



MINOR SUBDIVISION APPLICATION

(a total of three or fewer lots)

City of Rochester, New Hampshire

Date: 01/17/2023 Is a conditional needed? Yes: x No: Unclear:
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 259; **Lot #'s):** 29; **Zoning district:** Agricultural

Property address/location: 139 Flagg Road

Name of project (if applicable): _____

Size of site: 9.86 acres; overlay zoning district(s)? Conservation Overlay

Property owner

Name (include name of individual): Great Wood Development LLC; Steve Miller

Mailing address: 95 Blackwater Road, Rochester, NH 03866

Telephone #: 603-332-8772 Email: smgc89@yahoo.com

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/surveyor

Name (include name of individual): Norway Plains Associates, Inc.; Joel Runnals, LLS

Mailing address: PO Box 249, Rochester, NH 03866

Telephone #: 603-335-3948 Fax #: _____

Email address: jrunnals@norwayplains.com Professional license #: 865

Proposed project

Number of proposed lots: 2; Are there any pertinent covenants? No

Number of cubic yards of earth being removed from the site? N/A

City water? yes no ☒ ; How far is City water from the site? N/A

City sewer? yes no ☒ ; How far is City sewer from the site? N/A

Wetlands: Is any fill proposed? No; area to be filled: N/A; buffer impact? No

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Subdivision application to the City of Rochester Planning Board pursuant to the City of Rochester Subdivision Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: 

Date: 1-23-23

Signature of applicant/developer: _____

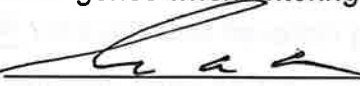
Date: _____

Signature of agent: 

Date: 01-23-23

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: 

Date: 1-23-23

NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249
Continental Blvd. (0367)
Rochester, NH 03866-0249
Phone: (603) 335-3948 / (800) 479-3948
Fax: (603) 332-0098
rtetreault@norwayplains.com
Randolph R. Tetreault, President



P. O. Box 268
31 Mooney Street
Alton, NH 03809
Phone & Fax: (603) 875-3948
jrunnals@norwayplains.com
www.norwayplains.com

January 23, 2023

Ryan O'Connor, Chief Planner
Department of Planning and Development
City Hall Annex
33 Wakefield Street
Rochester, NH 03867-1917

**Re: Proposed Three Lot Subdivision; For: Great Woods Development, LLC; Tax Map 259, Lot 29;
139 Flagg Road, Rochester, NH**

Dear Mr. O'Connor,

On behalf of Great Woods Development, LLC, Norway Plains Associates, Inc. is pleased to submit plans for a three lot "Porkchop" Subdivision which is identified as Tax Map 229, Lot 29.

In conjunction with this application, we have also submitted an application for a Lot Line Revision between Lot 29 and Lot 30. The information for this subdivision is based on the approval of said LLR.

Our proposal is to subdivide Lot 29 into three single family residential house lots under the Rochester Zoning Conditional Use Ordinance for Porkchop Subdivisions.

The parent parcel, Lot 29 is in the Agricultural Zoning District with a total parcel area of 9.68 acres and 269.91' of frontage on Flagg Road. The proposed Lot 29 will be 7.45 acres with 169.87' of frontage.

Lot 29-1 will contain 53,935 square feet / 1.24 acres with 50.02' of frontage.

Lot 29-2 will contain 43,273 square feet / 0.99 acres with 50.02' of frontage.

All three lots shall use the proposed common driveway easement for a single access point which is located on Lot 29 and shall be serviced with individual on-site water and sewer systems.

Lots 29-1 and 29-2 will require NHDES subdivision approval which we will apply for after the planning board grants condition approval of this application. Test pits with potential effluent disposal areas and protective well radii are shown on all three lots.

Included with this application is the Condition Use Application for a Porkchop Subdivision.

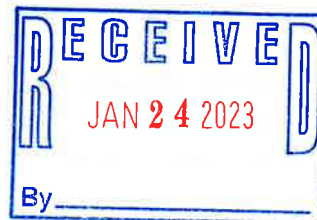
Should the Board or Planning need additional information or have any questions, please feel free to contact our office. We look forward to discussing this project with staff and the Planning Board.

Thank you for your consideration.

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

By: Joel D. Runnals
Joel D. Runnals, LLS



Conditional Use Permit Application
City of Rochester, New Hampshire

Date: 01/17/2023

Property information

Tax map #: 259; Lot #'s: 29; Zoning district: Agricultural

Property address/location: 139 Flagg Road

Name of project (if applicable): _____

Property owner

Name (include name of individual): Great Wood Development LLC; Steve Miller

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Telephone #: 603-332-8772 Fax _____

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Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc.; Joel Runnals, LLS

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Telephone #: 603-335-3948 Fax #: _____

Email address: jrunnals@norwayplains.com Professional license #: 865

Proposed Project

Please describe the proposed project: Proposed pork chop subdivision of tax map 259, lot 29 to create two new
lots.

Please describe the existing conditions: The parcel is currently developed with a gravel driveway.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: 

Date: 01-23-23

Signature of applicant/developer: _____

Date: _____

Signature of agent: 

Date: 01-23-23

LAND SURVEYORS

CIVIL ENGINEERS

LINE	BEARING	DISTANCE
L1	N 56°02'28" W	143.63'
L2	S 25°10'02" W	53.70'
L3	S 56°02'28" E	132.87'
L4	S 56°02'28" E	17.33'
L5	N 36°56'05" E	53.14'
L6	S 56°02'28" E	6.37'
L7	N 25°10'02" E	53.70'
L8	S 25°10'02" W	31.18'
L9	N 36°56'05" E	30.85'
L10	N 36°56'05" E	67.53'
L11	S 25°10'02" W	68.82'
L12	N 56°02'28" W	7.00'
L13	N 51°16'41" W	7.00'
L14	N 51°16'41" W	50.02'
L15	N 51°16'41" W	50.02'
L16	N 51°16'41" W	30.23'
L17	N 50°35'13" W	139.63'
L18	N 37°20'37" E	50.15'
E1	S 51°16'41" E	50.02'

TAX MAP 259, LOT 16
RPE ROCHESTER LLC
PO BOX 823
NEW HAMPTON, NH
SCRD BOOK 4282, PAGE 337

TAX MAP 259
LOT 29
AREA:
324,540 sf
7.45 acres

TAX MAP 259, LOT 27
JOANNE OLSSON
141 FLAGG ROAD
ROCHESTER, NH
SCRD BOOK 1083, PAGE 51

TAX MAP 259, LOT 28
JOANNE OLSSON
141 FLAGG ROAD
ROCHESTER, NH
SCRD BOOK 874, PAGE 51

TAX MAP 259, LOT 49
ROBERT & GINA WARNER
142 FLAGG ROAD
ROCHESTER, NH

TAX MAP 259, LOT 49
PHILIP & BARBARA REILLY
136 FLAGG ROAD
ROCHESTER, NH

TAX MAP 259, LOT 47
TISHA M. FAUCHER
REV. LIVING TRUST
134 FLAGG ROAD
ROCHESTER, NH

TAX MAP 259, LOT 46
JACQUES FAUCHER &
BEVERLY COOK
PO BOX 256
ROCHESTER, NH

TAX MAP 259, LOT 31
NEIL & SALLY JUDD
129 FLAGG ROAD, ROCHESTER, NH
SCRD BOOK 1023, PAGE 924

TAX MAP 259, LOT 38
119 FLAGG ROAD DEVELOPMENT LLC
35 THIRD STREET, DOVER, NH
SCRD BOOK 3549, PAGE 545

WETLANDS WERE DELINEATED BY RANDOLPH R. TETREAULT ON OR ABOUT NOVEMBER 2022 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW FLAGG, VERSION 2, JULY 1987. (SEE ENV-W5 1014.03 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).



RANDOLPH R. TETREAULT, CWS 030
DATE

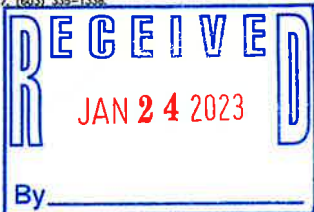
I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.



JOEL D. RUNNALS, LLS 865
DATE

GENERAL PLAN NOTES:

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 259, LOT 29 INTO THREE LOTS AND TO PREPARE A LOT LINE REVISION WITH TAX MAP 259, LOT 30.
- DIMENSIONAL STANDARDS:
ZONE (A) AGRICULTURAL DISTRICT.
SINGLE FAMILY, CONVENTIONAL SUBDIVISION, NEITHER MUNICIPAL WATER NOR SEWER.
LOT SIZE = 45,000 sf, FRONTAGE = 150', FY = 20', SY = 10', RY = 20'
REGULATIONS FOR CONDITIONAL USE / PORKCHOP SUBDIVISION.
MINIMUM LOT SIZE = 40,000 sf
MINIMUM FRONTAGE = 50'
- LOT AREAS:
TAX MAP 259, LOT 29: EXISTING AREA = 429,850 sf / 9.86 acres
PROPOSED AREA = 324,540 sf / 7.45 acres
TAX MAP 259, LOT 29-1: PROPOSED AREA = 53,935 sf / 1.24 acres
TAX MAP 259, LOT 29-2: PROPOSED AREA = 43,273 sf / 0.99 acres
AREA A (476 sf) & AREA D (7,332 sf) TO BE CONVEYED FROM LOT 29 TO LOT 30
AREA B (88 sf) & AREA C (629 sf) TO BE CONVEYED FROM LOT 30 TO LOT 29
ORIENTATION: HORIZONTAL DATUM - CITY OF ROCHESTER GIS (NAD83)
VERTICAL DATUM - NGVD25
- SOIL TYPES ARE PER USDA - NRCS.
(C/D) CHARLTON FINE SANDY LOAM 15-25% SLOPES
(H/S) WINDLEY LOAMY SAND 3-8% SLOPES
(S/S) SAUGATUCK LOAMY SAND
(W/S) WINDSOR LOAMY SAND 0-3% SLOPES
(W/S) WINDSOR LOAMY SAND 3-8% SLOPES
LOTS ARE NOT LOCATED WITHIN (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NUMBER 33017002150 EFFECTIVE DATE ON 05-17-05.
- THE PARCELS SHALL BE SERVICED BY INDIVIDUAL WELLS AND SEWER SYSTEMS.
- NO ENCROACHMENTS WILL RESULT FROM THIS PROPOSED LOT LINE REVISION.
- PER PORKCHOP SUBDIVISION ORDINANCE:
ALL LOTS SHALL BE ENTERED FROM A COMMON ACCESS POINT.
NO FURTHER SUBDIVISION OF ANY OF THE PORKCHOP LOTS OTHER THAN LOT LINE REVISIONS.
THE ALL SEASON PASSABLE WIDTH OF ANY SHARED DRIVEWAY SHALL BE 20 FEET.
AN ACCEPTABLE TURNAROUND FOR FIRE TRUCKS MAY BE REQUIRED.
- DEVELOPMENT ON THE PROPOSED LOTS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCHESTER CHAPTER 218, STORMWATER MANAGEMENT AND EROSION CONTROL, AS PART OF THE BUILDING PERMIT PROCESS. THE LOT OWNER SHALL FILE A CITY OF ROCHESTER STORMWATER MANAGEMENT AND EROSION CONTROL PERMIT APPLICATION WITH THE ROCHESTER DEPARTMENT OF PUBLIC WORKS.
- RESIDENTIAL DWELLINGS SHALL MEET THE CITY OF ROCHESTER FIRE DEPARTMENT REQUIREMENTS FOR FIRE PROTECTION, SUCH AS RESIDENTIAL FIRE SPRINKLERS AND INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FOR MORE INFORMATION ABOUT THIS PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867, (603) 335-1338.

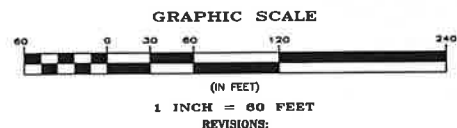


TAX MAP 259, LOT 29
OWNER OF RECORD:
GREAT WOODS DEVELOPMENT, LLC
95 BLACKWATER ROAD
ROCHESTER, NH 03867-4600
S.C.R.D. BOOK 5059, PAGE 152

TAX MAP 259, LOT 29
OWNER OF RECORD:
LIONEL R. PARADIS, JR., and KRISTINA L. PARADIS
180 TOLAND ROAD
DOVER, NH 03820
S.C.R.D. BOOK 1814, PAGE 136

LOT LINE REVISION
SUBDIVISION PLAN
FLAGG ROAD
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE
PREPARED FOR:
GREAT WOODS DEVELOPMENT, LLC

SCALE: 1" = 60' JANUARY 2023



REFERENCE PLANS:

- "CLUSTER SUBDIVISION PLAN, FLAGG ROAD, ROCHESTER, N.H., FOR TRINITY CONSERVATION, LLC" DATED JANUARY 2006 BY NORWAY PLAINS ASSOCIATES, INC. S.C.R.D. PLANS 90-82, 90-83 & 90-84
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- "PROPOSED SUBDIVISION LOTS 5, 6, 7, 8, 9 & 10, LAND OF PARADIS MOBILE HOMES ESTATES INC., CONIC, N.H." DATED JUNE 01, 1978 BY BERRY CONST. CO., INC. S.C.R.D. PLAN 18A-54
- "PROPOSED LIMITED SUBDIVISION, ROBERT HUSSEY, ROCHESTER, N.H." DATED MAY, 1974 BY FREDERICK E. DREW ASSOCIATES S.C.R.D. POCKET 9, FOLDER 1, PLAN 16

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON _____ DATE _____

SIGNED BY _____ / _____ DATE _____
NAME POSITION

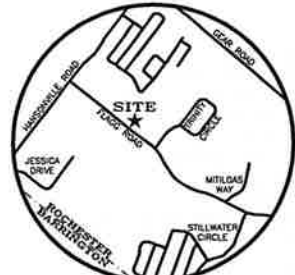
PRELIMINARY PRINT
for
APPLICATION SUBMITTAL
01-23-23

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

FILE NO. 134
PLAN NO. C-2502-S2
DWG NO. 07193-LDD\S-6

31 Mooney Street, Alton, N.H. 603-875-3948



LAND SURVEYORS

CIVIL ENGINEERS

LINE	BEARING	DISTANCE
L1	N 56°02'28" W	143.63'
L2	S 25°10'02" W	53.76'
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RPE ROCHESTER LLC
PO BOX 823
NEW HAMPTON, NH
SCRD BOOK 4282, PAGE 337

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DATE

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119 FLAGG ROAD DEVELOPMENT LLC
35 THIRD STREET, DOVER, NH
SCRD BOOK 3545, PAGE 545

TAX MAP 259
LOT 29
AREA:
324,540 sf
7.45 acres

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SCRD BOOK 1063, PAGE 51

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JACQUES FAUCHER &
BEVERLY COOK
PO BOX 255,
ROCHESTER, NH

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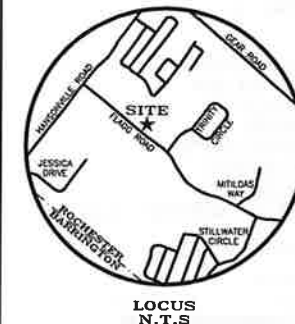
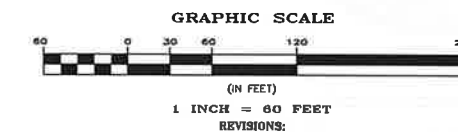
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FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON _____ DATE _____

SIGNED BY _____ / _____ DATE _____
NAME POSITION

PRELIMINARY PRINT
for
APPLICATION SUBMITTAL
01-23-23

TOPOGRAPHIC
LOT LINE REVISION
SUBDIVISION PLAN
FLAGG ROAD
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE
PREPARED FOR:
GREAT WOODS DEVELOPMENT, LLC
SCALE: 1" = 60' JANUARY 2023



FILE NO. 134
PLAN NO. C-2502-S2
DWG NO. 07193-LDD\S-6

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