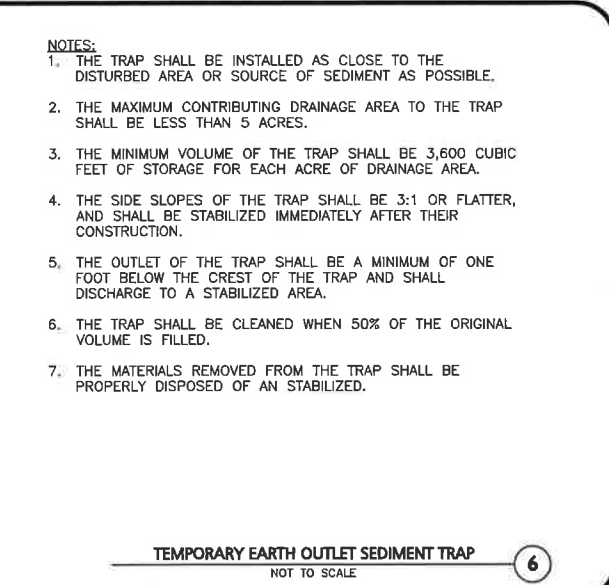
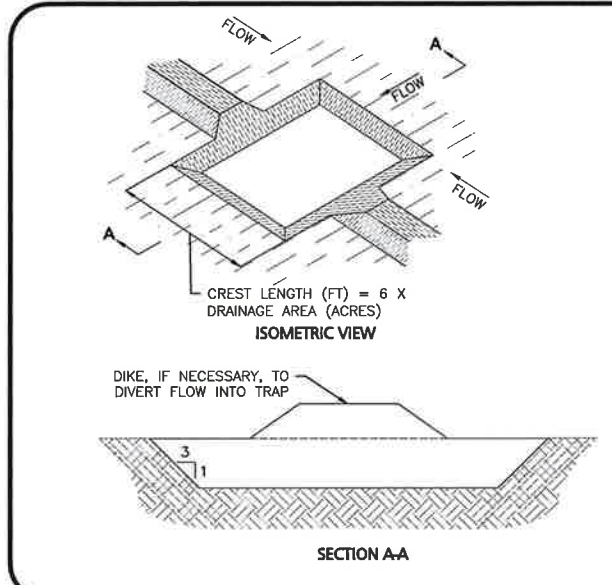
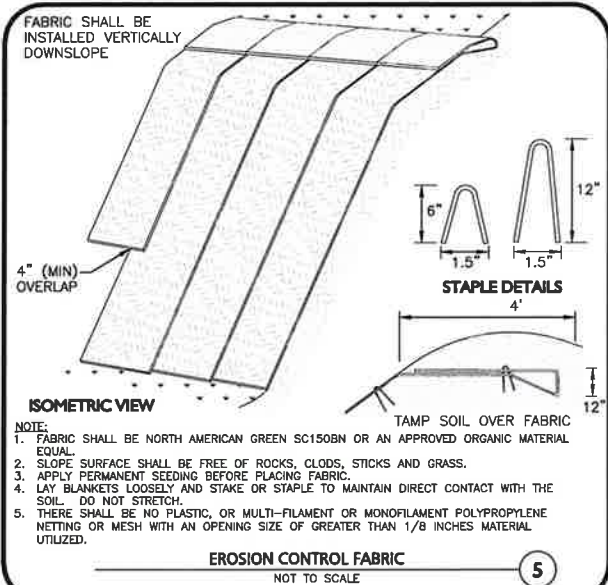
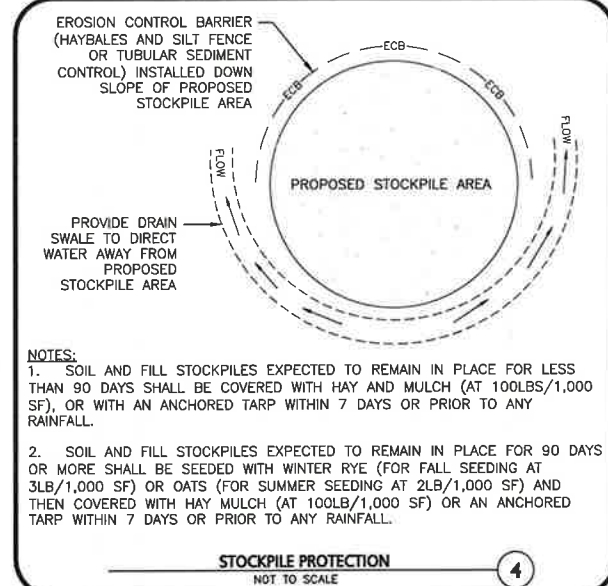
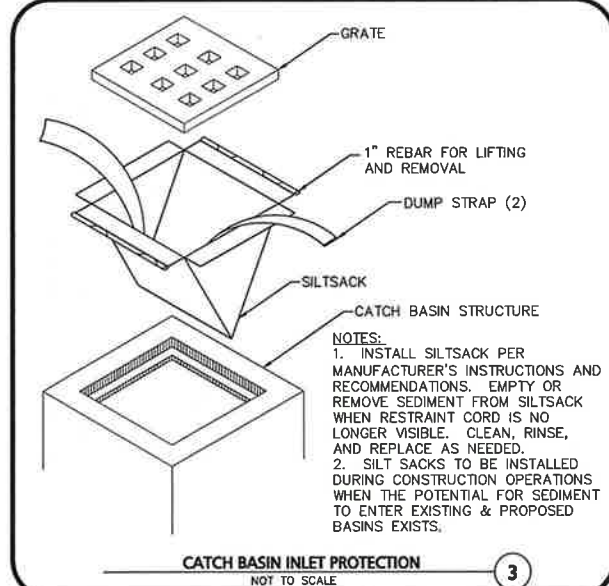
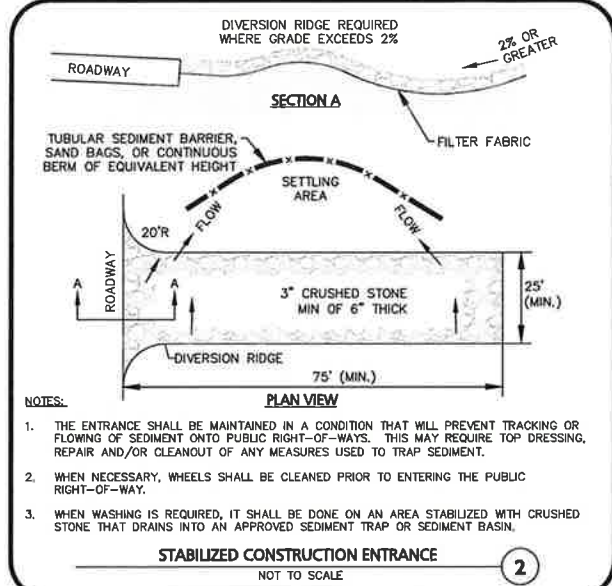
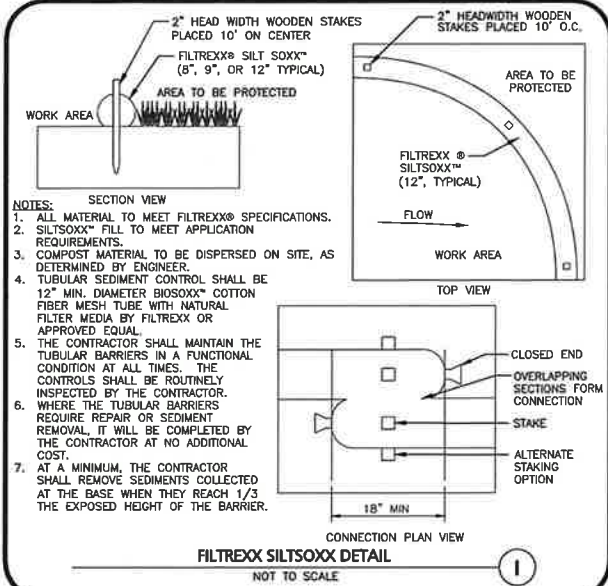
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DRAWING TITLE:
TRUCK TURN PLAN
FIRE TRUCK

SHEET No.
C-106B

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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: AS SHOWN DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering • land surveying environmental
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FAX: (603) 627-5501

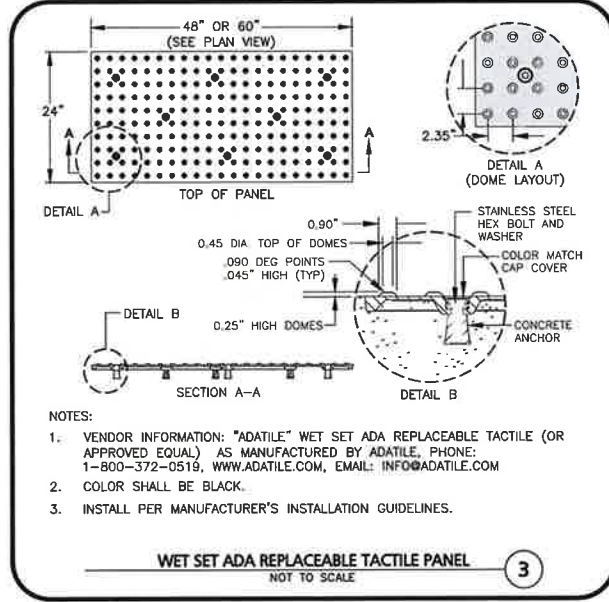
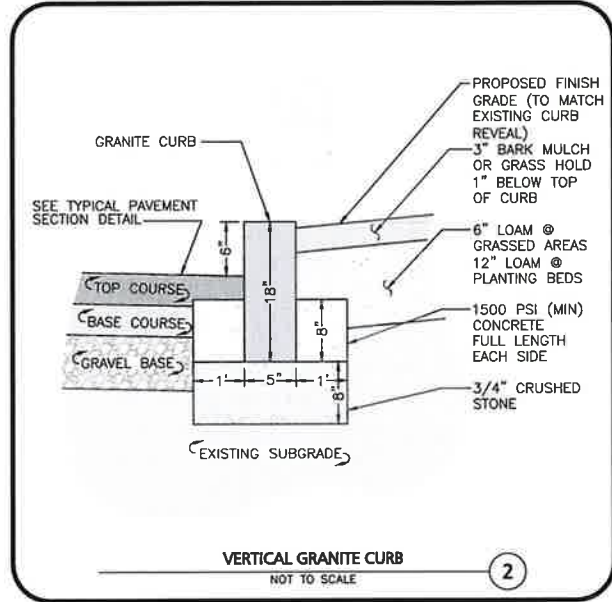
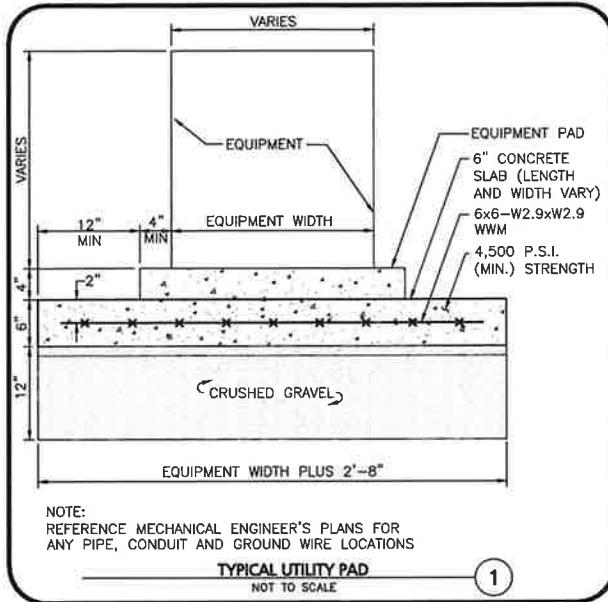
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE: SHEET No.

DETAILS C-501

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MUTCD NUMBER	SIGN	SIZE (MIN)	MOUNTING HEIGHT	DESCRIPTION	RETRO-REFLECTIVE
R1-1		30"x30"	7' - 0"	WHITE ON RED	YES
R7-8(M) (MODIFIED)		12"x24"	7' - 0"	RED ON WHITE	YES
R7-8		12"x18"	7' - 0"	GREEN & BLUE ON WHITE	YES

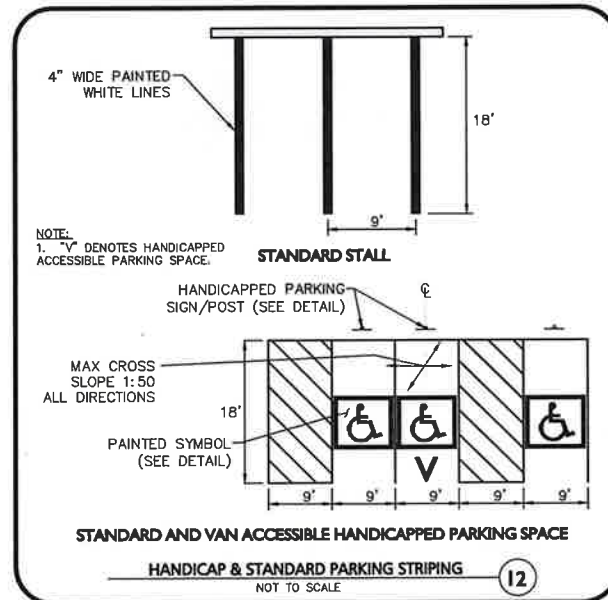
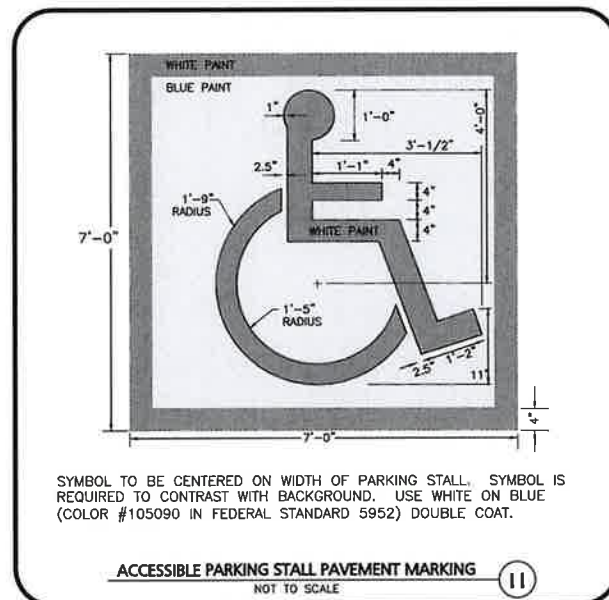
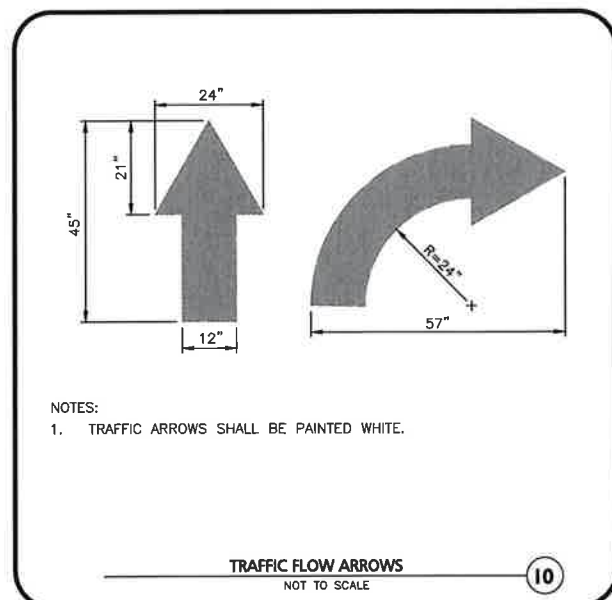
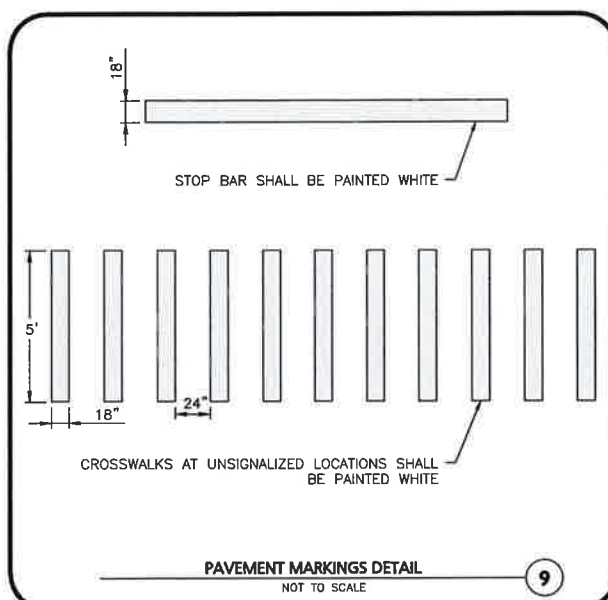
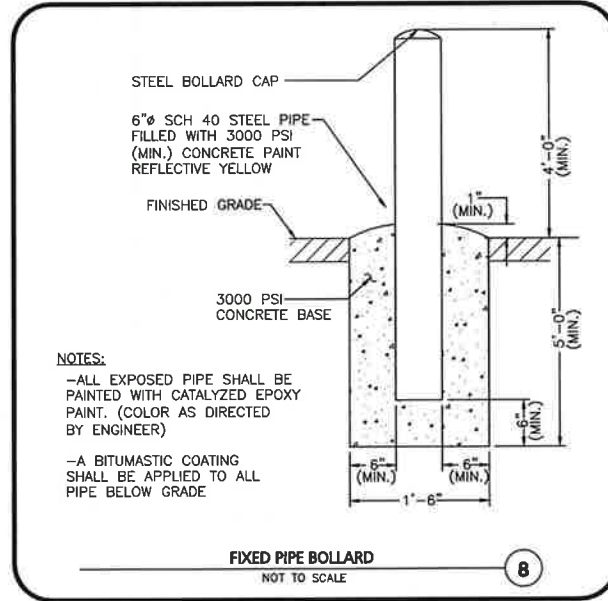
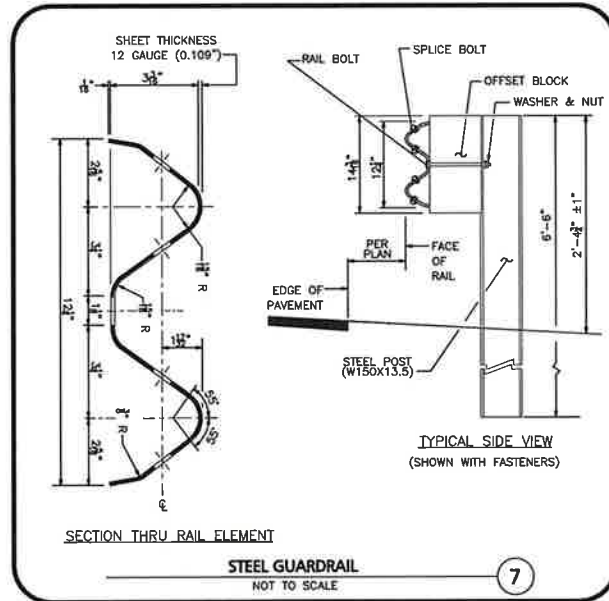
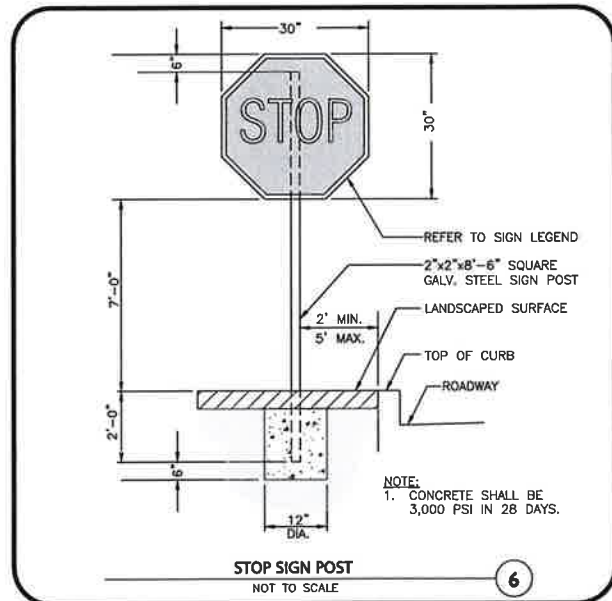
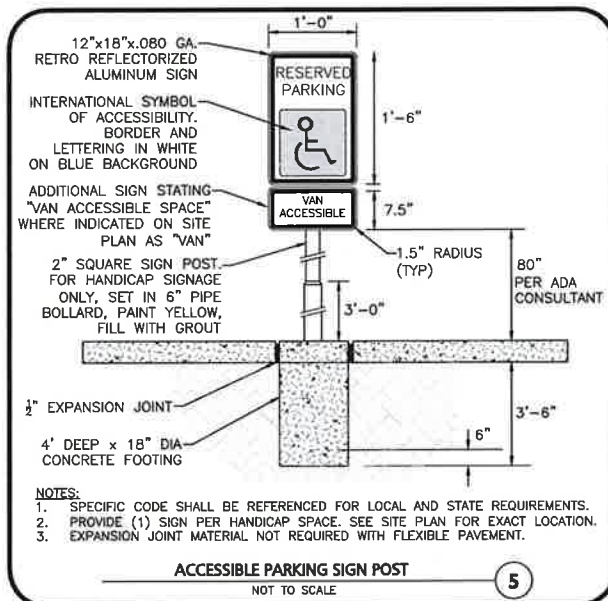
NOTES:

- TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH MUTCD STANDARDS.
- WHERE APPLICABLE THE SIGN SUPPORT SHALL COMPLY WITH THE BREAKAWAY REQUIREMENTS OF THE LATEST EDITION OF AASHTO'S "SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS".

SIGN TABLE

NOT TO SCALE

4



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

01-20-23

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	AS SHOWN	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:

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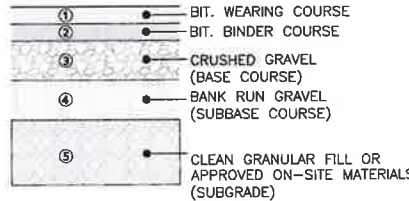
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DRAWING TITLE:	SHEET No.
DETAILS	C-502

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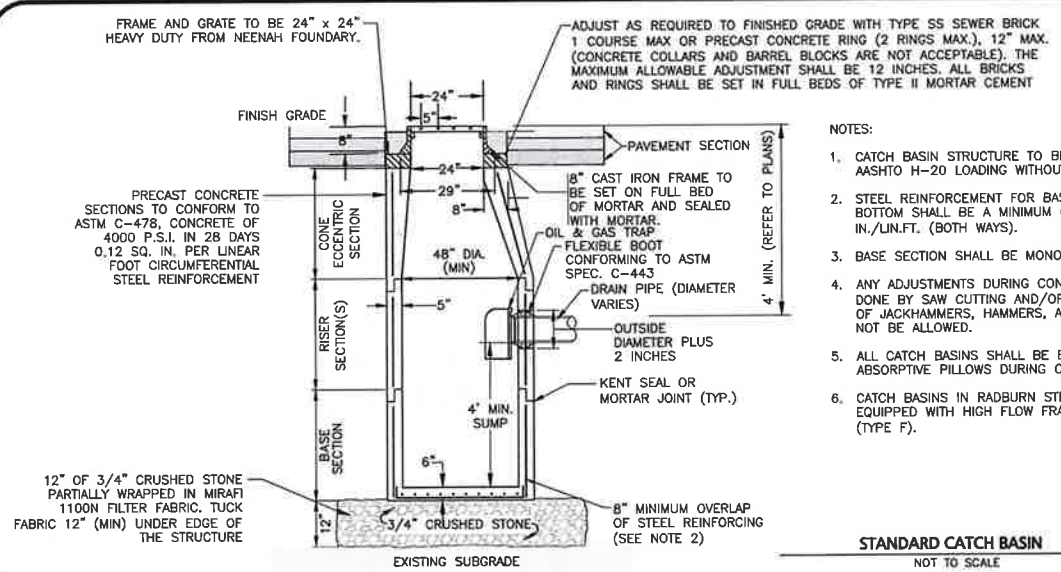
STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION		
LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)
1	BITUMINOUS WEARING COURSE ($\frac{1}{2}$ " AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
2	BITUMINOUS BINDER COURSE ($\frac{1}{2}$ " AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
3	CRUSHED GRAVEL (BASE COURSE) (NHOD ITEM 304.3)	6.0"
4	GRAVEL BORROW (SUBBASE COURSE) (NHOD ITEM 304.2)	12"
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY

NHODOT GRADATION SPECIFICATION			
SIEVE SIZE	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
$\frac{1}{2}$ "	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12



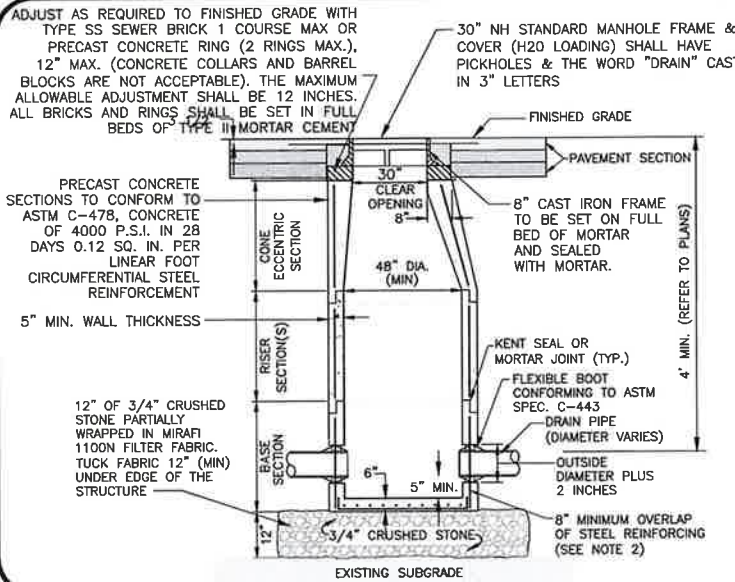
- NOTES:
- IF A GEOTECHNICAL REPORT IS PREPARED THE RECOMMENDATIONS WITHIN THAT REPORT SHALL SUPERCEDE RECOMMENDATIONS HEREIN. THE CONTRACTOR SHALL HAVE AND REVIEW A COPY OF THE GEOTECHNICAL REPORT AND COMPLY WITH THE RECOMMENDATIONS THEREIN.
 - TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS OR ACCEPTABLE ON-SITE FILL MATERIALS.
 - THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT "WEAVE" OR "ROLL" EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
 - THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

PAVEMENT SECTIONS
NOT TO SCALE



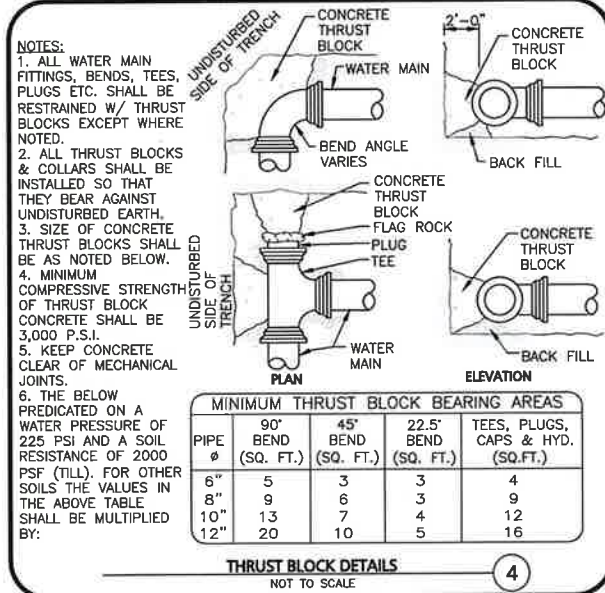
- NOTES:
- CATCH BASIN STRUCTURE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - BASE SECTION SHALL BE MONOLITHIC
 - ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.
 - ALL CATCH BASINS SHALL BE EQUIPPED WITH OIL ABSORPTIVE PILLOWS DURING CONSTRUCTION.
 - CATCH BASINS IN RADBURN STREET SHALL BE EQUIPPED WITH HIGH FLOW FRAME AND GRATES (TYPE F).

STANDARD CATCH BASIN
NOT TO SCALE



- NOTES:
- MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - BASE SECTION SHALL BE MONOLITHIC
 - ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

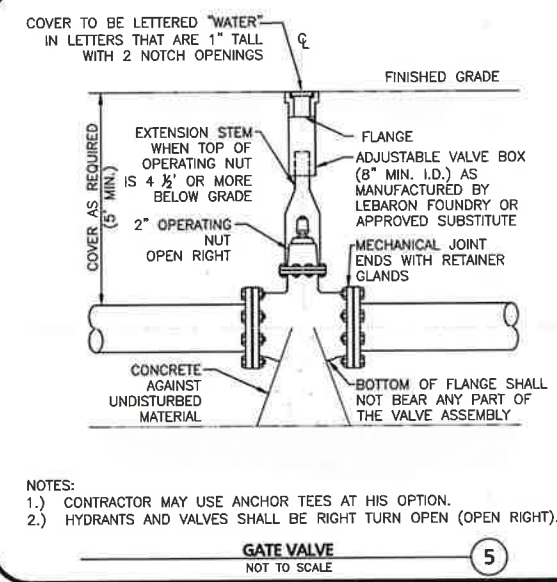
DRAIN MANHOLE
NOT TO SCALE



- NOTES:
- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
 - ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
 - SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
 - MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
 - KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
 - THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:

PIPE Ø	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYD. (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

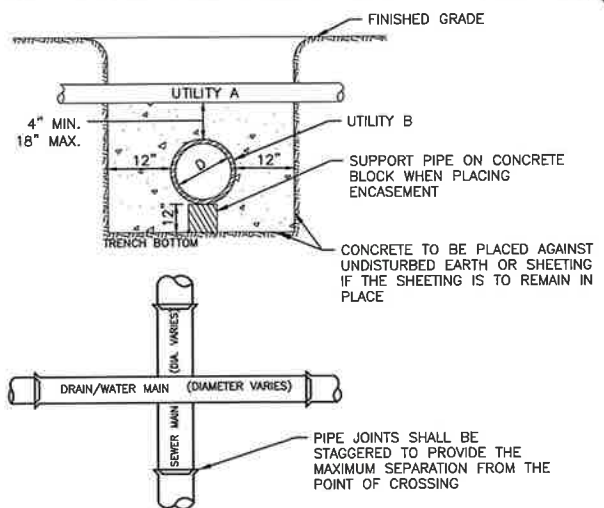
THRUST BLOCK DETAILS
NOT TO SCALE



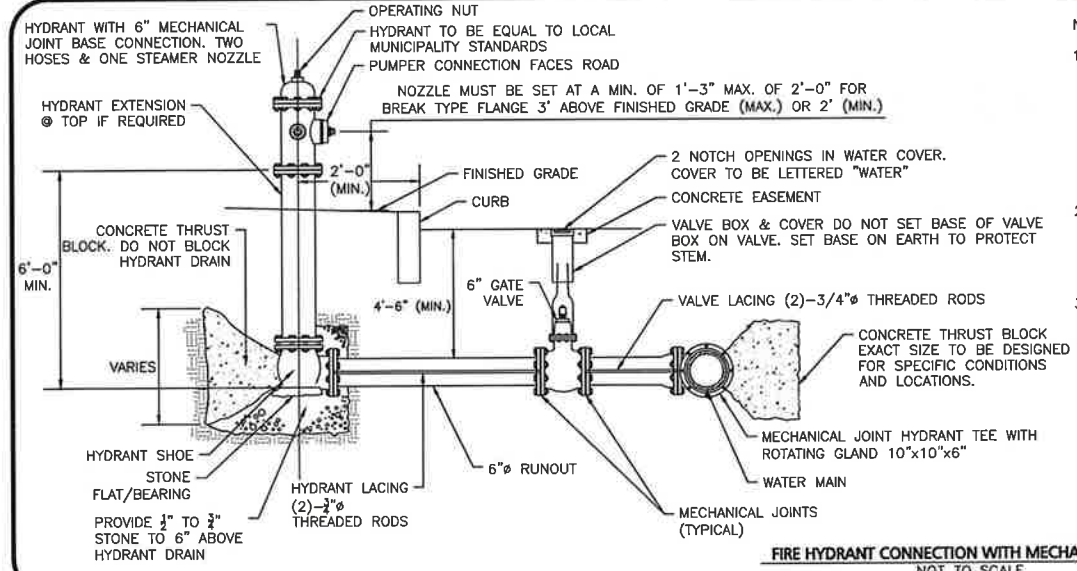
- NOTES:
- CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
 - HYDRANTS AND VALVES SHALL BE RIGHT TURN OPEN (OPEN RIGHT).

GATE VALVE
NOT TO SCALE

- NOTES:
- WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:
- THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
 - THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
 - THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING, 6' OF SEPARATION MINIMUM.
 - THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
 - UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
 - WHEN ONE UTILITY IS A SANITARY SEWER. IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
 - ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
 - PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



SEWER, WATER/RAIN CROSSING DETAIL
NOT TO SCALE



- NOTES:
- ALL HYDRANTS, VALVES AND LOCAL CONNECTIONS SHALL COMPLY WITH THE SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
 - PIPING TO BE RESTRAINED WITH RODDING OR RETAINING GLANDS.
 - GATE VALVE INSTALLATION IS TYPICAL FOR ALL GATES SHOWN ON THE DRAWINGS.

FIRE HYDRANT CONNECTION WITH MECHANICAL JOINT
NOT TO SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	A5 SHOWN	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

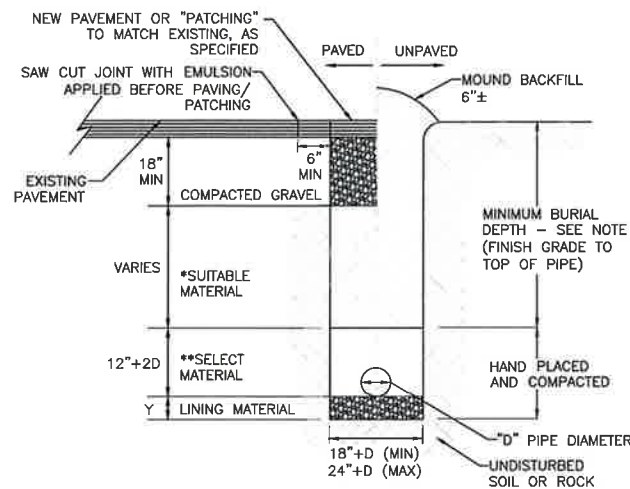
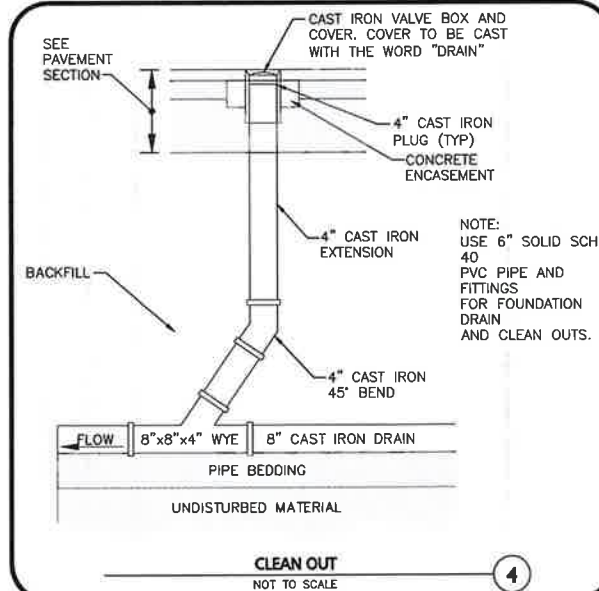
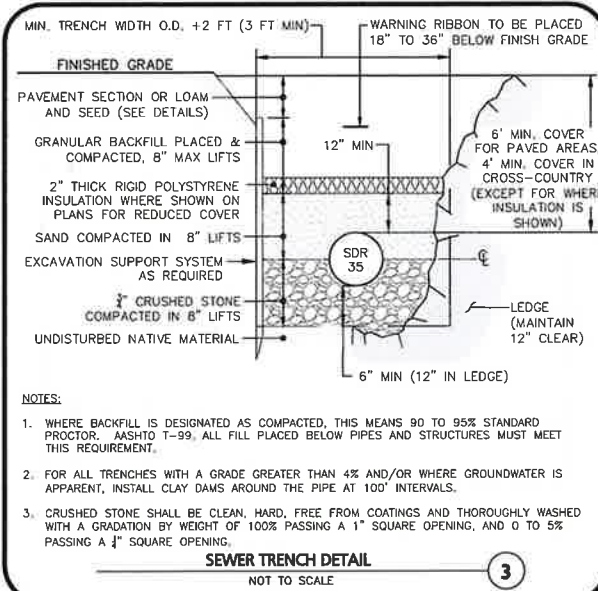
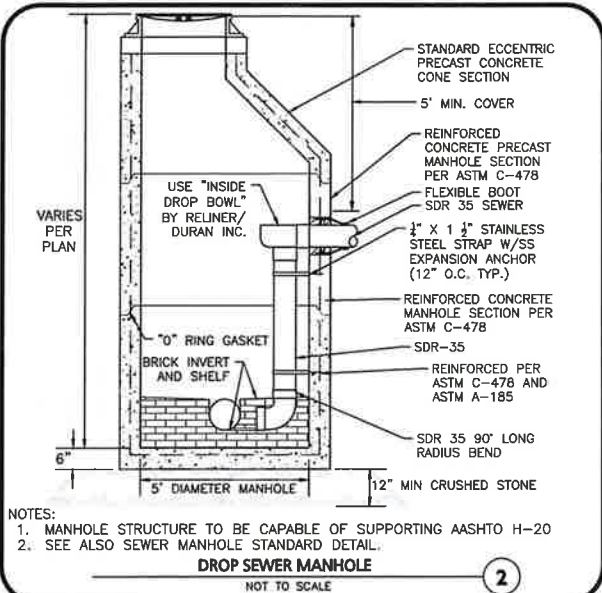
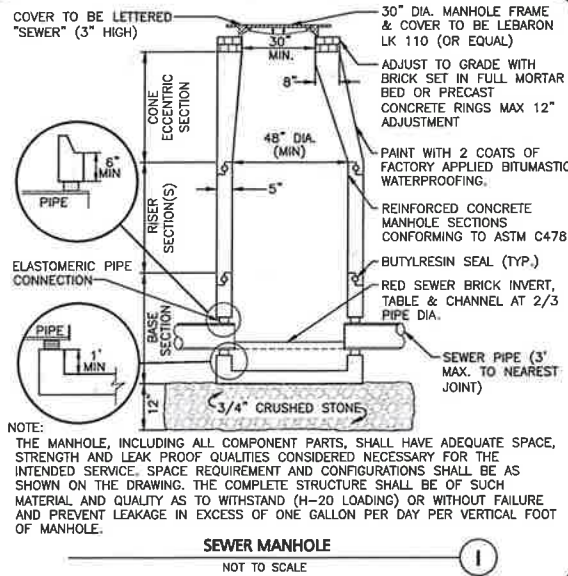
PREPARED BY:

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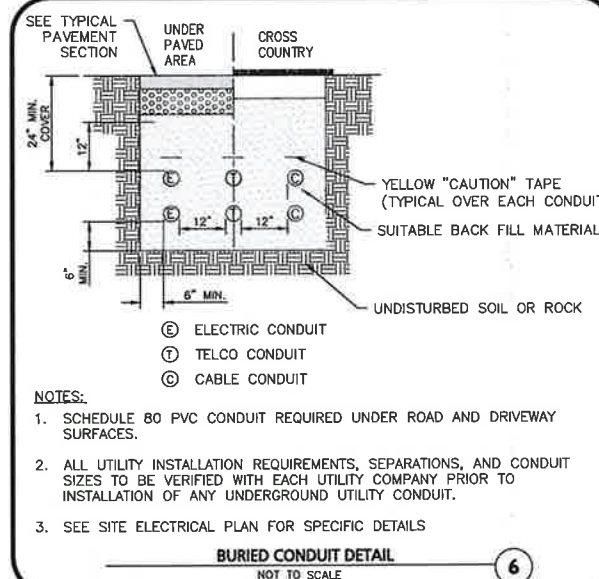
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DETAILS	C-503



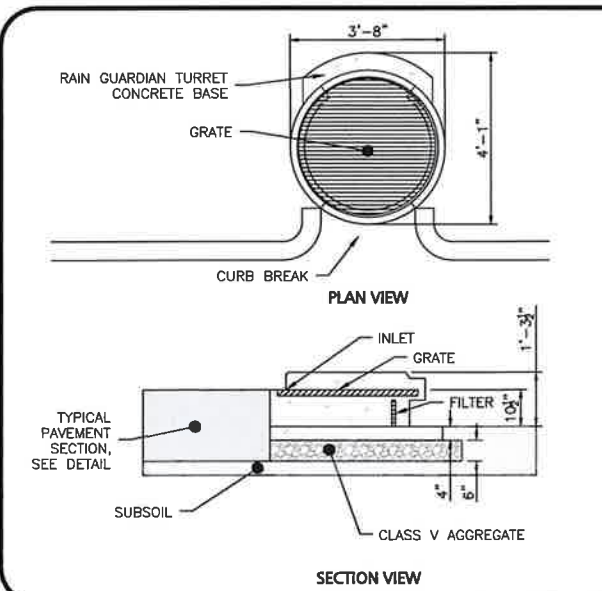
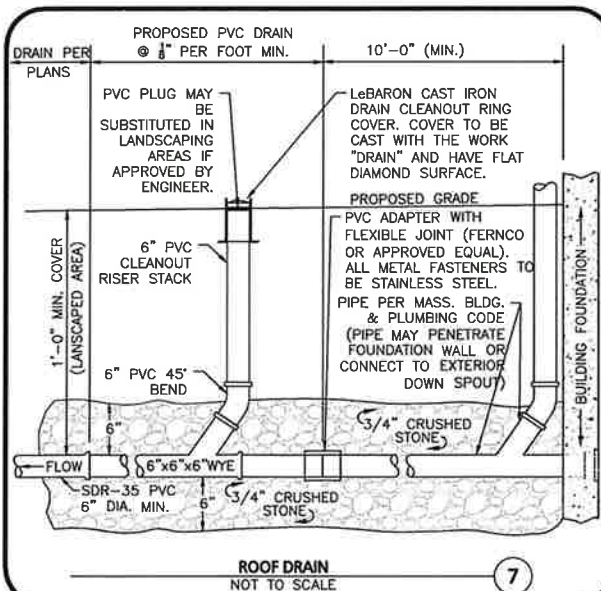
CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 6" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.
 **TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.
 **TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/4" OPENING, AND NOT MORE THAN 5% PASSING A 1/2" SQUARE OPENING.
 **TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 1/2" SQUARE OPENING.

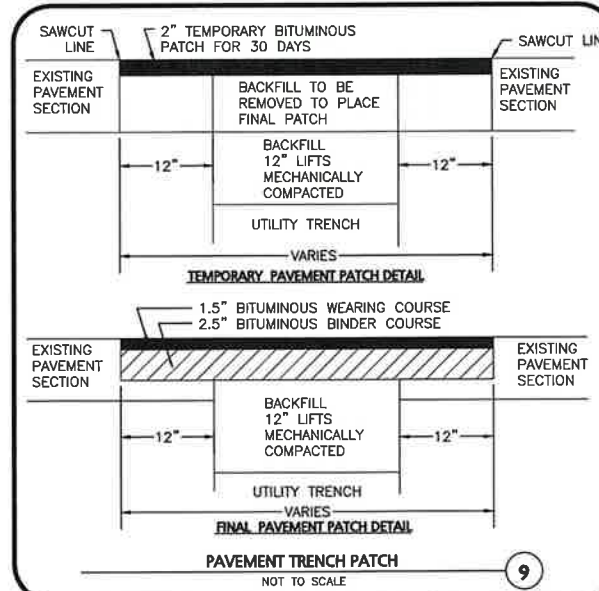
- NOTES:**
- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
 GRAVITY PIPE - SEE PLAN OR PROFILE
 PRESSURE PIPE UNDER PAVING - 4'
 PRESSURE PIPE BENEATH UNPAVED - 3'
 - WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 - FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
 - BACKFILL AS PER DCED-R100 AND REFERENCED AS STANDARD DRAWING.



- NOTES:**
- SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
 - ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
 - SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS



- NOTES:**
- STEEL REINFORCED, COLD JOINT SECURED MONOLITHIC CONCRETE STRUCTURE (1,030 LBS).
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. CONCRETE AIR ENTRAINED (4% TO 8% BY VOLUME).
 - MANUFACTURED AND DESIGNED TO ASTM C858.
 - THREE-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
 - SOIL UNDER BASE TO BE COMPACTED TO 95% STANDARD PROCTOR.
 - TWO-PIECE LIGHT DUTY GALVANIZED GRATE (34.5 LBS/PIECE) FOR 541 LB CONCENTRATED LOAD OR 309 LB/SQ FT UNIFORM LOAD.
 - TWO-PIECE HEAVY DUTY GALVANIZED GRATE (77.5 LBS/PIECE) FOR 2,456 LB CONCENTRATED LOAD OR 1,404 LB/SQ FT UNIFORM LOAD.
 - USE EXPANSION JOINT MATERIAL BETWEEN TURRET AND BIORETENTION INLET.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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PROJECT:
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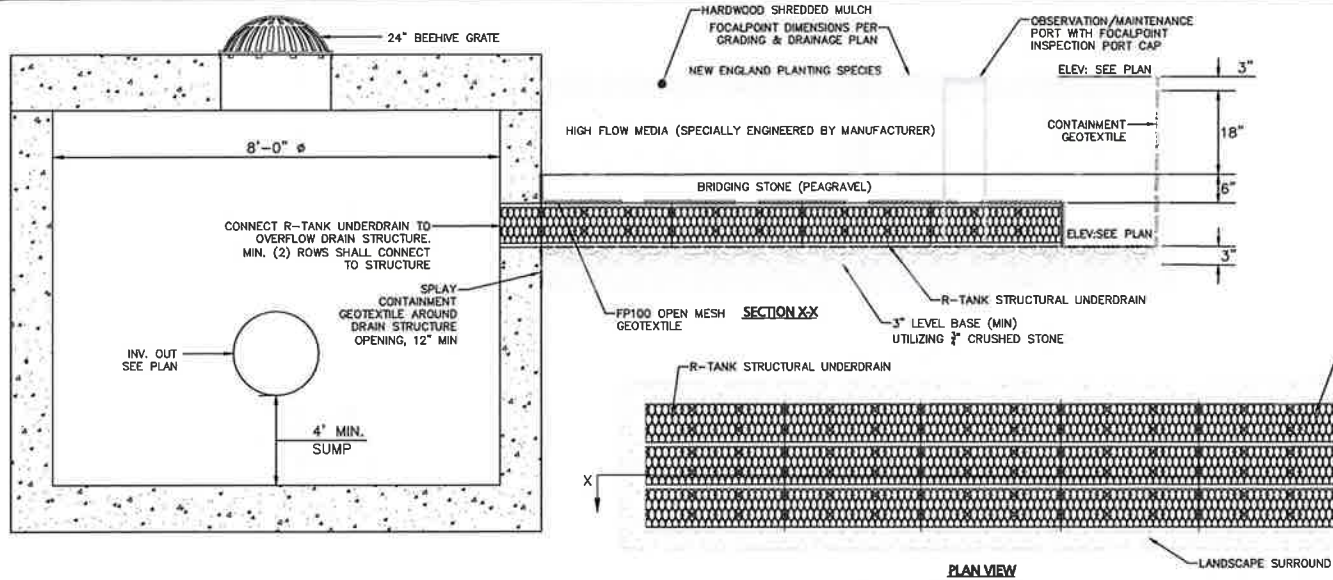
PROJECT NO. 2912-01A DATE: 01-20-23
SCALE: AS SHOWN DWG. NAME: C2912-01A
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DRAWING TITLE: DETAILS SHEET No. C-504

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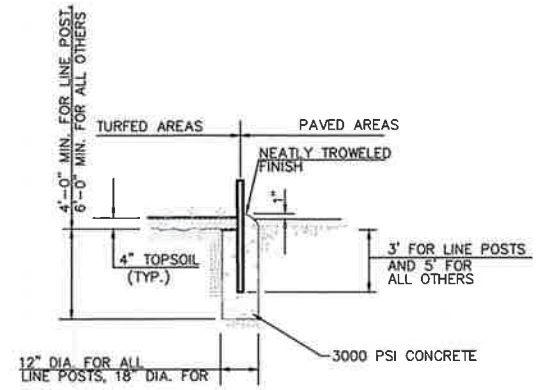
- NOTES:
1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 2. DETAILS ARE PROTOTYPICAL IN NATURE. SEE GRADING & DRAINAGE PLAN FOR DIMENSIONS AND ELEVATIONS.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.
 4. R-TANK IS TO BE THE LIGHT DUTY MODULE.
 5. HIGH FLOW MEDIA IS TO BE PROVIDED BY THE PRODUCT MANUFACTURER.

FOCALPOINT HP PERFORMANCE SPECIFICATION:
HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE.

HIGH PERFORMANCE STRUCTURAL UNDERDRAIN:
MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF DRIFICE OPENING PER SQUARE FOOT. MUST MEET H2O LOADING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.

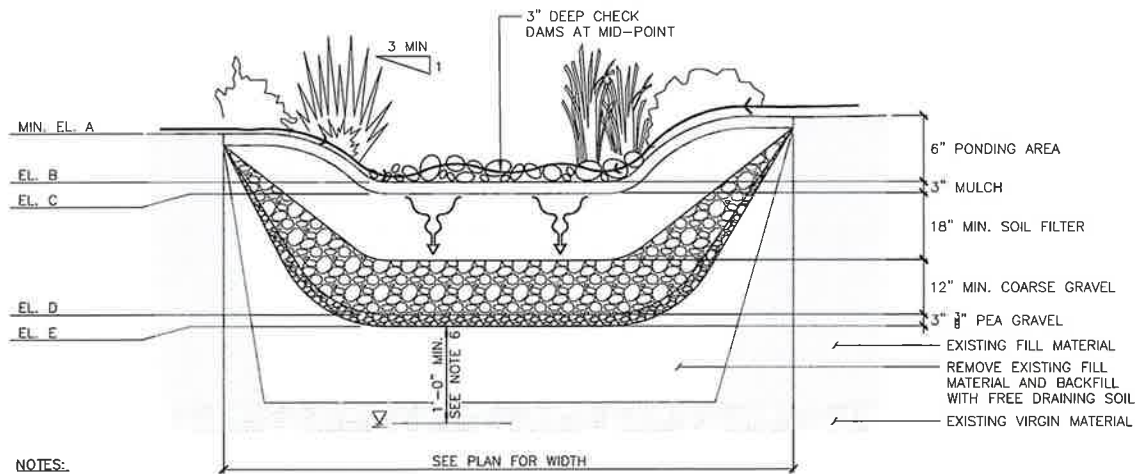
NEW ENGLAND PLANTING SPECIES:

- SWITCHGRASS / PANICUM VIRGATUM
- LITTLE BLUESTEM GRASS / SCHIZACHYRIUM
- BLACK EYED SUSAN / RUDBECKIA
- HIRTA
- CONE FLOWER / ECHINACEA

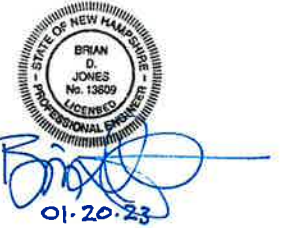
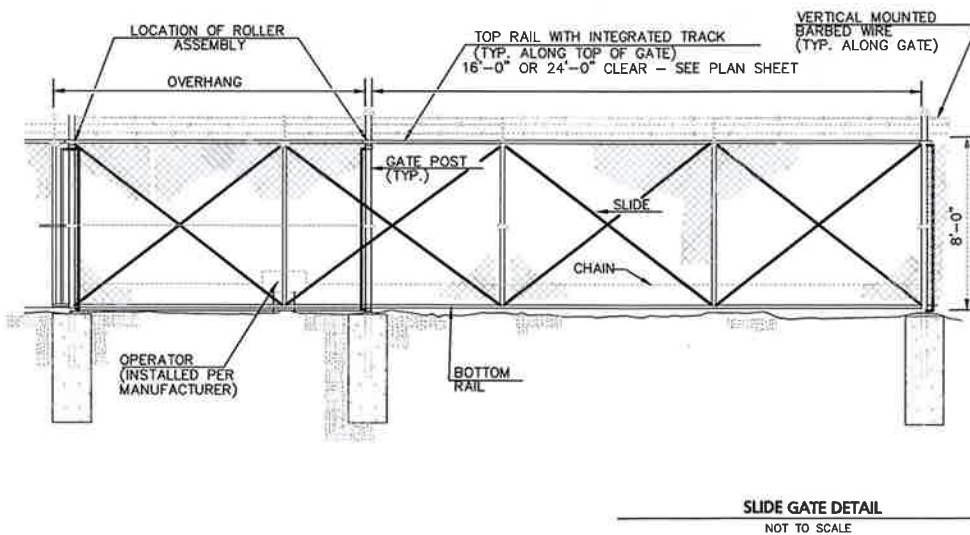
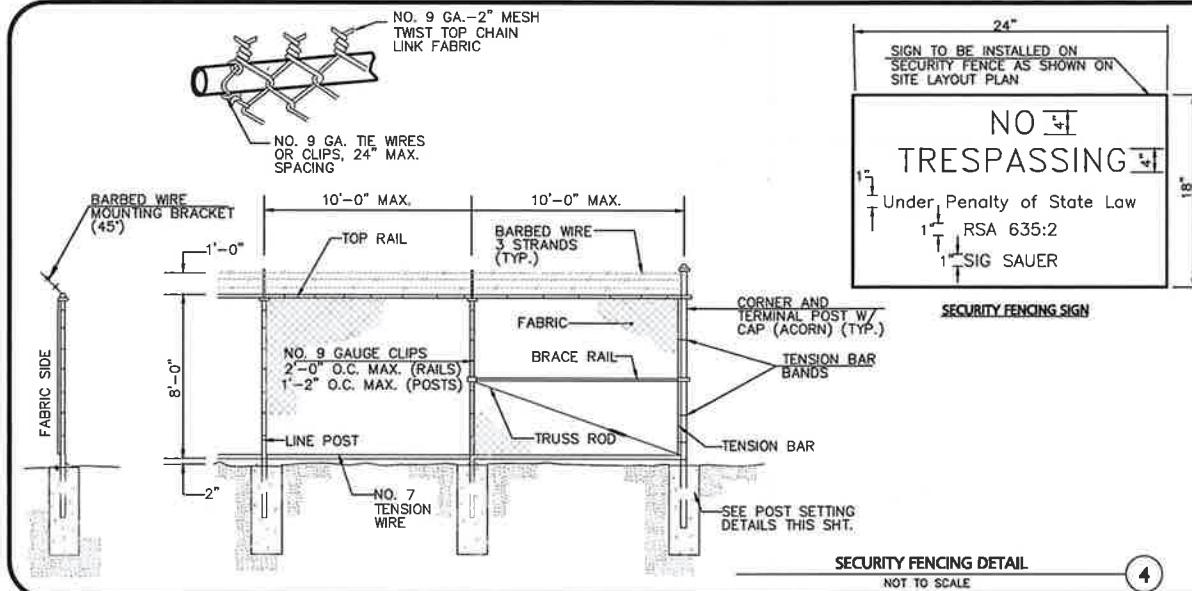


ELEV. ID	BIORETENTION #1
A	244.00
B	243.50
C	243.25
D	241.75
E	241.50

BIORETENTION FILTER MEDIA			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-22 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	<5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



- NOTES:
1. SEE LANDSCAPE PLAN FOR PLANT TYPES.
 2. GRADING, AND PLANTING OF BIORETENTION SHALL BE COMPLETED IN EARLY PHASES OF CONSTRUCTION. PLANTS AND SEED ON SLOPES AND BOTTOM OF BASIN MUST BE ESTABLISHED PRIOR TO CONNECTING STORM DRAINAGE SYSTEM OUTLETS TO BIORETENTION AREA. PLANTS AND SEED MIX SHALL HAVE A MINIMUM OF 6 MONTHS GROWING, BE ESTABLISHED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONNECTING STORM DRAINAGE SYSTEM OUTLETS TO BIORETENTION AREA.
 3. EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN, SHALL BE IN PLACE PRIOR TO ANY REGRADING ACTIVITY.
 4. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE BIORETENTION AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS; OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ANY DEWATERING METHODS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 5. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.
 6. A MINIMUM OF 1 FOOT SEPARATION BETWEEN THE BOTTOM OF THE PRACTICE AND SEASONAL HIGH WATER TABLE SHALL BE PROVIDED, VERIFY IN FIELD. IF SEPARATION CAN NOT BE ACHIEVED, SET UNDERDRAIN AT BOTTOM OF COARSE GRAVEL LAYER, OMIT PEA GRAVEL LAYER, AND PROVIDE IMPERMEABLE LINER AT BOTTOM OF PRACTICE.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:
SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:
7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23
SCALE: AS SHOWN DWG. NAME: C2912-01A
DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:
ALLEN & MAJOR ASSOCIATES, INC.
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DRAWING TITLE: DETAILS SHEET No. C-505

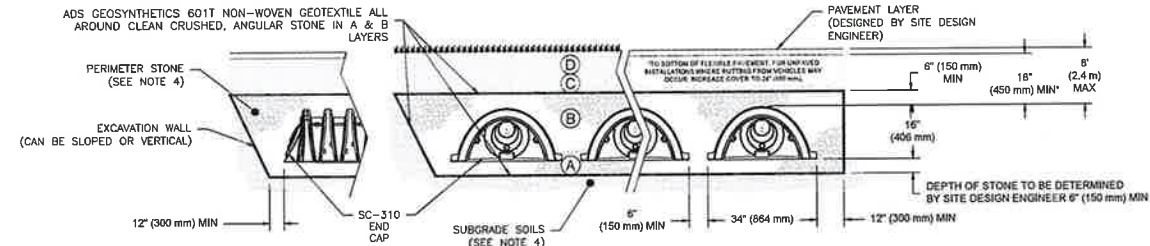
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ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

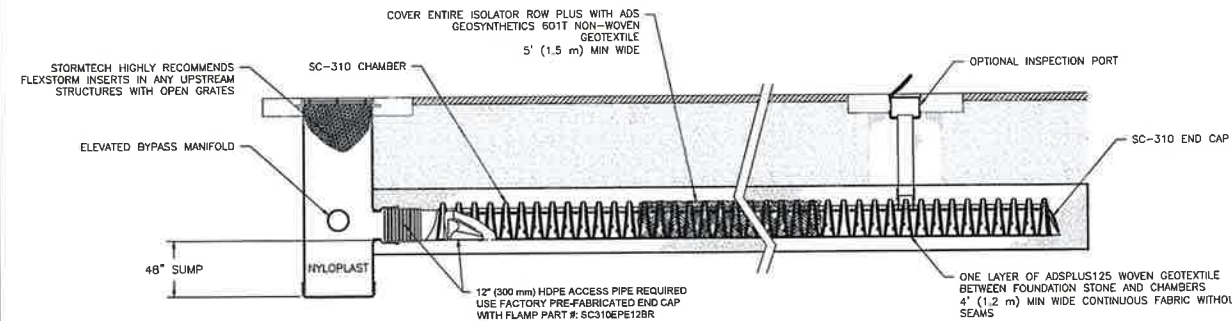


NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT/%, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

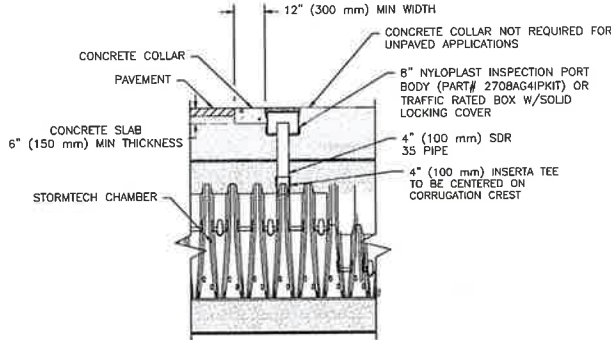
SC-310 - CROSS SECTION DETAIL

NOT TO SCALE



SC-310 - ISOLATOR ROW PLUS DETAIL

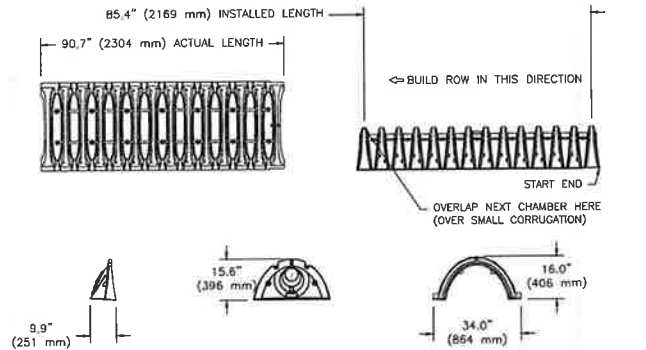
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NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

4" PVC INSPECTION PORT

NOT TO SCALE



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	34.0" X 16.0" X 85.4" (864 mm X 406 mm X 2169 mm)
CHAMBER STORAGE	14.7 CUBIC FEET (0.42 m ³)
MINIMUM INSTALLED STORAGE*	31.0 CUBIC FEET (0.88 m ³)
WEIGHT	35.0 lbs. (16.8 kg)

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC310EPE06T / SC310EPE06TPC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	---
SC310EPE06B / SC310EPE06BPC	---	---	---	0.5" (13 mm)
SC310EPE08T / SC310EPE08TPC	8" (200 mm)	11.9" (302 mm)	3.5" (89 mm)	---
SC310EPE08B / SC310EPE08BPC	---	---	---	0.6" (15 mm)
SC310EPE10T / SC310EPE10TPC	10" (250 mm)	12.7" (323 mm)	1.4" (36 mm)	---
SC310EPE10B / SC310EPE10BPC	---	---	---	0.7" (18 mm)
SC310EPE12B	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)
SC310EPE12BR	12" (300 mm)	13.5" (343 mm)	---	0.9" (23 mm)

ALL STUBS, EXCEPT FOR THE SC310EPE12B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC310EPE12B THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

TECHNICAL SPECIFICATIONS

NOT TO SCALE

SC-310 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-310.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.



STORMTECH SC-310 CHAMBER SYSTEM

NOT TO SCALE

1



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO.	2912-01A	DATE:	01-20-23
SCALE:	AS SHOWN	DWG. NAME:	C2912-01A
DESIGNED BY:	JRG	CHECKED BY:	BDJ

PREPARED BY:

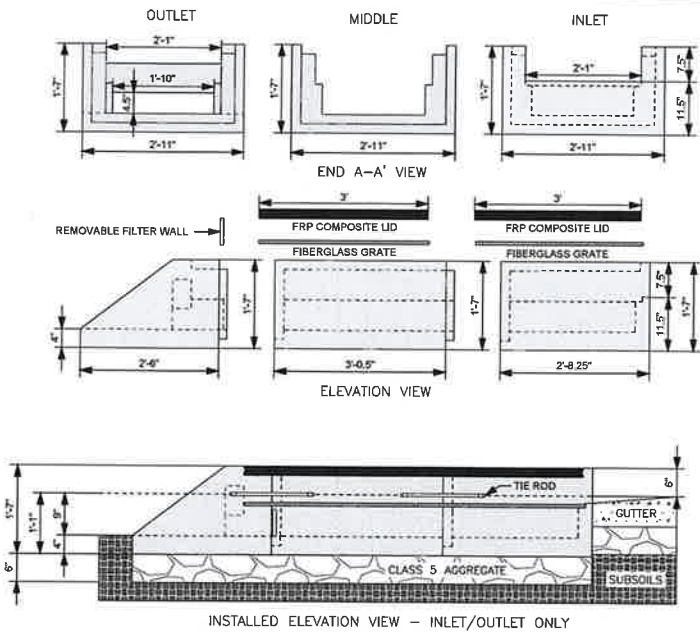
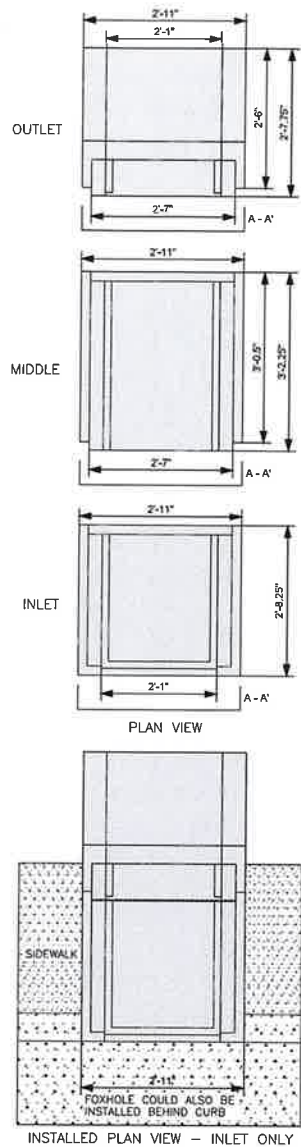


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DETAILS	C-506

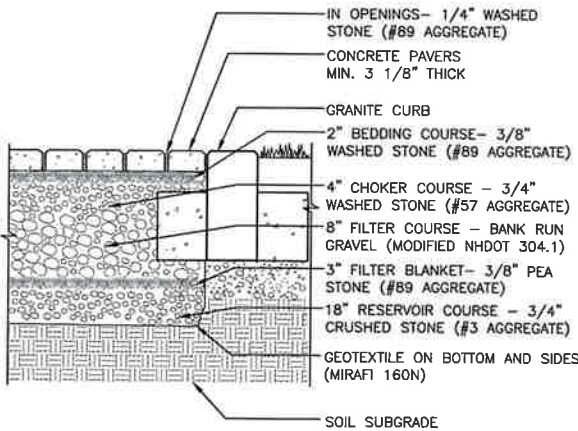
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- SPECIFICATIONS:**
1. STEEL REINFORCED, COLD JOINT SECURED MONOLITHIC CONCRETE STRUCTURES (INLET 875 LBS, MIDDLE 965 LBS, AND OUTLET 730 LBS). CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS, CONCRETE AIR ENTRAINED (5% TO 8.5% BY VOLUME), MANUFACTURED AND DESIGNED TO ASTM C858.
 2. 2-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
 3. FIBERGLASS GRATE (11 LBS/PIECE).
 4. FRP COMPOSITE LID (38 LBS/PIECE) WITH CONCENTRATED LOAD CAPACITY OF 11,200 LBS.
- INSTALLATION NOTES:**
1. INSTALL A CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR). IT IS CRITICAL THAT THE CLASS 5 BASE IS EVEN TO ENSURE THE FOXHOLE PIECES ALIGN VERTICALLY SUCH THAT THE TOP LIDS LAY FLUSH WITH THE TOP OF THE FOXHOLE PIECES AND ADJACENT BOULEVARD, SIDEWALK, OR PATH. THE DISTANCE FROM THE BACK OF THE CURB MAY VARY BASED ON SITE CONDITIONS. EXCAVATE 1'-7" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 9" PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" RAIN GUARDIAN FOXHOLE BASE (INCLUDED). THEREFORE, THE TOP OF THE CLASS 5 COMPACTED BASE IS PRECISELY 1' 1" BELOW THE GUTTERLINE ELEVATION. THE TOP OF THE RAIN GUARDIAN FOXHOLE INLET POINT WILL BE 7'-1/2" ABOVE THE TOP OF THE CONCRETE BASE AND 1'-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN FOXHOLE.
 2. SET RAIN GUARDIAN FOXHOLE INLET FIRST, FOLLOWED BY MIDDLE SECTION(S), AND FINALLY THE OUTLET ON THE PREPARED CLASS 5 BASE. POSITION RAIN GUARDIAN FOXHOLE OUTLET PIECE SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL.
 3. SECURE MODULAR FOXHOLE PIECES AT EACH JOINT USING PROVIDED GALVANIZED TIE RODS.
 4. INSTALL EXPANSION/CONTRACTION JOINT MATERIAL OR A SHEET OF POLY TO SERVE AS A BOND BREAK BETWEEN RAIN GUARDIAN FOXHOLE AND CONCRETE INLET BEFORE POURING INLET.
 5. REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC FACING THE RAIN GUARDIAN FOXHOLE INLET.

RAIN GUARDIAN - FOXHOLE TYPICAL DETAIL
NOT TO SCALE

1



PERMEABLE PAVER DETAIL
NOT TO SCALE

4

NOT USED
NOT TO SCALE

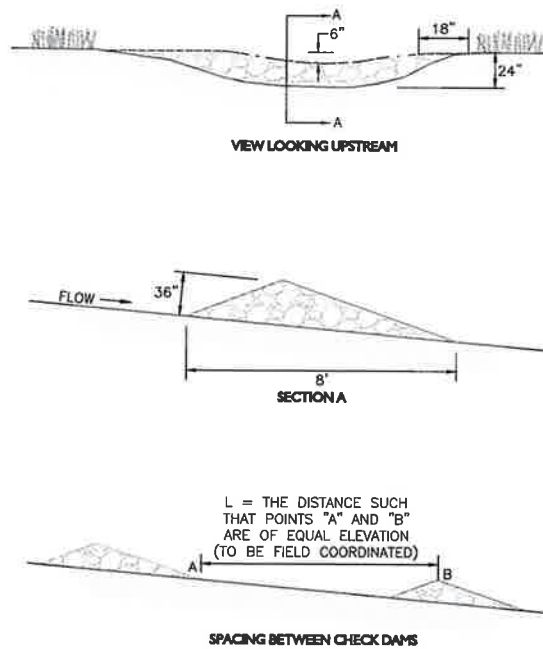
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NOT USED
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6

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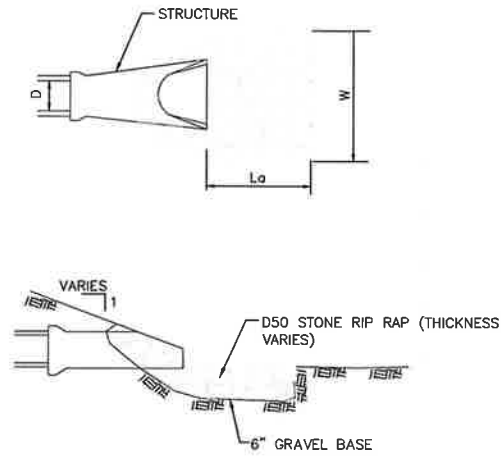
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- NOTES:**
1. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHALL BE LESS THAN ONE ACRE.
 2. THE MAXIMUM HEIGHT OF THE DAM SHALL BE 2 FEET.
 3. THE CENTER OF THE DAM SHALL BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES.
 4. THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE OVERFLOW ELEVATION OF THE DOWNSTREAM DAM.
 5. THE DAMS SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 6. CHECK DAMS SHALL BE CONSTRUCTED OF A WELL-GRADED ANGULAR 2-INCH TO 3-INCH STONE.

TEMPORARY CHECK DAM
NOT TO SCALE

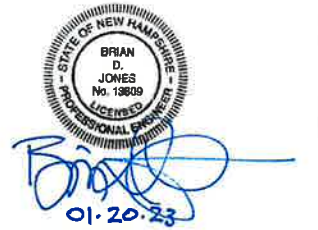
2



RIP-RAP SIZING CHART					
STRUCTURE	D	L _a	W	D50	THICKNESS
FES-01	24"	26'	32'	12"	27"
HW-01	18"	20'	25'	7"	16"

RIP-RAP OUTFALL APRON
NOT TO SCALE

3



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT:

SIG SAUER
7-8 AMAROSA DRIVE
ROCHESTER, NH 03868

PROJECT:

7,8,16 AMAROSA DRIVE
0,124 MILTON ROAD
ROCHESTER, NH 03868

PROJECT NO. 2912-01A DATE: 01-20-23

SCALE: AS SHOWN DWG. NAME: C2912-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
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consulting • landscape architecture
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