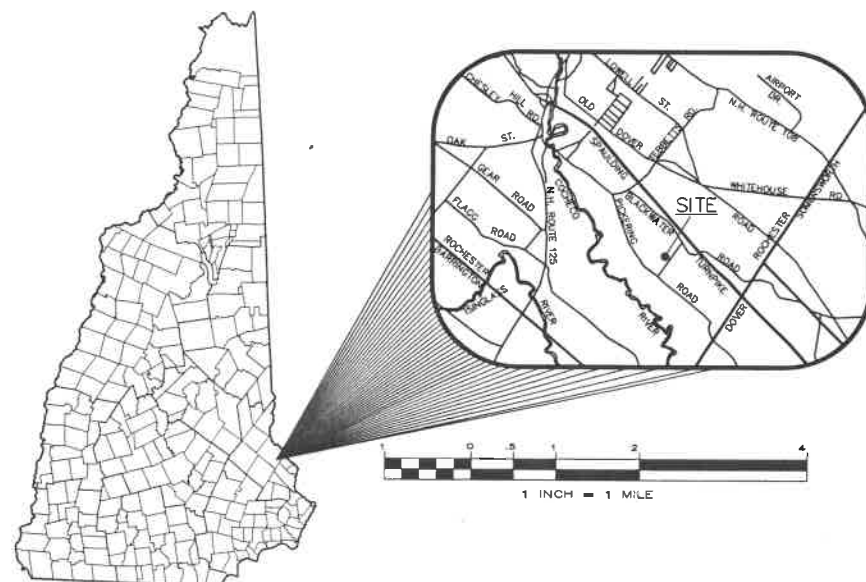


PROPOSED 17 LOT RESIDENTIAL SUBDIVISION

FOR

MARK PHILLIPS
ENGLAND ROAD
ROCHESTER, N.H. 03867



CIVIL ENGINEERS

NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3948

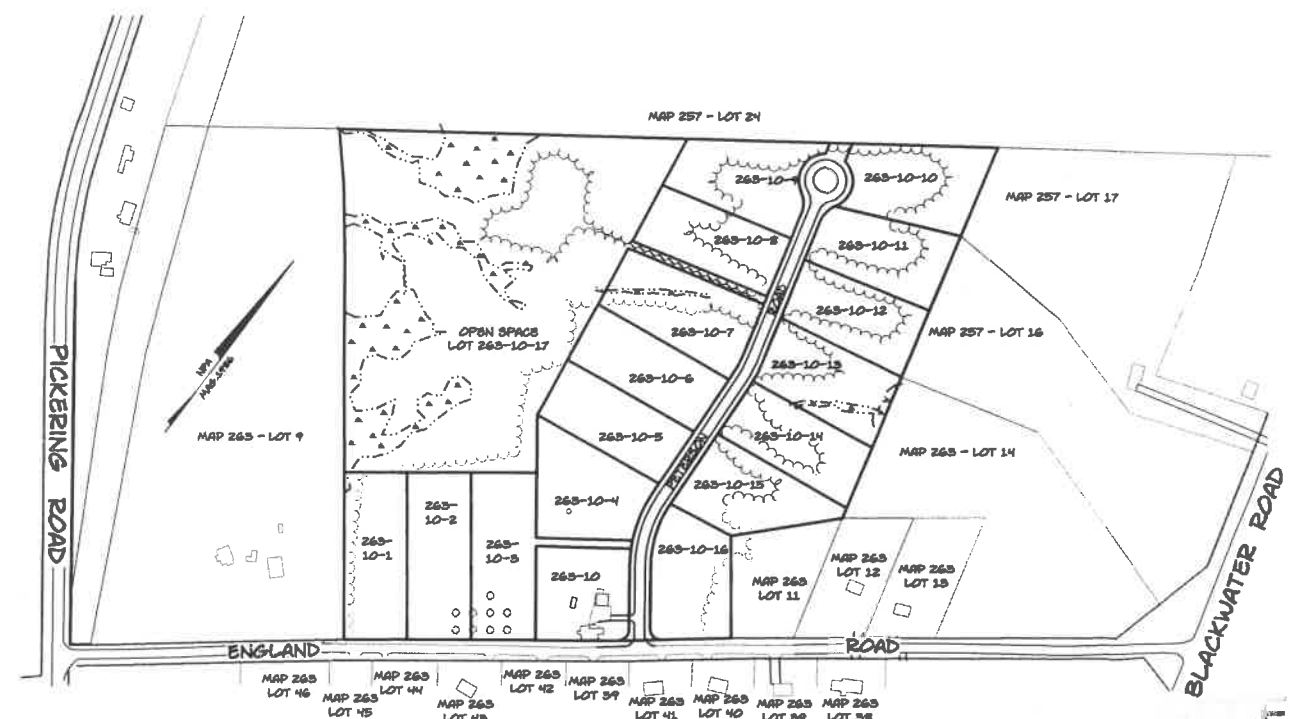
FILE NO. 186
PLAN NO. C-2422
DWC. NO. 07099\S-2
F.B. NO.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

CONSTRUCTION APPROVALS:

- STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES ALTERATION OF TERRAIN APPROVAL: WPS-8136
NHDES WETLANDS PERMIT: NOT APPLICABLE
NHDES SUBDIVISION APPROVAL: SA2008003624
US ARMY CORPS OF ENGINEERS PERMIT: NOT APPLICABLE
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).
- NPDES PERMIT: REQUIRED
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.



OVERALL SITE
1" = 200'

FEB - 6 2009

MB
3/18/09

Michael Behrendt

OWNER

MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, NEW HAMPSHIRE 03801
(603) 433-1566

SHEET INDEX

	COVER	AS SHOWN
S-1	OVERALL SUBDIVISION OF LAND	1" = 100'
S-2	SUBDIVISION OF LAND	1" = 50'
S-3	SUBDIVISION OF LAND	1" = 50'
S-4	TOPOGRAPHIC SUBDIVISION OF LAND	1" = 50'
S-5	TOPOGRAPHIC SUBDIVISION OF LAND	1" = 50'
C-1	OVERALL ROADWAY PLAN	1" = 100'
C-2	ROADWAY PLAN & PROFILE	AS SHOWN
C-3	GRADING AND DRAINAGE PLAN AND PROFILE	AS SHOWN
C-4	DRAINAGE, EROSION AND SEDIMENTATION CONTROL PLAN	1" = 50'
C-5	CONSTRUCTION DETAILS	AS SHOWN
C-6	DRAINAGE DETAILS	AS SHOWN
C-7	DETENTION BASIN DETAILS AND EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
C-8	PROPOSED ROAD INTERSECTION SIGHT DISTANCE PLAN & PROFILE	AS SHOWN

NORWAY PLAINS ASSOCIATES, INC.

263-10-A-07 Rod 96-98/96-99/96-100

LEGEND

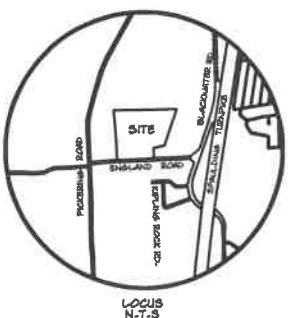
- UTILITY POLE
- WETLAND
- MONUMENT
- BEARING
- DISTANCE
- PROPERTY LINE
- EDGE OF WETLAND
- 50' WETLAND BUFFER
- BUILDING SETBACK LINES
- DRAINAGE EASEMENT
- TREE PLANTING EASEMENT

ABUTTERS LIST:

MAP-LOT	OWNER/MAILING ADDRESS	DEED SCRD BK/PG
263-10	MARK G. PHILLIPS 35 HODGDON FARM LANE NEWINGTON, NH 03801	3546/866
263-9	MARC D. & TOBI L. LAURION 267 LOWELL STREET ROCHESTER, NH 03867	2954/257
263-11	NICHOLAS & MARY METRICK C/O REBECCA JOHNSON 498 MERIDIAN STREET BOSTON, MA 02128	
263-14	NANCY LABRESCQUE 124 ENGLAND ROAD ROCHESTER, NH 03867	1747/283
263-40	RICHARD R. & EDWINA M. PLAISTED 109 ENGLAND ROAD ROCHESTER, NH 03867	2138/355
263-41	DAVID A. & ANNISTE E. KALLGREEN 107 ENGLAND ROAD ROCHESTER, NH 03867	2115/19
263-42	ROCHESTER, NH 03867 PAUL G. & LYNN J. BROKUS 105 ENGLAND ROAD ROCHESTER, NH 03867	3815/524
263-43	KENNETH M. & HOLLY B. BOSTON 103 ENGLAND ROAD ROCHESTER, NH 03867	3462/298
263-47	STANLEY & WENDIE L. HAHN 93 ENGLAND ROAD ROCHESTER, NH 03867	3122/684
263-48	LINDA R. SUTTON 91 ENGLAND ROAD ROCHESTER, NH 03867	2772/973
257-16	DANIEL R. & SHERR J. PHILLIPS 185 BLACKWATER ROAD ROCHESTER, NH 03867	1783/742
257-17	JEREMY K. & YOSHIKO PEENSTRA 177 BLACKWATER ROAD ROCHESTER, NH 03867	1611/279
257-24	ARTHUR W. SCRUTON REV. TRUST C/O A. W. SCRUTON, TRUSTEE 20 FARMSTEAD ROAD FARMINGTON, NH 03825	2001/282

REFERENCE PLANS:

- "FINAL PLAN - PHASE I GOODSTEIN LOT - ROCHESTER, N.H."
DATED: SEPT. 1978
BY: FREDERICK E. DEW ASSOCIATES
RECORDED: SCRD #19-3
- "SUBDIVISION OF LAND - ROCHESTER, NH FOR BSL-GRO ASSOCIATES"
DATED: FEB. 24, 1987
BY: NORWAY PLAINS SURVEY ASSOCIATES, INC.
RECORDED: SCRD #31-32
- "SUBDIVISION OF LAND - ROCHESTER, NH FOR NICHOLAS A. & MARY E. METRICK"
DATED: JUNE 1988
BY: NORWAY PLAINS ASSOCIATES, INC.
RECORDED: SCRD #35-81
- "PLAN OF LAND - 106 ENGLAND ROAD - ROCHESTER, NH - STRAFFORD COUNTY - FOR REBECCA JOHNSON"
DATED: JULY 2006
RECORDED: SCRD #90-91



FILE NO. 186
PLAN NO. C-2422
DWG. NO. 07099/S-2
P.B. NO. #

NOTES PER CITY OF ROCHESTER PLANNING DEPARTMENT:

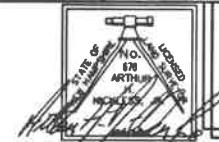
- ALL CONSTRUCTION MUST BE OUTSIDE THE 50 FOOT WETLANDS BUFFER.
- NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED FOR ANY LOTS TAKING ACCESS FROM THE NEW STREET UNTIL THE DRIVEWAY ON LOT 10 IS RELOCATED TO THE NEW STREET AND THE EXISTING DRIVEWAY RECLAIMED.
- THE DRIVEWAY FOR LOT 10 MUST BE RELOCATED TO THE NEW STREET WHEN THE NEW ROAD IS CONSTRUCTED TO BASE COURSE. THIS RELOCATION AND RECLAMATION OF THE CURRENT DRIVEWAY SHALL BE AT THE DEVELOPER'S EXPENSE.
- LOT 10 IS SUBJECT TO A CONSTRUCTION BASEMENT TO ALLOW THE DEVELOPER TO RELOCATE THE CURRENT DRIVEWAY FROM ENGLAND ROAD ONTO THE NEW ROAD, ONCE CONSTRUCTED.
- THIS OPEN SPACE AREA MAY NOT BE LOGGED EXCEPT UNDER THE SUPERVISION OF A LICENSED FORESTER.
- THIS SUBDIVISION IS APPROVED FOR CONVENTIONAL DETACHED SINGLE FAMILY STICK BUILT OR MODULAR HOMES ONLY. MOBIL HOMES OR DUPLEX HOMES ARE NOT ALLOWED FOR THESE LOTS.
- THERE IS A 50 FOOT BUFFER REQUIREMENT FROM WETLANDS UNDER THE CITY OF ROCHESTER ZONING ORDINANCES AS SHOWN ON THIS PLAN. THERE MAY BE NO ENCROACHMENT WITHIN THESE BUFFERS EXCEPT AS PERMITTED UNDER THE ORDINANCE.

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR THIS SUBDIVISION, THE DEVELOPER SHALL POST: A) CONSTRUCTION ZONE SIGNS PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS; AND B) STREET ACCEPTANCE SIGNS WITH THE FOLLOWING LANGUAGE AT ALL ENTRY POINTS TO THE SUBDIVISION: "PROTECTED: THIS SUBDIVISION IS UNDER CONSTRUCTION. THESE DRIVEWAYS HAVE NOT YET BEEN ACCEPTED BY THE CITY OF ROCHESTER AND ARE NOT SUITABLE FOR CITY SERVICES. TRAVEL AT YOUR OWN RISK. (PER ORDER OF PLANNING BOARD)". THE LOCATION AND DESIGN OF THE SIGNS SHALL BE AS STIPULATED BY THE PUBLIC WORKS DEPARTMENT, BUT IN NO CASE SHALL THEY BE LESS THAN 24" IN HEIGHT. THE SIGNS SHALL BE ERECTED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT.
- PRIOR TO DEDICATION OF THE DRIVEWAYS TO THE CITY TWO STREET TREES (DECIDUOUS SHADE TREES) WITHIN THE FRONT 15 FEET OF EACH LOT, WITHIN THE BASEMENT AREA REFERRED TO BELOW. IDENTIFY THE SPECIES OF TREES TO BE PLANTED AND PLANTING SPECIFICATIONS. NEWLY PLANTED TREES MUST BE SUITABLE TO THE SITE CONDITIONS AND OF NURSERY STOCK WITH A DIAMETER AT FOUR FOOT BREAST HEIGHT OF AT LEAST 3 INCHES. ONE OF THE FOLLOWING SPECIES MUST BE USED UNLESS OTHERWISE APPROVED BY THE PLANNING DEPARTMENT: MAPLE, WHITE OAK, SCARLET OAK, LINDEN, THORNLESS HONEYLOCUST, MARSHALL, SEEDLESS ASH, BURKPAN HORNBARK, CALLEE PEAR (NOT SEAFORD), CHINESE BLM, AND JAPANESE ELAEOCARPA.
- THE CONDITIONAL USES FOR THE DETENTION BASIN WAS GRANTED SUBJECT TO THE THREE FOLLOWING TERMS: I) CONSTRUCTION VEHICLES MAY NOT DISTURB THE INNER 25 FEET OF THE WETLANDS BUFFER; II) THE CONSTRUCTION FENCE WITH SILT FENCE MUST BE INSTALLED PRIOR TO ANY EXCAVATION OR SITE DISTURBANCE; III) THE EXCAVATION WORK MUST BEGAIN AT THE CONSTRUCTION FENCE AND WORK BACKWARDS FROM THERE.
- ALL BUILDING LOTS ARE SUBJECT TO A 15 FOOT WIDE TREE PLANTING BASEMENT ALONG THE FRONT OF ALL OF THE LOTS TO ALLOW FOR THE DEVELOPER TO PLANT REQUIRED STREET TREES (IN THE EVENT THEY ARE TO BE PLANTED AFTER A LOT IS SOLD). THIS NOTE MUST ACCOMPANY THE BASEMENT. "THIS AREA IS RESERVED FOR THE PLANTING OF STREET TREES BY THE DEVELOPER AS REQUIRED IN THIS SUBDIVISION SPECIFICATION. THIS BASEMENT APPLIES TO THE INSTALLATION OF TREES ONLY AND AUTOMATICALLY TERMINATES UPON ACCEPTANCE OF THE STREET BY THE CITY. REQUIRED STREET TREES MUST BE PLANTED (OR PRESERVED) PRIOR TO THE CITY'S ACCEPTANCE OF STREET. SEE CONDITIONS OF APPROVAL FOR MORE DETAILS."

NO LOTS OTHER THAN LOTS 10, 10-1 AND 10-2 MAY BE CONVEYED OR BUILT UPON UNTIL THE ROAD IS BUILT TO CITY STANDARDS OR SURETY, IN AN AMOUNT APPROVED BY THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT, IS PROVIDED AND A RELEASE OF RESTRICTION IS SIGNED BY THE CITY OF ROCHESTER PLANNING DEPARTMENT AND RECORDED.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORDED DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN ALLOWS EXCEEDS 1:10,000.

ARTHUR H. NICKLESS, JR., L.L.S. DATE:



- 01/25/04 - REVERSE DRAINAGE EASEMENT TO THE DETENTION BASIN. ADD WATERS TO PLAN. REVERSE MONUMENTATION AND TREE PLANTING NOTES. ADD DRIVEWAY STOPPING SIGHT DISTANCE NOTE.
- 01/24/08 - REMOVE REFERENCE TO SHARED DRIVEWAY.
- 02/26/08 - REVISE PLAN AND NOTES PER PLANNING BOARD CONDITIONS.
- 01/20/09 - REVISE NOTES PER MODIFIED PLANNING BOARD CONDITIONS.

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 263 LOT 10 INTO 17 LOTS WITH REMAINING AREA/OPEN SPACE.
- TOTAL PARCEL AREA: MAP 263, LOT 10 34.71 ACRES
- PARCEL IS ZONED AGRICULTURAL
- MINIMUM LOT REQUIREMENTS:
LOT SIZE = 40,000 SF.
FRONTAGE = 150'
- BUILDING SETBACKS: FRONT YARD = 35', SIDE YARD = 25', REAR YARD = 50'
- THE LOTS ARE TO BE SERVED BY ON-SITE WELLS AND SEPTIC SYSTEMS.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCHESTER.
- WETLANDS WERE DELINEATED BY NHC, INC. ON OR ABOUT MAY 1, 2007 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THIS CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2, JULY 1987. (SEE ENV-HS 1014-08 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).
- ALL WETLANDS LESS THAN ONE-ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE PROVISIONS OF THE CONSERVATION OVERLAY DISTRICT AND DO NOT HAVE A WETLANDS BUFFER AROUND THEM.
- ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED OVERHEAD TO ALLOW FOR OVERHEAD EXTENSION OF WIRE ACCESS TO THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLES MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
- THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
- FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT 55 WINDFIELD STREET, ROCHESTER, 03867, (603) 386-1336.
- THE DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF THE STREET AT ALL TIMES UNTIL IT IS ACCEPTED BY THE CITY OF ROCHESTER. REASONABLE ACCESS SHALL BE PROVIDED FOR LOT OWNERS AND THEIR CONTRACTORS, IF NECESSARY, DURING THE CONSTRUCTION PROCESS (SEE CONDITION REGARDING ACCESS FOR FIRE APPARATUS), ONCE ANY CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED THE DEVELOPER MUST PROVIDE APPROPRIATE MAINTENANCE INCLUDING PLOWING SERVICES IN ORDER TO ALLOW FOR SAFE PASSAGE FOR RESIDENTS, EMERGENCY VEHICLES, AND SERVICE VEHICLES.

SUBDIVISION APPROVAL:

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUBDIVISION APPROVAL.

GRANTED WAIVERS:

- ROCHESTER SUBDIVISION REGULATIONS SECTIONS:
- S-3.7: DEAD-END STREETS SHALL NOT BE LONGER THAN 600 FEET, WHEREAS 1,290' FEET IS PROPOSED
 - S-3.8: PAVEMENT WIDTH FOR MINOR STREETS, AGRICULTURAL ZONING DISTRICT SHALL BE 26 FEET, WHEREAS 24 FEET IS PROPOSED.
 - S-3.9: MAXIMUM, IN PERCENT, WITHIN 100 FEET OF AN INTERSECTION OF A MINOR STREET SHALL BE 0.5 %, WHEREAS 2.0% IS PROPOSED.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.
BOOK 3546 - PAGE 0866

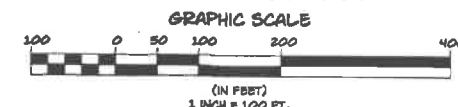
FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON

SIGNED BY

DATE

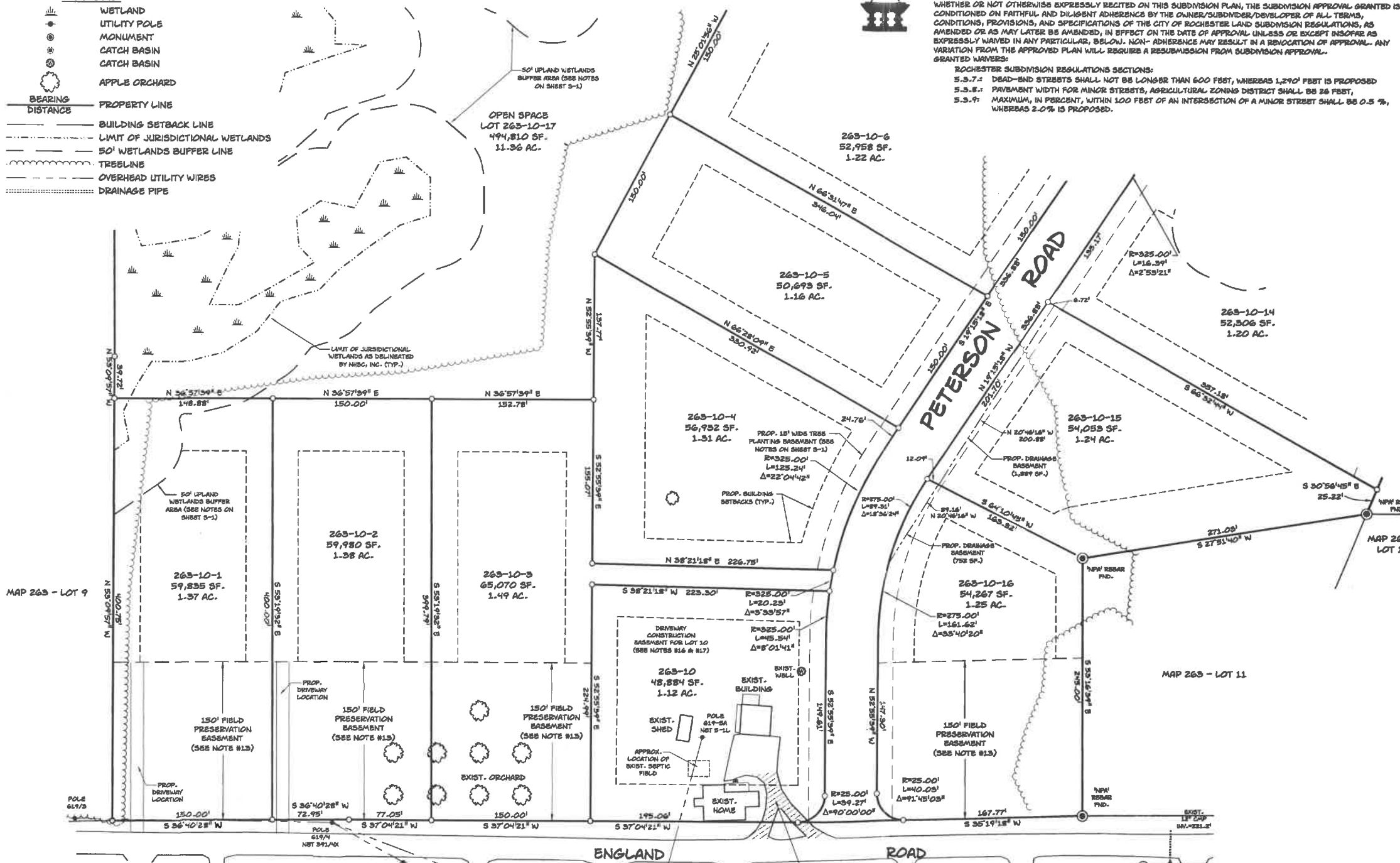
POSITION

OVERALL
SUBDIVISION OF LAND
ENGLAND ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
MARK PHILLIPS
1"=100' JULY 2007



LEGEND

- WETLAND
- UTILITY POLE
- MONUMENT
- CATCH BASIN
- CATCH BASIN
- APPLE ORCHARD
- PROPERTY LINE
- BUILDING SETBACK LINE
- LIMIT OF JURISDICTIONAL WETLANDS
- 50' WETLANDS BUFFER LINE
- TREELINE
- OVERHEAD UTILITY WIRES
- DRAINAGE PIPE

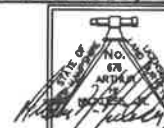


SUBDIVISION APPROVAL: WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUBDIVISION APPROVAL.

ROCHESTER SUBDIVISION REGULATIONS SECTIONS:

5.3-7-1 DEAD-END STREETS SHALL NOT BE LONGER THAN 600 FEET, WHEREAS 1,290' FEET IS PROPOSED

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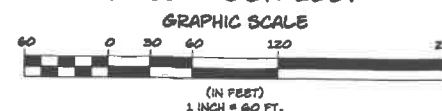
- 01/25/08 - ADD WAIVERS TO PLAN.
- 02/04/08 - REMOVE REFERENCES TO SHARED DRIVEWAY BETWEEN LOTS 10-1 AND 10-2.
- 02/26/08 - REVISE PLAN AND NOTES FOR PLANNING BOARD CONDITIONS.
- 01/20/09 - ADD NOTES #15 THROUGH #17.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 263 LOT 10 INTO 17 LOTS WITH REMAINING AREA/OPEN SPACE.
2. TOTAL PARCEL AREA: MAP 263, LOT 10 34.71 ACRES
3. PARCEL IS ZONED AGRICULTURAL
4. MINIMUM LOT REQUIREMENTS: LOT SIZE = 40,000 SF. FRONTAGE = 150'
5. BUILDING SETBACKS: FRONT YARD = 35', SIDE YARD = 25', REAR YARD = 50'
6. THIS LOTS ARE TO BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS.
7. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCHESTER.
8. WETLANDS WERE DELINEATED BY NHSC, INC. ON OR ABOUT MAY 1, 2007 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT T-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2, JULY 1987. (SEE BNW-WS 1014-08 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).
9. ALL WETLANDS LESS THAN ONE-ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE PROVISIONS OF THE CONSERVATION OVERLAY DISTRICT AND DO NOT HAVE A WETLANDS BUFFER AROUND THEM.
10. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACCESS THE STREET. UTILITIES EXTENDED FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
11. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
12. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 81 WAKEFIELD STREET, ROCHESTER, 03867, (603) 585-1555.
13. LOTS 10-1, 10-2, 10-3 AND 10-16 SHALL BE ENCLUMBERED BY A 150' FIELD PRESERVATION EASEMENT A LONG THE ENGLAND ROAD FRONTAGE. LEACH FIELDS SHALL NOT BE LOCATED WITHIN THIS PRESERVATION EASEMENT.
14. ACCESS FOR LOT 10-16 SHALL BE TAKEN FROM THE NEW STREET. ACCESS FOR LOT 10-3 SHALL BE TAKEN FROM THE NEW STREET VIA THIS ACCESS STRIP. ACCESS TO LOTS 10-1 AND 10-2 SHALL BE LOCATED ON THE WESTERLY SIDE OF THEIR RESPECTIVE LOTS, AS SHOWN.
15. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED FOR ANY LOTS TAKING ACCESS FROM THE NEW STREET UNTIL THE DRIVEWAY ON LOT 10 IS RELOCATED TO THE NEW STREET AND THE EXISTING DRIVEWAY RECLAIMED.
16. THE DRIVEWAY FOR LOT 10 MUST BE RELOCATED TO THE NEW STREET WHEN THE NEW ROAD IS CONSTRUCTED TO BASE COURSE. THE RELOCATION AND RECLAMATION OF THIS CURRENT DRIVEWAY SHALL BE AT THE DEVELOPERS EXPENSE.
17. LOT 10 IS SUBJECT TO A CONSTRUCTION EASEMENT TO ALLOW THE DEVELOPER TO RELOCATE THE CURRENT DRIVEWAY FROM ENGLAND ROAD ONTO THE NEW ROAD, ONCE CONSTRUCTED.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.
BOOK 3546 - PAGE 0866

SUBDIVISION OF LAND
ENGLAND ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
MARK PHILLIPS
1"=60' OCT. 2007
GRAPHIC SCALE



FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON

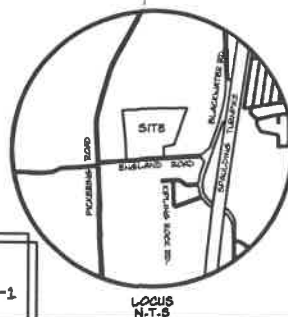
SIGNED BY: NAME: DATE: POSITION:

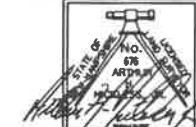
I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.

ARTHUR H. NICKLESS, JR., L.L.S. DATE:

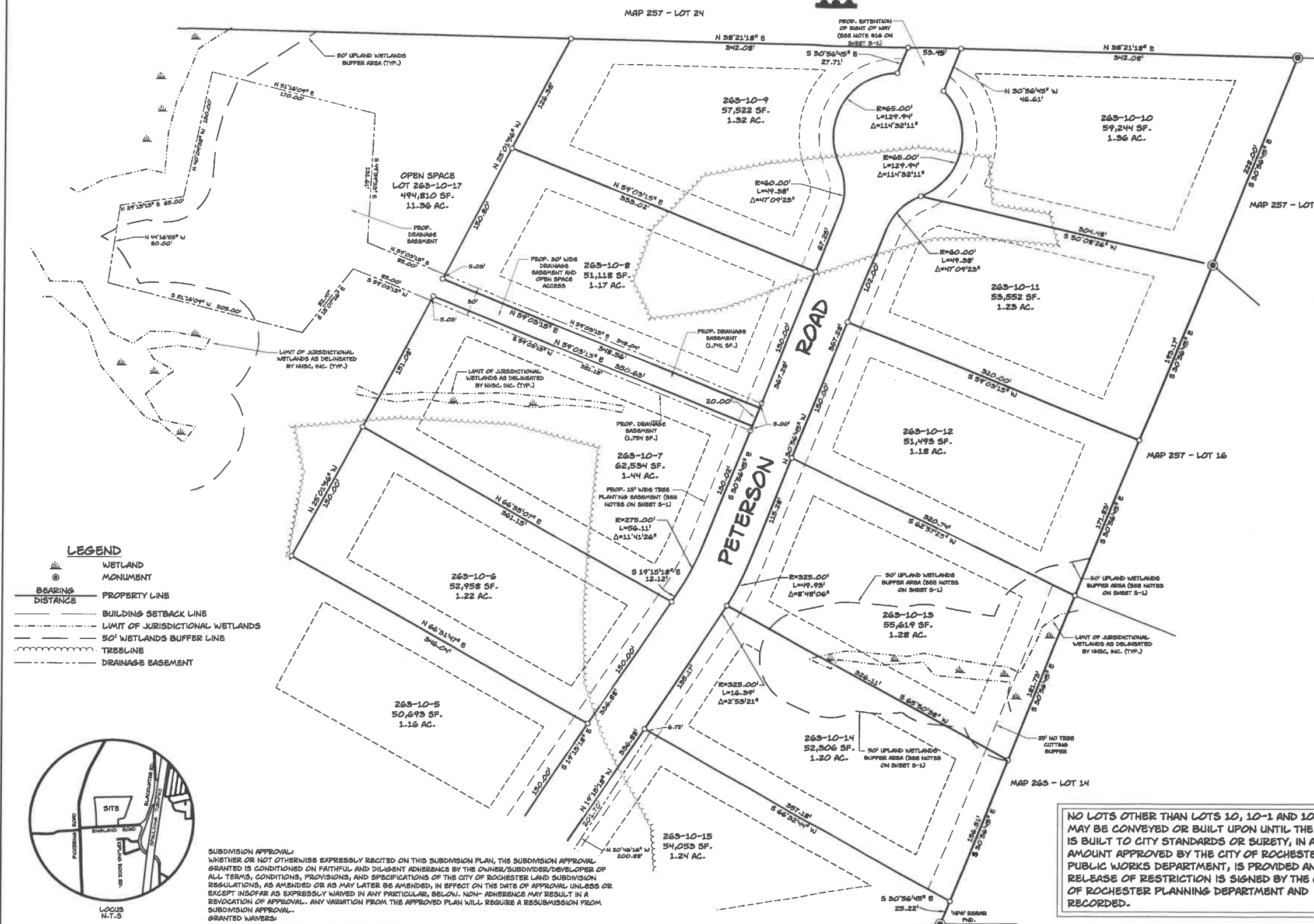
NO LOTS OTHER THAN LOTS 10, 10-1 AND 10-2 MAY BE CONVEYED OR BUILT UPON UNTIL THE ROAD IS BUILT TO CITY STANDARDS OR SURETY, IN AN AMOUNT APPROVED BY THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT, IS PROVIDED AND A RELEASE OF RESTRICTION IS SIGNED BY THE CITY OF ROCHESTER PLANNING DEPARTMENT AND RECORDED.

FILE NO. 186
PLAN NO. C-2422
DWG. NO. 07099S-1
F.B. NO. #





01/25/08 - REVISE DRAINAGE BASEMENT TO THE DETENTION BASIN. ADD WAIVERS TO PLAN.
02/26/08 - REVISE PLAN AND NOTES PER PLANNING BOARD CONDITIONS.

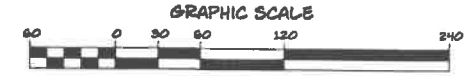


- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 263 LOT 10 INTO 17 LOTS WITH REMAINING AREA/OPEN SPACE.
 2. TOTAL PARCEL AREA: MAP 263, LOT 10 34.71 ACRES
 3. PARCEL IS ZONED AGRICULTURAL
 4. MINIMUM LOT REQUIREMENTS:
LOT SIZE = 40,000 SF.
FRONTAGE = 150'
 5. BUILDING SETBACKS: FRONT YARD = 35', SIDE YARD = 25', & REAR YARD = 50'
 6. THE LOTS ARE TO BE SERVED BY ONSITE WELLS AND SEPTIC SYSTEMS.
 7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCHESTER.
 8. WETLANDS WERE DELINEATED BY NHSC, INC. ON OR ABOUT MAY 1, 2007 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2, JULY 1987. (SEE 800-NH-1014-05 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).
 9. ALL WETLANDS LESS THAN ONE-ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE PROVISIONS OF THE CONSERVATION OVERLAY DISTRICT AND DO NOT HAVE A WETLANDS BUFFER AROUND THEM.
 10. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACCESS THE STREET. UTILITIES EXTENDED FROM ANY SUCH NEW POLES MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
 11. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
 12. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, 03867, (603) 336-1338.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.
BOOK 3546 - PAGE 0866

SUBDIVISION OF LAND
ENGLAND ROAD
ROCHESTER, NH
STRAFFORD COUNTY

FOR
MARK PHILLIPS
1"=60' OCT. 2007



NO LOTS OTHER THAN LOTS 10, 10-1 AND 10-2 MAY BE CONVEYED OR BUILT UPON UNTIL THE ROAD IS BUILT TO CITY STANDARDS OR SURETY, IN AN AMOUNT APPROVED BY THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT, IS PROVIDED AND A RELEASE OF RESTRICTION IS SIGNED BY THE CITY OF ROCHESTER PLANNING DEPARTMENT AND RECORDED.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORDED DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1/10,000.

ARTHUR H. NICKLASS, JR., L.L.S. DATE:

FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON 3/19/09
SIGNED BY [Signature] DATE POSITION

FILE NO. 186
PLAN NO. C-2422
DWG. NO. 070993-1
F.B. NO. #

SUBDIVISION APPROVAL:
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUBDIVISION APPROVAL.

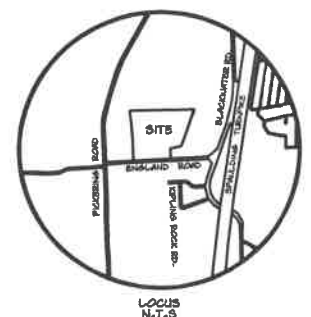
GRANTED WAIVERS:

ROCHESTER SUBDIVISION REGULATIONS SECTIONS:

5.3.7.1 DEAD-END STREETS SHALL NOT BE LONGER THAN 600 FEET, WHEREAS 1,290' FEET IS PROPOSED

5.3.8.1 PAVEMENT WIDTH FOR MINOR STREETS, AGRICULTURAL ZONING DISTRICT SHALL BE 26 FEET, WHEREAS 24 FEET IS PROPOSED.

5.3.9 MAXIMUM, IN PERCENT, WITHIN 100 FEET OF AN INTERSECTION OF A MINOR STREET SHALL BE 0.5 %, WHEREAS 2.0% IS PROPOSED.



SURVEYORS

ENGINEERS

TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249

TEST PITS WERE DUG AND RECORDED ON JUNE 21, 2007 AND NOVEMBER 28, 2007 BY JESSICA A. ESTES, DESIGNER #1813.

TP-1 (LOT 263/10-1)
0-10 10YR 3/3 LOAM
10-48 10YR 4/4 SAND, GRANULAR, FRIABLE
48-72" 10YR 4/4 COARSE SAND, GRANULAR, FRIABLE, SATURATED, REDOX @ 48"
SHWT @ 48"
ROOTS TO N/A
WATER @ 58"
PERC @ 4 MPI

TP-2 (LOT 263/10-2)
0-10 10YR 3/3 LOAM
10-48 10YR 4/4 SAND, GRANULAR, FRIABLE
48-72" 10YR 4/4 COARSE SAND, GRANULAR, FRIABLE, SATURATED
SHWT @ 48"
ROOTS TO N/A
WATER @ 72"
PERC @ 3 MPI

TP-3 (LOT 263/10-3)
0-10 10YR 3/3 LOAM
10-34 10YR 4/6 SANDY LOAM, FRIABLE
34-40 10YR 4/3 SAND, GRANULAR, FRIABLE
40-60" 10YR 4/3 COARSE SAND, GRANULAR, FRIABLE, SATURATED, SLIGHT REDOX @ 40"
SHWT @ 40"
ROOTS TO 34"
WATER @ 60"
PERC @ 5 MPI

TP-4 (LOT 263/10; EXISTING HOUSE)
0-12 10YR 3/3 LOAM
12-24 10YR 4/6 SANDY LOAM, FRIABLE
24-72" 10YR 4/3 COARSE SAND, GRANULAR, FRIABLE
SHWT @ 72"
ROOTS TO N/A
WATER @ 72"
PERC @ 2 MPI

TP-5 (LOT 263/10-16)
0-10 10YR 2/2 LOAM
10-18 10YR 4/6 LOAMY SAND, GRANULAR, FRIABLE
18-60 10YR 4/3 SAND, GRANULAR, FRIABLE
60-72" 10YR 4/3 FINE SAND, FRIABLE IN HAND
SHWT @ 60"
ROOTS TO N/A
WATER @ 60"
PERC @ 4 MPI

TP-5-1 (LOT 263/10-4)
0-15 10YR 2/2 LOAM
15-24 10YR 4/6 LOAMY SAND, GRANULAR, FRIABLE
24-54 10YR 5/6 COARSE SAND, GRANULAR, FRIABLE
54-72" 10YR 5/6 COARSE SAND, REDOX @ 54"
SHWT @ 54"
ROOTS TO N/A
WATER @ N/A
PERC @ 4 MPI

TP-5-1 (LOT 263/10-5)
0-15 10YR 2/2 LOAM
15-24 10YR 4/6 LOAMY SAND, GRANULAR, FRIABLE
24-54 10YR 5/6 COARSE SAND, GRANULAR, FRIABLE
54-78" 10YR 5/6 COARSE SAND, GRANULAR, FRIABLE
SHWT @ 78"
ROOTS TO N/A
WATER @ N/A
PERC @ 2 MPI

TP-7 (LOT 263/10-6)
0-10 10YR 3/3 LOAM
10-18 10YR 4/6 FINE SAND, FRIABLE IN HAND
18-48" 10YR 4/6 SAND W/ ROWS OF VERY COARSE SAND, GRANULAR, FRIABLE
SHWT @ 44"
ROOTS TO N/A
WATER @ 44"
PERC @ 5 MPI

TP-7-1 (LOT 263/10-6)
0-15 10YR 2/2 LOAM
15-36 10YR 4/6 SAND, GRANULAR, FRIABLE
36-48 2.5Y 5/4 SAND, REDOX @ 48"
48-72" 2.5Y 5/4 COARSE SAND, GRANULAR, FRIABLE
SHWT @ 48"
ROOTS TO N/A
WATER @ N/A
PERC @ 4 MPI

TP-16 (LOT 263/10-14)
0-12 10YR 2/2 LOAM
12-24 10YR 4/6 LOAM, FRIABLE
24-48" 2.5Y 5/6 FINE LOAMY SAND, FRIABLE IN HAND, SLIGHTLY FIRM IN PLACE
SHWT @ 24"
ROOTS TO 24"
WATER @ 48"
PERC @ 9 MPI

TP-17 (LOT 263/10-16)
0-12 10YR 2/2 LOAM
12-24 10YR 4/6 LOAM, FRIABLE
24-48" 2.5Y 5/6 FINE LOAMY SAND, FRIABLE IN HAND, SLIGHTLY FIRM IN PLACE
SHWT @ 24"
ROOTS TO 24"
WATER @ N/A
PERC @ 10 MPI

SUBMISSION APPROVAL:

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBMISSION PLAN, THE SUBMISSION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUBMISSION APPROVAL.

LEGEND

- WETLAND
- UTILITY POLES
- MONUMENT
- CATCH BASIN
- WELL
- TEST PIT & PERCUSSION TEST
- PROPERTY LINE
- BUILDING SETBACK LINE
- LIMIT OF JURISDICTIONAL WETLANDS
- 50' WETLANDS BUFFER LINE
- CONTOUR LINES
- TREELINE
- OVERHEAD UTILITY WIRES
- DRAINAGE PIPE
- 75' PROTECTIVE WELL RADIUS
- 4,000 SF DISPOSAL AREA

02/26/08 - REVISE PLAN AND NOTES PER PLANNING BOARD CONDITIONS.

NOTES:

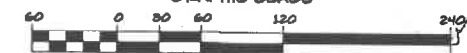
1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 263 LOT 10 INTO 17 LOTS WITH REMAINING AREA/OPEN SPACE.
2. TOTAL PARCEL AREA: MAP 263, LOT 10 34.71 ACRES
3. PARCEL IS ZONED AGRICULTURAL.
4. MINIMUM LOT REQUIREMENTS:
LOT SIZE = 40,000 SF.
FRONTAGE = 150'
5. BUILDING SETBACKS: FRONT YARD = 25', SIDE YARD = 25', & REAR YARD = 50'
6. THE LOTS ARE TO BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCHESTER.
8. WETLANDS WERE DELINEATED BY NHSC, INC. ON OR ABOUT MAY 1, 2007 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2, JULY 1987. (SEE SAN-KS 1014-03 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).
9. ALL WETLANDS LESS THAN ONE-ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE PROVISIONS OF THE CONSERVATION OVERLAY DISTRICT AND DO NOT HAVE A WETLANDS BUFFER AROUND THEM.
10. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLES NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACCESS THE STREET. UTILITIES EXTENDED FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
11. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
12. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT 31 WAKFIELD STREET, ROCHESTER, 03867, (603) 395-1338.
13. LOTS 10-1, 10-2, 10-3 AND 10-16 SHALL BE ENCUMBERED BY A 150' FIELD PRESERVATION BASEMENT A LONG THE ENGLAND ROAD FRONTAGE. LEACH FIELDS SHALL NOT BE LOCATED WITHIN THIS PRESERVATION BASEMENT.
14. ACCESS FOR LOT 10-16 SHALL BE TAKEN FROM THE NEW STREET. ACCESS FOR LOT 10-3 SHALL BE TAKEN FROM THE NEW STREET VIA THE ACCESS STRIP. ACCESS TO LOTS 10-1 AND 10-2 SHALL BE LOCATED ON THE WESTERLY SIDE OF THEIR RESPECTIVE LOTS, AS SHOWN.
15. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR ANY LOTS TAKING ACCESS FROM THE NEW STREET UNTIL THE DRIVEWAY ON LOT 10 IS RELOCATED TO THE NEW STREET AND THE EXISTING DRIVEWAY RECLAIMED.
16. THE DRIVEWAY FOR LOT 10 MUST BE RELOCATED TO THE NEW STREET WHEN THE NEW ROAD IS CONSTRUCTED. THE RELOCATION AND RECLAMATION OF THE CURRENT DRIVEWAY SHALL BE AT THE DEVELOPER'S EXPENSES.
17. LOT 10 IS SUBJECT TO A CONSTRUCTION BASEMENT TO ALLOW THE DEVELOPER TO RELOCATE THE CURRENT DRIVEWAY FROM ENGLAND ROAD ONTO THE NEW ROAD, ONCE CONSTRUCTED.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.
BOOK 3546 - PAGE 0866

TOPOGRAPHIC
SUBDIVISION OF LAND
ENGLAND ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
MARK PHILLIPS

1"=60' OCT. 2007

GRAPHIC SCALE



(IN FEET)
1 INCH = 60 FT.
REVISION DATE

NORWAY PLAINS ASSOCIATES, INC.

TEST PITS WERE DUG AND RECORDED ON JUNE 21, 2007 AND NOVEMBER 28, 2007
BY JESSICA A. ESTES, DESIGNER #1513.

TP 8 (LOT 263/10-7)
0-12 10YR 3/3 LOAM
12-22 10YR 3/6 FINE SANDY LOAM, FRIABLE IN HAND
22-38 10YR 5/6 SAND, GRANULAR, FRIABLE
38-48 10YR 5/6 COARSE SAND, GRANULAR, FRIABLE
SHWT @ 38"
ROOTS TO N/A
WATER @ 48"
PERC @ 6 MPI

TP 8-1 (LOT 263/10-7)
0-10 10YR 2/2 LOAM
10-24 10YR 4/6 SANDY LOAM, GRANULAR, FRIABLE
24-38 2.5Y 5/6 LOAMY SAND, REDOX @ 38"
38-60 2.5Y 5/6 LOAMY SAND
SHWT @ 38"
ROOTS TO 24"
WATER @ N/A
PERC @ 6 MPI

TP 9 (LOT 263/10-7)
0-10 10YR 3/3 LOAM
10-22 10YR 3/6 FINE SANDY LOAM, FRIABLE IN HAND
22-30 10YR 5/6 FINE SAND, SUGHT REDOX @ 30"
30-48 10YR 5/6 SAND, GRANULAR, FRIABLE
SHWT @ 30"
ROOTS TO 24"
WATER @ 48"
PERC @ 7 MPI

TP 10 (LOT 263/10-8)
0-10 10YR 2/2 LOAM
10-18 10YR 3/6 FINE SANDY LOAM, FRIABLE IN HAND
18-24 10YR 5/6 FINE SAND, FRIABLE IN HAND
24-48 10YR 5/6 SAND, GRANULAR, FRIABLE, REDOX @ 24"
SHWT @ 24"
ROOTS TO N/A
WATER @ 48"
PERC @ 6 MPI

TP 11 (LOT 263/10-9)
0-3 10YR 2/2 LOAM
3-12 10YR 4/6 SANDY LOAM, FRIABLE
12-48 2.5Y 5/4 FINE SANDY LOAM, FRIABLE IN HAND, FIRM IN PLACE, REDOX @ 24"
SHWT @ 24"
ROOTS TO 24"
WATER @ N/A
PERC @ 10 MPI

TP 12 (LOT 263/10-10)
0-12 10YR 2/2 LOAM
12-18 10YR 3/6 LOAMY SAND, GRANULAR, FRIABLE
18-48 10YR 4/6 COARSE SAND, GRANULAR, FRIABLE
SHWT @ 48"
ROOTS TO N/A
WATER @ 48"
PERC @ 5 MPI

TP 13 (LOT 263/10-11)
0-12 10YR 3/3 LOAM
12-22 10YR 3/6 LOAMY SAND, GRANULAR, FRIABLE
22-38 10YR 4/6 FINE LOAMY SAND, FRIABLE IN HAND
38-48 10YR 4/6 FINE LOAMY SAND, FIRM, REDOX @ 36"
SHWT @ 36"
ROOTS TO 22"
WATER @ N/A
PERC @ 7 MPI

TP 14 (LOT 263/10-12)
0-12 10YR 2/2 LOAM
12-24 10YR 4/6 FINE LOAMY SAND, GRANULAR, FRIABLE
24-48 2.5Y 5/6 SAND, GRANULAR, FRIABLE
SHWT @ 48"
ROOTS TO 54"
WATER @ 72"
PERC @ 5 MPI

TP 15 (LOT 263/10-13)
0-10 10YR 2/2 LOAM
10-24 10YR 4/6 FINE SANDY LOAM, FRIABLE
24-50 2.5Y 5/6 FINE SAND, FRIABLE IN HAND, FIRM IN PLACE
SHWT @ 24"
ROOTS TO 24"
WATER @ N/A
PERC @ 10 MPI

TP 15B (LOT 263/10-13)
0-10 10YR 2/2 LOAM
10-28 10YR 4/6 FINE LOAMY SAND, FRIABLE IN HAND
28-38 10YR 5/6 COARSE SAND, GRANULAR, FRIABLE
38-48 10YR 5/6 FINE SAND, FRIABLE IN HAND
SHWT @ 36"
ROOTS TO 26"
WATER @ N/A
PERC @ 5 MPI

LEGEND

- WETLAND
- MONUMENT
- WELL
- TEST PIT & PERCUSSION TEST
- PROPERTY LINE
- BUILDING SETBACK LINE
- LIMIT OF JURISDICTIONAL WETLANDS
- 50' WETLANDS BUFFER LINE
- CONTOUR LINES
- TREELINE
- 75' PROTECTIVE WELL RADIUS
- 4,000 SF DISPOSAL AREA
- DRAINAGE EASEMENT

01/25/08 - REVISE DRAINAGE BASEMENT TO THE DETENTION BASIN.
02/26/08 - REVISE PLAN AND NOTES PER PLANNING BOARD CONDITIONS.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE MAP 263 LOT 10 INTO 17 LOTS WITH REMAINING AREA/OPEN SPACE.
2. TOTAL PARCEL AREA: MAP 263, LOT 10 34.71 ACRES
3. PARCEL IS ZONED AGRICULTURAL
4. MINIMUM LOT REQUIREMENTS:
LOT SIZE = 40,000 SF.
FRONTAGE = 150'
5. BUILDING SETBACKS: FRONT YARD = 35', SIDE YARD = 25', & REAR YARD = 50'
6. THE LOTS ARE TO BE SERVICED BY ONSITE WELLS AND SEPTIC SYSTEMS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCHESTER.
8. WETLANDS WERE DELINEATED BY NHSC, INC. ON OR ABOUT MAY 1, 2007 ON THE BASIS OF HYDROPHILIC VEGETATION, HYDRIC SOILS, AND WETLANDS HYDROLOGY IN ACCORDANCE WITH THE TECHNIQUES OUTLINED IN THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, JANUARY 1987. THE HYDRIC SOIL COMPONENT WAS DETERMINED BY USING THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2, JULY 1987. (SEE BAY-HS 1014.08 DELINEATION OF WETLANDS; HYDRIC SOILS DETERMINATION).
9. ALL WETLANDS LESS THAN ONE-ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE PROVISIONS OF THE CONSERVATION OVERLAY DISTRICT AND DO NOT HAVE A WETLANDS BUFFER AROUND THEM.
10. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACCESS THE STREET. UTILITIES EXTENDED FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
11. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
12. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT; 51 WAKEFIELD STREET, ROCHESTER, 03867, (603) 335-1338.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.
BOOK 3546 - PAGE 0866

TOPOGRAPHIC
SUBDIVISION OF LAND
ENGLAND ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
MARK PHILLIPS

1"=60' OCT. 2007
GRAPHIC SCALE



FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON 2/19/09
SIGNED BY [Signature] DATE [Blank] POSITION [Blank]

LEGEND

- PROPERTY LINE
50' WETLAND BUFFER
EDGE OF WETLAND
EXISTING DRAIN LINE
-25- EXISTING CONTOUR LINE
EXISTING TREE LINE
EXISTING STONEWALL
EXISTING SOIL TYPE BOUNDARY
EXISTING CATCH BASIN
WETLAND
PROPOSED TREE LINE
PROPOSED BUILDING SETBACKS
PROPOSED DRAINAGE EASEMENT
PROPOSED TREE PLANTING EASEMENT

WAVIER FROM CITY OF ROCHESTER
SUBDIVISION REGULATIONS:

SECTION 5 - SUBDIVISION DESIGN STANDARDS:

SECTION 5.3 - STREET

- 5.3.7: DEAD-END STREETS SHALL NOT BE LONGER THAN 600 FEET, WHEREAS 1,290' FEET IS PROPOSED.
5.3.8: PAVEMENT WIDTH FOR MINOR STREETS, AGRICULTURAL ZONING DISTRICT SHALL BE 26 FEET, WHEREAS 24 FEET IS PROPOSED.
5.3.8: SIDEWALKS (EACH SIDE) SHALL BE 5 FEET WIDE FORMINOR STREETS, AGRICULTURAL ZONING DISTRICT, WHEREAS NO SIDEWALKS ARE PROPOSED.
5.3.8: PLANTING STRIPS (EACH SIDE) SHALL BE 9 FEET WIDE FOR MINOR STREETS, AGRICULTURAL ZONING DISTRICT, WHEREAS NO PLANTING STRIPS ARE PROPOSED.
5.3.9: MAXIMUM, IN PERCENT, WITHIN 100 FEET OF AN INTERSECTION OF A MINOR STREET SHALL BE 0.5%, WHEREAS 2.0% IS PROPOSED.

CONSTRUCTION APPROVALS:

1. STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES ALTERATION OF TERRAIN APPROVAL: WPS-8136
NHDES WETLANDS PERMIT: NOT APPLICABLE
NHDES SUBDIVISION APPROVAL: S420080824
US ARMY CORPS OF ENGINEERS PERMIT: NOT APPLICABLE
2. NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).
3. NPDES PERMIT:
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.
FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.



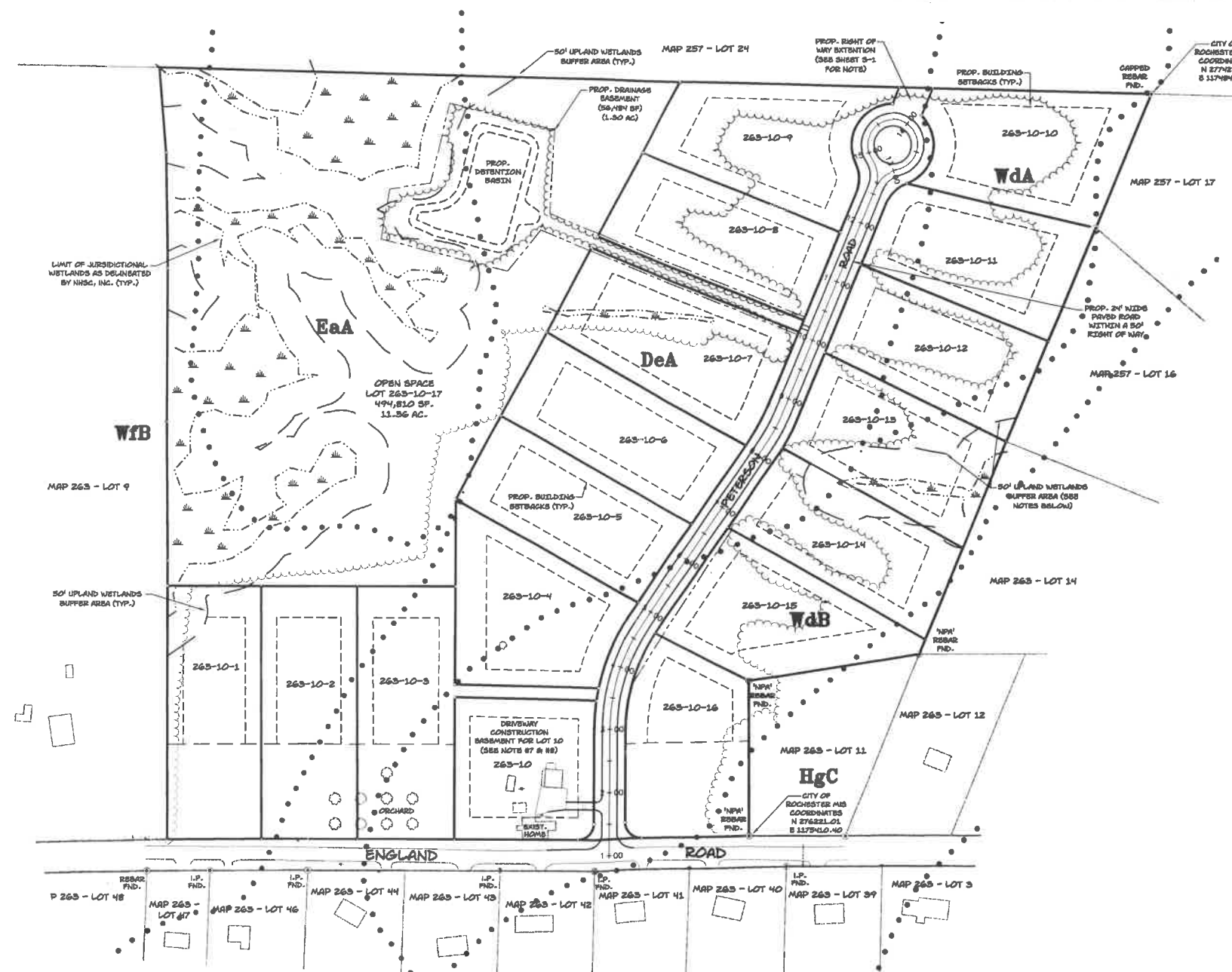
- 01/25/08 - REVISE DRAINAGE EASEMENT TO THE DETENTION BASIN, THE STREET TREE PLANTING NOTE, AND ADD EASEMENT MONUMENTATION NOTE.
02/04/08 - REMOVE ALL REFERENCES TO A SHARED DRIVEWAY BETWEEN LOTS 10-1 AND 10-2.
02/26/08 - REVISE NOTES PER PLANNING BOARD CONDITIONS.

WETLANDS AND SOILS NOTES:

1. THE WETLANDS DELINEATION WAS DONE BY NHSC, INC. IN ACCORDANCE WITH THE 1987 ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, AS REQUIRED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU.
2. THE WETLANDS DELINEATED ON SITE MEET THE CRITERION OF POORLY & DRAINED SOIL, AS DEFINED IN SSSNE SPECIAL PUBLICATION NO. 1 "HIGH INTENSITY SOIL MAP OF NEW HAMPSHIRE STANDARDS" DATED SEPTEMBER 2002.
3. THE WETLANDS DELINEATED WOULD BE CLASSIFIED AS A COMBINATION OF A PALUSTRINE FORESTED BROAD LEAVED DECIDUOUS SYSTEM THAT IS SEASONALLY FLOODED AND/OR SATURATED (PFOIE).
4. SOIL TYPES AND BOUNDARY LINES ARE PER STRAFFORD COUNTY SOIL SURVEY, AS SHOWN ON SHEET 19 AND SHEET 23. SOIL TYPES ARE AS FOLLOWS:
DeA - DEERFIELD LOAMY SAND, 0 TO 3 PERCENT SLOPES
EoA - ELMWOOD FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
HgC - HOLLIS - GLOUCESTER VERY ROCKY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
WdA - WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
WdB - WINDSOR LOAMY SAND, 3 TO 8 PERCENT SLOPES
WFB - WINDSOR LOAMY FINE SAND, CLAY SUBSOIL VARIANT, 0 TO 8 PERCENT SLOPES

OVERALL CONSTRUCTION AND GENERAL NOTES: (CONTINUED)

19. THIS PROJECT PROPOSED TO DISTURB OVER ONE ACRE OF EXISTING GROUND COVER AND MEETS OTHER SPECIFIC REQUIREMENTS RELATED TO PERMIT CRITERIA FOR EPA NPDES COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SUBMISSION OF A NOTICE OF INTENT (NOI) TO EPA, INSPECTION AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION A NOTICE OF TERMINATION (NOT) TO EPA. THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATION OR REQUIREMENTS.
20. THE FINAL WEARING COURSE MUST BE INSTALLED AS FOLLOWS:
1) IT MAY NOT BE INSTALLED UNTIL AT LEAST 50% OF THE NEW LOTS IN THE SUBDIVISION TAKING ACCESS FROM THE NEW STREET (I.E. 7 LOTS OUT OF THE FOURTEEN LOTS 10-3 THROUGH 10-16) ARE BUILT OUT (CERTIFICATES OF OCCUPANCY ISSUED);
2) IT MAY NOT BE INSTALLED UNTIL THE BINDER COURSE HAS BEEN IN PLACE FOR AT LEAST ONE WINTER SEASON; AND
3) IT MUST BE INSTALLED WITHIN 12 MONTHS AFTER 50% OF THE LOTS IN THE SUBDIVISION (7 LOTS AS DESCRIBED ABOVE) ARE BUILT OUT.
21. THE DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF THE STREET AT ALL TIMES UNTIL IT IS ACCEPTED BY THE CITY OF ROCHESTER. REASONABLE ACCESS SHALL BE PROVIDED FOR LOT OWNERS AND THEIR CONTRACTORS, IF NECESSARY, DURING THE CONSTRUCTION PROCESS (SEE CONDITION REGARDING ACCESS FOR FIRE APPARATUS). ONCE ANY CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED THE DEVELOPER MUST PROVIDE APPROPRIATE MAINTENANCE INCLUDING PLOWING SERVICES IN ORDER TO ALLOW FOR SAFE PASSAGE FOR RESIDENTS, EMERGENCY VEHICLES, AND SERVICE VEHICLES.

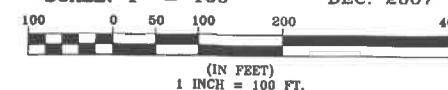


OVERALL CONSTRUCTION AND GENERAL NOTES:

1. ALL CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. ON SATURDAY.
2. ALL LOT CORNERS AND DRAINAGE EASEMENTS SHALL BE MARKED WITH CAPPED IRON MARKERS OF APPROPRIATE MONUMENTATION AFTER THE CONSTRUCTION OF THE ROAD IS COMPLETE.
3. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACCESS THE STREET. UTILITIES EXTENDED FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
4. PRIOR TO DEDICATION OF THE STREETS TO THE CITY TWO STREET TREES (DECIDUOUS SHADE TREES) MUST BE MAINTAINED OR PLANTED WITHIN THE FRONT 15 FEET OF EACH LOT. AS A PRECEDENT CONDITION, THE APPLICATION MUST IDENTIFY / FLAG APPROPRIATE, HEALTHY, INDIVIDUAL TREES ON SITE THAT MEET THIS OBJECTIVE AND SHOW LOCATIONS OF PROPOSED TREES ON THE PLAN. IF TREES ARE TO BE PLANTED A 15 FOOT EASEMENT MUST BE SHOWN AT THE FRONT OF THE LOTS WHICH ALLOWS FOR THE DEVELOPER TO PLANT THOSE TREES. NEWLY PLANTED TREES MUST BE SUITABLE TO THE SITE CONDITIONS AND OF NURSERY STOCK WITH A DIAMETER AT FOUR FOOT BREAST HEIGHT OF AT LEAST 2 INCHES. SUGGESTED (BUT NOT REQUIRED) SPECIES INCLUDE MAPLE, WHITE OAK, SCARLET OAK, LINDEN, THORNLESS HONEYLOCUST, MARSHALL SEEDLESS ASH, EUROPEAN HORNBEAM, CALLERY PEAR (NOT BRADFORD), CHINESE ELM, AND JAPANESE ZELKOVA. WHERE SUITABLE COVERAGE OF EXISTING EVERGREEN TREES IS PRESENT, THESE MAY BE SUBSTITUTED FOR DECIDUOUS TREES.
5. AN ORANGE CONSTRUCTION FENCE MUST BE PLACED ON ALL LOTS THAT INCLUDES WETLAND BUFFERS PRIOR TO START OF CONSTRUCTION FOR ALL LOTS THAT CONTAIN WETLAND BUFFERS.
6. THE SIGHT DISTANCE AT THE ENTRANCE TO THE SUBDIVISION WILL BE ADEQUATE. NO IMPEDIMENT IS CREATED BY THE ALIGNMENT OR GRADE OF ENGLAND ROAD OR THE GRADE PROPOSED ENTRANCE.
7. THE DETENTION BASIN SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION REESTABLISHED ON THE DETENTION BASIN BOTTOM. THE DETENTION BASIN BOTTOM SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C-18 OF THIS PLAN SET.
8. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C-8. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
9. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF ANY OFF SITE IMPACTS ARE FOUND DURING CONSTRUCTION.
10. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT FOR THIS SUBDIVISION, THE DEVELOPER SHALL POST:
A.) CONSTRUCTION ZONE SIGNS PER THE MANUAL OF UNIFORMED TRAFFIC CONTROL DEVICES STANDARDS.
B.) A STREET ACCEPTANCE SIGN AT THE ENTRANCE WHICH READS "POSTED, THIS SUBDIVISION IS UNDER CONSTRUCTION. THESE STREETS HAVE NOT YET BEEN ACCEPTED BY THE CITY OF ROCHESTER AND ARE NOT ELIGIBLE FOR CITY SERVICES. TRAVEL AT YOUR OWN RISK (PER THE ORDER OF PLANNING BOARD)". THE LOCATION AND DESIGN OF THIS SIGN SHALL BE AS STIPULATED BY THE PUBLIC WORKS DEPARTMENT, BUT IN NO CASE SHALL IT BE LESS THAN 2'X4' AND IT SHALL BE ERRECTED PRIOR TO ISSUANCE OF ANY BUILDING PERMIT.
11. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, 03867, (603) 335-1338.
12. ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT (603) 330-7162 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
13. BUFFER MARKERS MUST BE INSTALLED ALONG THE OUTER EDGE OF THE WETLAND BUFFER ON ALL LOTS THAT CONTAIN A WETLAND BUFFER. THE MARKER MUST BE INSTALLED AT THE TIME THAT THE ORANGE CONSTRUCTION FENCE IS REMOVED. THE MARKER MUST BE IN PLACE IN ORDER FOR THE CERTIFICATE OF OCCUPANCY FOR THAT LOT TO BE ISSUED.
14. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SUBDIVISION REGULATIONS - UNLESS OTHERWISE WAIVED.
15. ALL PROPOSED BUILDINGS SHALL LOCATED WITHIN THE CURRENT ZONING SETBACKS AS SHOWN OR A VARIANCE SHALL BE SOUGHT FOR.
16. LOTS 10-1 & 10-2 SHALL HAVE ROOF OUTLERS THAT DAYLIGHT TO THE REAR OF THE HOUSES.
17. THE CONDITIONAL USE FOR THE DETENTION BASIN WAS GRANTED SUBJECT TO THE THREE FOLLOWING TERMS: I) CONSTRUCTION VEHICLES MAY NOT DISTURB THE INNER 25 FEET OF THE WETLANDS BUFFER; II) THE CONSTRUCTION FENCE WITH SILT FENCE MUST BE INSTALLED PRIOR TO ANY EXCAVATION OR SILT DISTURBANCE; III) THE EXCAVATION WORK MUST BEGIN AT THE CONSTRUCTION FENCE AND WORK BACKWARDS FROM THERE.
18. ALL ROADWAY SIGNS SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE.

OVERALL ROADWAY PLAN
ENGLAND ROAD
ROCHESTER, N.H.FOR
MARK PHILLIPS

SCALE: 1" = 100' DEC. 2007

(IN FEET)
1 INCH = 100 FT.

TAX MAP 263, LOT 10
OWNER OF RECORD:
MARK G. PHILLIPS
35 HODGDON FARM LANE
NEWINGTON, N.H.

FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON

3/19/09

SIGNED BY
DATE

POSITION

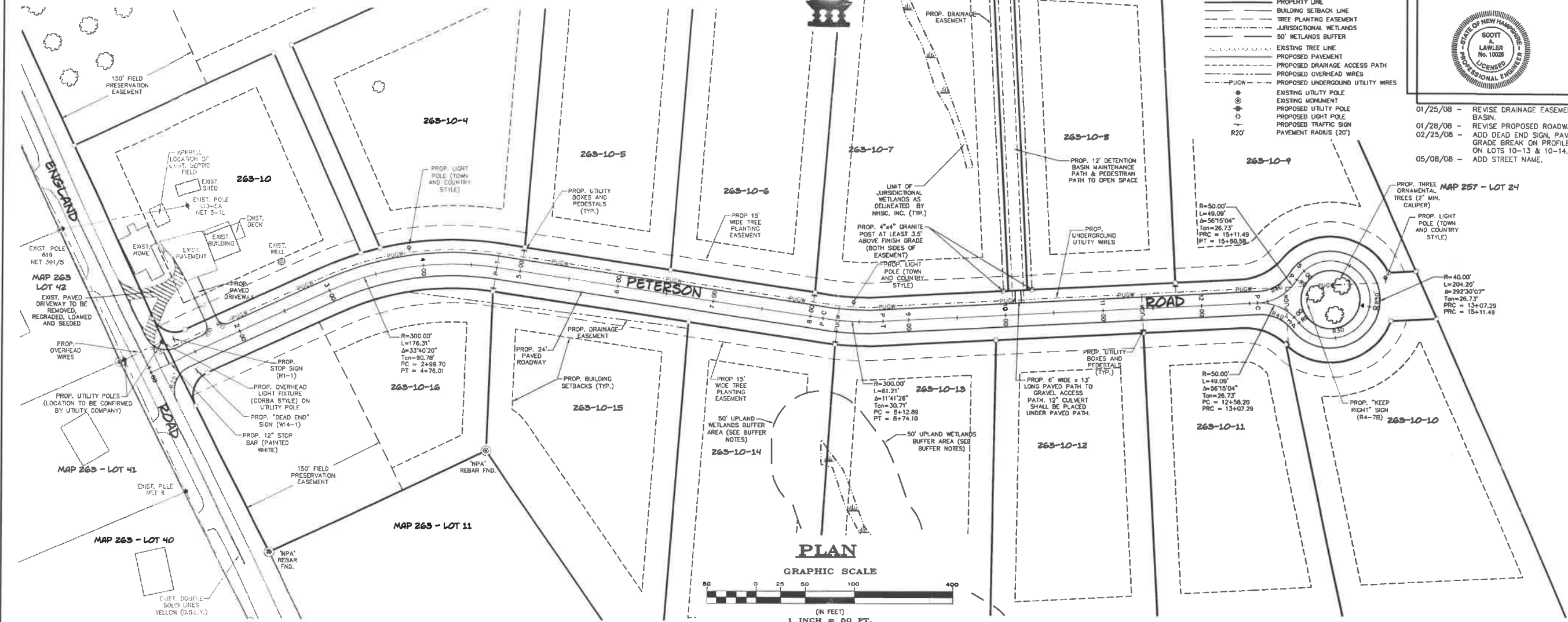
FILE NO. 186
PLAN NO. C-2422
DWG. NO. 07099\S-2
F.B. NO. "33"

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

- LEGEND**
- PROPERTY LINE
 - BUILDING SETBACK LINE
 - TREE PLANTING EASEMENT
 - JURISDICTIONAL WETLANDS
 - 50' WETLANDS BUFFER
 - EXISTING TREE LINE
 - PROPOSED PAVEMENT
 - PROPOSED DRAINAGE ACCESS PATH
 - PROPOSED OVERHEAD WIRES
 - PROPOSED UNDERGROUND UTILITY WIRES
 - EXISTING UTILITY POLE
 - EXISTING MONUMENT
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED TRAFFIC SIGN
 - PAVEMENT RADIUS (20')

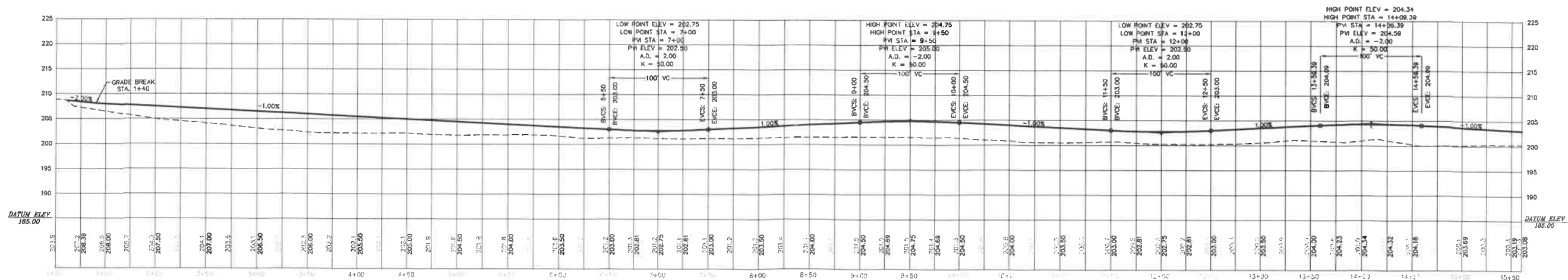
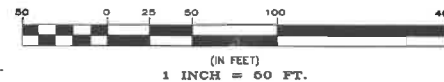


- 01/25/08 - REVISE DRAINAGE EASEMENT WIDTH TO DETENTION BASIN.
- 01/28/08 - REVISE PROPOSED ROADWAY PROFILE.
- 02/25/08 - ADD DEAD END SIGN, PAVED WALK ENTRANCE, GRADE BREAK ON PROFILE, AND NO CUT LIMITS ON LOTS 10-13 & 10-14.
- 05/08/08 - ADD STREET NAME.



PLAN

GRAPHIC SCALE



PROFILE

SCALE: 1"=50' HORIZ.
1"=10' VERT.

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ROADWAY PLAN AND PROFILE
ENGLAND ROAD
ROCHESTER, N.H.

FOR
MARK PHILLIPS

SCALE: AS SHOWN DEC. 2007

NORWAY PLAINS ASSOCIATES, INC.



- 01/25/08 - REVISE PROP. CB #5 INVERT OUT ELEVATIONS AND PROP. PIPE #5 SLOPE. REVISE DRAINAGE EASEMENT TO DETENTION BASIN. REVISE DRAINAGE STRUCTURE NOTES.
- 01/28/08 - ADJUST THE DRAINAGE PROFILE BASED ON REVISED ROADWAY GRADES.
- 02/26/08 - ADD ADDITIONAL CATCH BASINS AT THE ROADWAY SAGS FOR WINTER COLLECTION.
- 05/08/08 - ADD STREET NAME.

MAP 257 - LOT 24

LEGEND

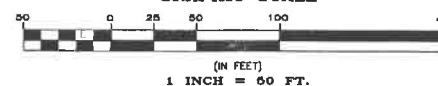
- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- - - EXISTING CONTOUR LINE
- - - EXISTING TREE LINE
- - - P203.5' PROPOSED SPOT GRADE
- - - PROPOSED DRAIN LINE
- - - PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN
- ▴ PROPOSED FLARED END SECTION (FES)

DRAINAGE STRUCTURE NOTES:

1. DRAINAGE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON SHEET C-7.
2. ALL CORRUGATED PLASTIC PIPE (CPP) USED SHALL BE DUAL WALLED HIGH DENSITY POLYETHYLENE (N-12) AND SHALL BE GASKETED.
3. ALL MATERIALS SHALL BE AS SPECIFIED. ANY CHANGES SHALL BE APPROVED BY THE DESIGN ENGINEER OR THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT.
4. PROPOSED CATCH BASIN 3A, 4A, 6A & 7A SHALL BE INSTALLED WITH THE BACK EDGE OF THE FRAME ALONG THE EDGE OF THE PAVEMENT. THESE BASINS WILL ALLEVIATE STORM WATER POUNDING IN THE INSTANCE OF FROZEN SNOW BANKS PREVENTING THE RUNOFF FROM LEAVING THE ROADWAY SURFACE.

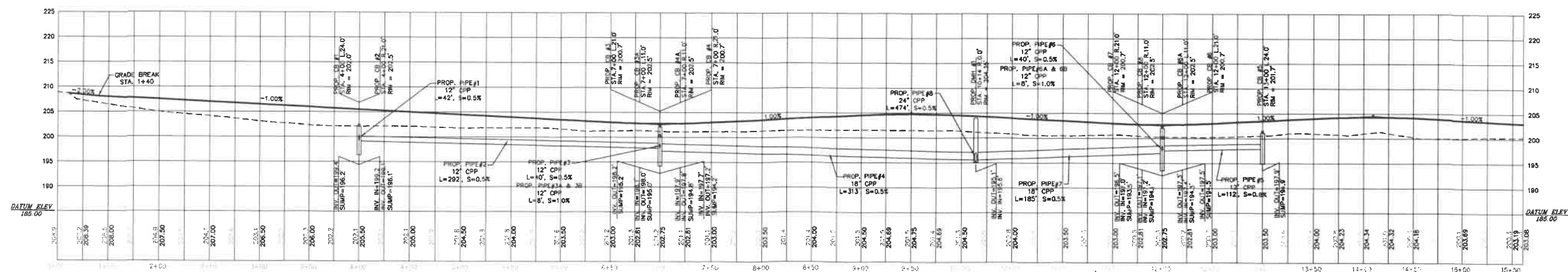
PLAN

GRAPHIC SCALE



PROFILE

SCALE: 1"=50' HORIZ.
1"=10' VERT.



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GRADING & DRAINAGE
PLAN AND PROFILE
ENGLAND ROAD
ROCHESTER, N.H.

FOR
MARK PHILLIPS
SCALE: AS SHOWN DEC. 2007

NORWAY PLAINS ASSOCIATES, INC.

LEGEND

- PROPERTY LINE
50' WETLAND BUFFER
EDGE OF WETLAND
EXISTING DRAIN LINE
EXISTING CONTOUR LINE
EXISTING TREE LINE
EXISTING STONEWALL
EXISTING CATCH BASIN
WETLAND
PROPOSED OUTLET PROTECTION
PROPOSED TEMPORARY CATCH BASIN FILTERS
- PROPOSED TREE LINE
PROPOSED DRAIN LINE
PROPOSED CONTOUR LINE
PROPOSED SILTATION FENCE AND ORANGE CONSTRUCTION FENCE
PROPOSED CATCH BASIN
PROPOSED FLARED END SECTION (FES)
PROPOSED SPOT ELEVATION

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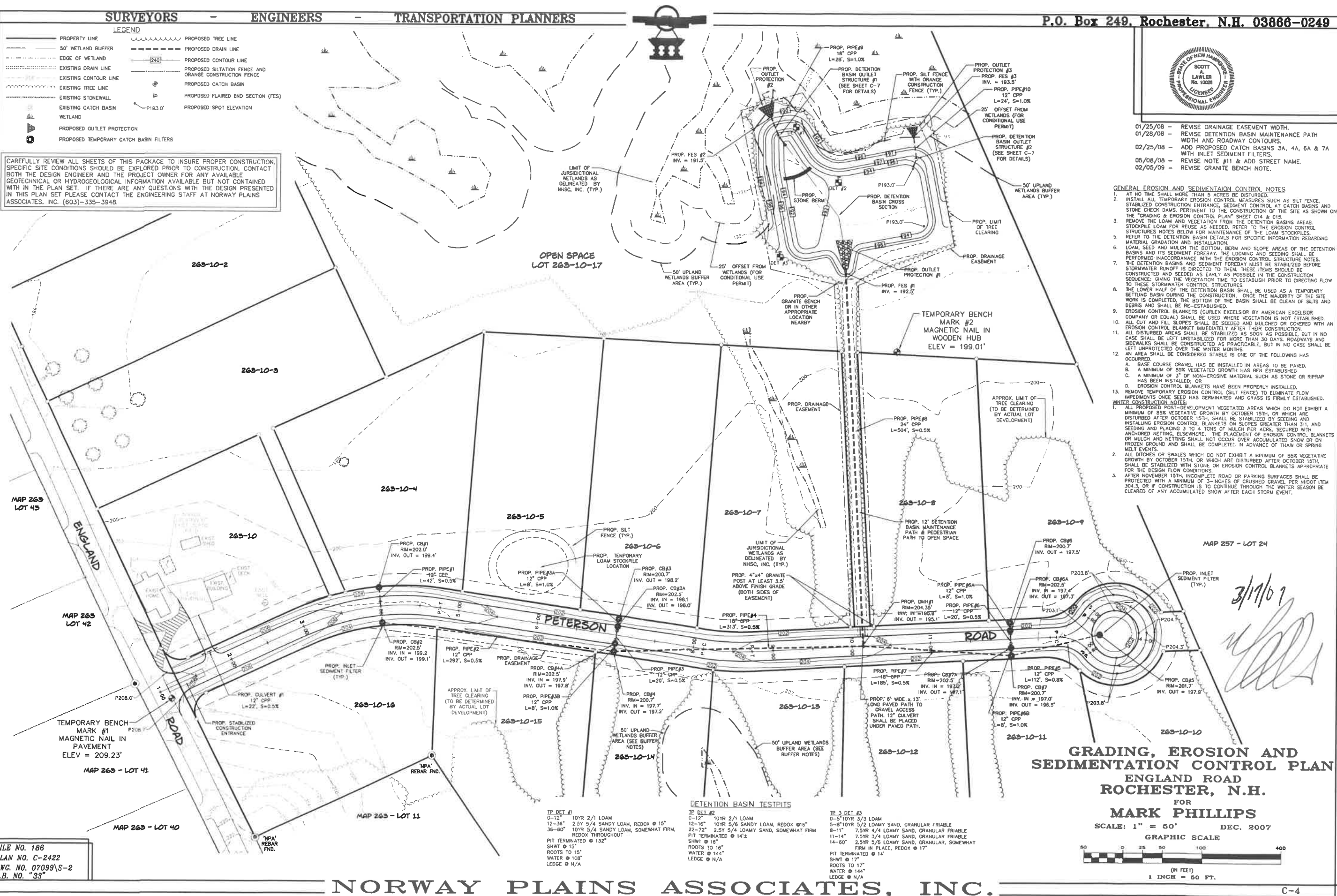
- 01/25/08 - REVISE DRAINAGE EASEMENT WIDTH.
01/28/08 - REVISE DETENTION BASIN MAINTENANCE PATH WIDTH AND ROADWAY CONTOURS.
02/25/08 - ADD PROPOSED CATCH BASINS 3A, 4A, 6A & 7A WITH INLET SEDIMENT FILTERS.
05/08/08 - REVISE NOTE #11 & ADD STREET NAME.
02/05/09 - REVISE GRANITE BENCH NOTE.

GENERAL EROSION AND SEDIMENTATION CONTROL NOTES

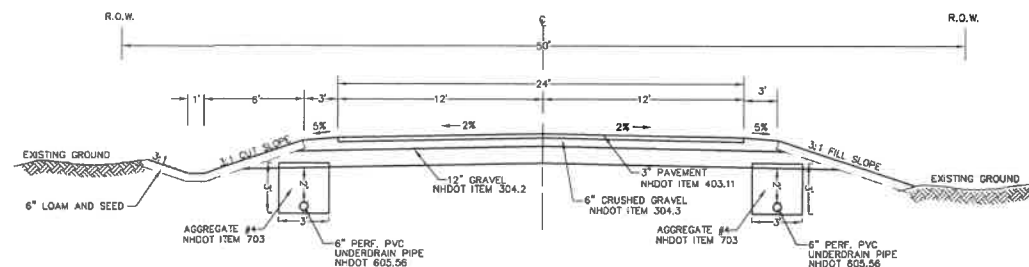
- AT NO TIME SHALL MORE THAN 5 ACRES BE DISTURBED.
- INSTALL ALL TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT CONTROL AT CATCH BASINS AND STONE CHECK DAMS, PERTINENT TO THE CONSTRUCTION OF THE SITE AS SHOWN ON THE "GRADING & EROSION CONTROL PLAN" SHEET C14 & C15.
- REMOVE THE LOAM AND VEGETATION FROM THE DETENTION BASINS AREAS. STOCKPILE LOAM FOR REUSE AS NEEDED. REFER TO THE EROSION CONTROL STRUCTURES NOTES BELOW FOR MAINTENANCE OF THE LOAM STOCKPILES. REFER TO THE DETENTION BASIN DETAILS FOR SPECIFIC INFORMATION REGARDING MATERIAL GRADATION AND INSTALLATION.
- LOAM, SEED AND MULCH THE BOTTOM, BERM AND SLOPE AREAS OF THE DETENTION BASINS AND ITS SEDIMENT FOREBAY. THE LOAMING AND SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE EROSION CONTROL STRUCTURE NOTES.
- THE DETENTION BASINS AND SEDIMENT FOREBAY MUST BE STABILIZED BEFORE STORMWATER RUNOFF IS DIRECTED TO THEM. THESE ITEMS SHOULD BE CONSTRUCTED AND SEEDING AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE, GIVING THE VEGETATION TIME TO ESTABLISH PRIOR TO DIRECTING FLOW TO THESE STORMWATER CONTROL STRUCTURES.
- THE LOWER HALF OF THE DETENTION BASIN SHALL BE USED AS A TEMPORARY SETTLING BASIN DURING THE CONSTRUCTION. ONCE THE MAJORITY OF THE SITE WORK IS COMPLETED, THE BOTTOM OF THE BASIN SHALL BE CLEAN OF SILTS AND DEBRIS AND SHALL BE RE-ESTABLISHED.
- EROSION CONTROL BLANKETS (CURLEX EXCELSDOR BY AMERICAN EXCELSDOR COMPANY OR EQUAL) SHALL BE USED WHERE VEGETATION IS NOT ESTABLISHED.
- ALL OUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED OR COVERED WITH AN EROSION CONTROL BLANKET IMMEDIATELY AFTER THEIR CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT IN NO CASE SHALL BE LEFT UNSTABILIZED FOR MORE THAN 30 DAYS. ROADWAYS AND SIDEWALKS SHALL BE CONSTRUCTED AS PRACTICABLE, BUT IN NO CASE SHALL BE LEFT UNPROTECTED OVER THE WINTER MONTHS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A BASE COURSE GRAVEL HAS BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- REMOVE TEMPORARY EROSION CONTROL (SILT FENCE) TO ELIMINATE FLOW IMPEDIMENTS ONCE SEED HAS GERMINATED AND GRASS IS FIRMLY ESTABLISHED.

WINTER CONSTRUCTION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER RHODOT ITEM 504.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

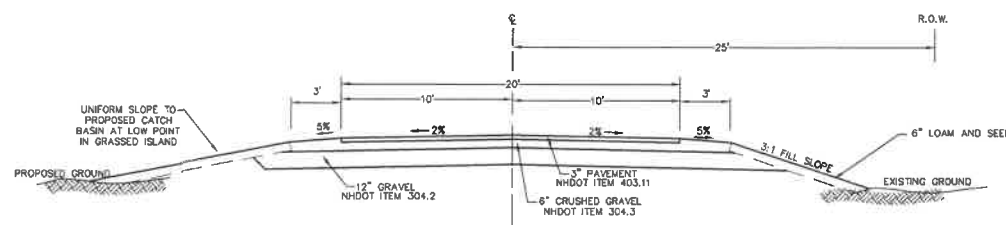


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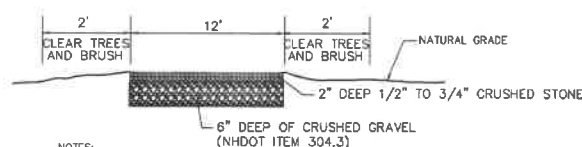
TYPICAL ROADWAY CROSS SECTION

SCALE: 1"=5'

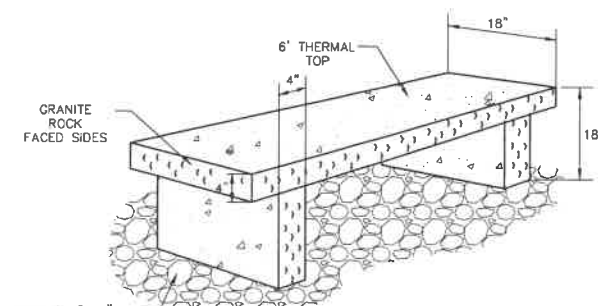
TYPICAL ROADWAY CROSS SECTION
(AT CUL-DE-SAC)

SCALE: 1"=5'

- CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH NHDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND THE CITY OF ROCHESTER CONSTRUCTION SPECIFICATIONS.
- THE ENTIRE AREA OF THE STREET WITHIN ITS RIGHT-OF-WAY LINES AND ITS ADJOINING SLOPED AREAS SHALL BE CLEARED OF ALL STUMPS, BRUSH, ROOTS, ROCKS, AND LIKE MATERIALS AND ALSO OF ALL TREES NOT INTENDED FOR PRESERVATION.
- CONTRACTOR IS TO CONTACT CITY ENGINEER, TO REVIEW CONDITION OF THE ROUGHED IN ROAD, 72 HOURS PRIOR TO THE INSTALLATION PAVEMENT.
- ALL BACK FILL IN TRENCHES AND FILL FOR THE ROAD BEDS SHALL BE COMPACTED TO 95% OPTIMUM DENSITY.
- UNDERDRAIN SHALL BE INSTALLED IN AREAS DEEMED NECESSARY AS DETERMINED BY SUBDRAINAGE CONDITIONS OR AS REQUIRED BY THE CITY ENGINEER. (NHDOT ITEM 605.56)
- AGGREGATE #4 (NHDOT ITEM 703) SHALL BE WRAPPED IN A SUPPORT MEMBRANE (FILTER FABRIC).
- UNDERDRAIN SHALL BE TIED IN TO THE PROPOSED DRAINAGE STRUCTURES.

DETENTION BASIN
MAINTENANCE PATH SECTION

NOT TO SCALE



PERSPECTIVE VIEW DETAIL

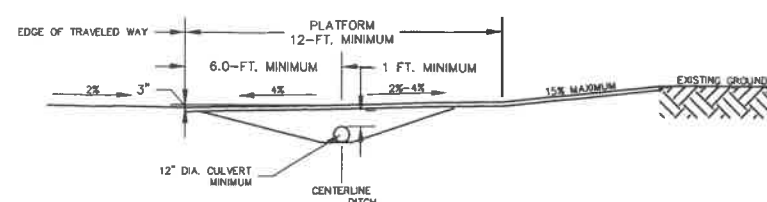
- NOTES:
- SPECIFICATIONS FOR SIZE DIMENSIONS OF BENCH SHOULD BE AS SHOWN OR NO GREATER THAN 24"x24"x8".
 - THE BENCH SHALL BE A SOLID GRANITE BLOCK WITH A THERMAL TOP AND ROCK FACED SIDES AS SHOWN.
 - THE BENCH SHALL BE SET ON 12" COMPACTED GRAVEL AS SHOWN (IF NOT ON CONCRETE OR SOME OTHER PAVED SURFACE).

SOLID GRANITE BLOCK BENCH

NOT TO SCALE

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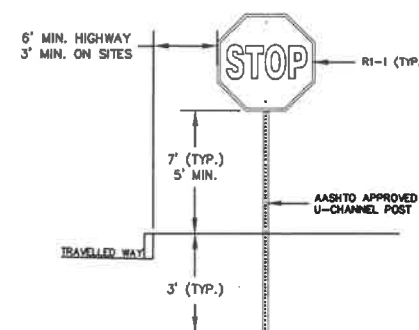


TYPICAL DRIVE IN CUT SECTION

NOT TO SCALE

DRIVEWAY NOTES:

- THE OWNER OF THE LOT WILL BE RESPONSIBLE FOR OBTAINING A DRIVEWAY PERMIT FROM ROCHESTER PUBLIC WORKS.
- DRIVEWAY CULVERTS SHALL BE 12" MIN. AND SHALL EXTEND 5 FEET BEYOND BOTH SIDES OF THE DRIVEWAY UNLESS CONCRETE HEADWALLS ARE PROVIDED.
- GRADES BEYOND PLATFORM SHALL NOT EXCEED 15% NOR SHALL THEY BE LESS THAN 0.5%.
- THE ALGEBRAIC DIFFERENCE BETWEEN TWO ADJACENT GRADE CHANGES SHOULD NOT EXCEED 10%.
- DITCHES ARE RECOMMENDED FOR UNCURBED DRIVEWAYS IN CUT SLOPES.
- USE RUBBLE MASONRY OR PRECAST HEADWALLS OR SLOPE END SECTIONS ON CULVERT PIPES.



NOTES:

- SIGN POST SHALL BE AASHTO APPROVED U-CHANNEL OR OTHER PER AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINAIRES AND SIGNALS", LATEST EDITION.
- SIGNS SHALL BE MOUNTED 7 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
- SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 6 FT. FROM TRAVELED WAY.

TYPICAL TRAFFIC SIGN

NOT TO SCALE

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	30"	30"	STOP	1
R4-7b	30"	24"	KEEP RIGHT	1
W14-1	30"	30"	DEAD END	1
ROCHESTER STREET SIGN	9" HIGH (GREEN) W/ 6" WHITE LETTERS	AS NECESSARY	STREET NAME	1

NOTES:

- ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.

SIGN SCHEDULE

NOT TO SCALE

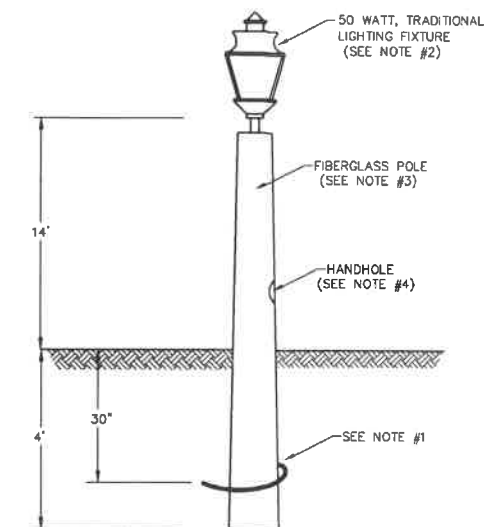
GENERAL UTILITY NOTES

- CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888 344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS.
- THESE PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE IS NOT INTENDED OR IMPLIED.
- ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH PSNH OR VERIZON, WHOM EVER HAS CONTROL OVER THEM.
- PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH PSNH AND OTHER PERTINENT UTILITY COMPANIES.



REVISIONS:

- | | |
|----------|---|
| 01/25/08 | - ADD UNDERDRAIN DETAIL TO TYPICAL CROSS SECTION. |
| 01/29/08 | - REVISE MAINTENANCE PATH DETAIL. |
| 02/25/08 | - REVISE MAINTENANCE PATH DETAIL. ADD DEAD END SIGN & STREET SIGN DETAILS AND GRANITE BENCH DETAIL. |

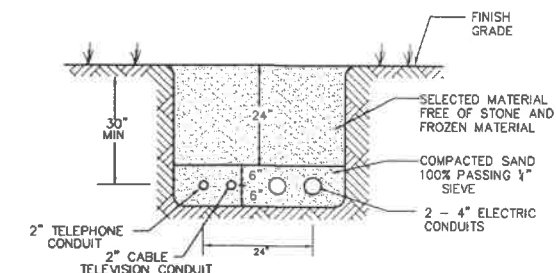


TYPICAL STREET LIGHT DETAIL

NOT TO SCALE

NOTES:

- POLES TO BE SET SO THAT WIRING EXIT FACES THE ROAD.
- ORIENT FIXTURE CORRECTLY AS TO FIELD AND STREET SIDE.
- USE GRAY POLE WITH BLACK TRADITIONAL LUMINAIRE FIXTURE.
- EXTEND DIRECT BURIED CABLE FAR ENOUGH INTO THE POLE TO MAKE THE CONNECTION AT THE HANDHOLE IN THE POLE. EXTEND #14, 2/C COPPER STREET LIGHT CABLE FROM THIS CONNECTION TO THE LUMINAIRE.
- STREET LIGHTS SHALL NOT BE SPACED FURTHER APART THAN 500-FT.
- A STREET LIGHT SHALL BE LOCATED AT EACH INTERSECTION.

TELEPHONE AND ELECTRICAL COMPANY
TRENCH CROSS SECTION

NOT TO SCALE

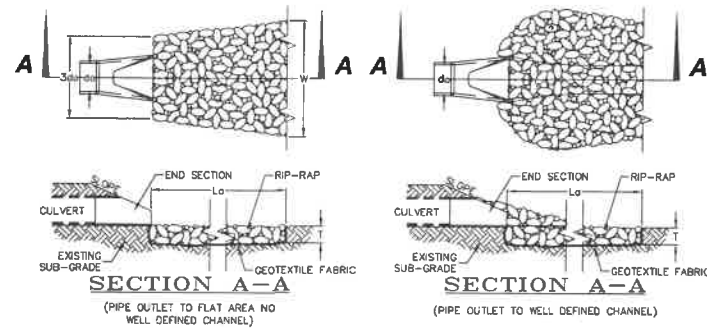
CONSTRUCTION DETAILS
ENGLAND ROAD
ROCHESTER, N.H.

FOR
MARK PHILLIPS

SCALE: AS SHOWN DEC. 2007



REVISIONS:



RIP-RAP GRADATION

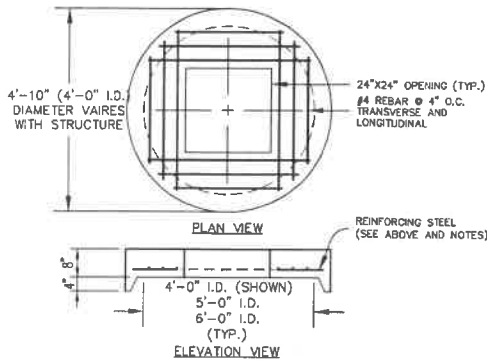
% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	5 TO 7
85	4 TO 7
50	3 TO 6
15	1 TO 2

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	11 TO 15
85	10 TO 14
50	8 TO 11
15	2 TO 4

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	17 TO 23
85	15 TO 20
50	11 TO 17
15	3 TO 6

APRON DIMENSION TABLE

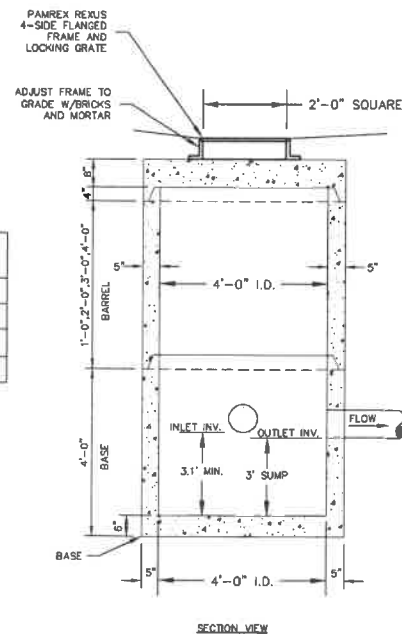
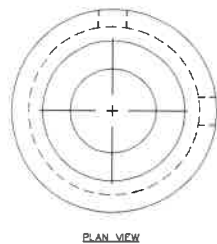
OUTLET PROTECTION	PIPE OUTLET	W ₀	W	L ₀	T	d50
#1	24" CPP OUTLET FROM DMH #1	6'	21'	36'	14"	6"
#2	18" CPP OUTLET FROM DETENTION BASIN	4.5'	22'	17'	21"	9"
#3	12" CPP OUTLET FROM DETENTION BASIN	3'	15'	12'	9"	4"



PRE-CAST REINFORCED CONCRETE SLAB COVER

NOT TO SCALE

- NOTES:
- CONCRETE: 4,000 PSI AFTER 28 DAYS.
 - REINFORCING: SHALL BE PROVIDED FOR H-20 LOADING.
 - PRECAST SECTIONS SHALL CONFORM TO ASTM C-478.
 - REINFORCING SHOWN BASED ON NHDOT SPEC. ANY MANUFACTURER H-20 LOADING RATED REINFORCEMENT IS ADEQUATE.

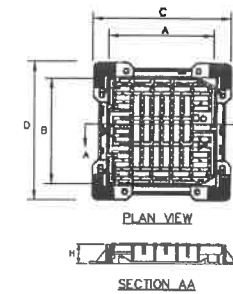


DRAIN LINE DIAMETER	SUM OF DRAIN LINE DIAMETER	CATCH BASIN DIAMETER
15" TO 18"	LESS THAN 54"	4'
21" TO 27"	LESS THAN 72"	5'
30" TO 33"	LESS THAN 90"	6'
36" & LARGER	GREATER THAN 90"	REFER TO THE STANDARD

- NOTES:
- CONCRETE: 4,000 PSI AFTER 28 DAYS.
 - REINFORCING: SHALL BE PROVIDED FOR H-20 LOADING.
 - SHOULDER JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
 - PIPE OPENINGS CAST IN AS REQUIRED.
 - RISER HEIGHT VARIES 1', 2', 3' OR 4' TO REACH DESIRED DEPTH.
 - PIPE CONNECTIONS SHALL BE MORTARED.
 - PRECAST SECTIONS SHALL CONFORM TO ASTM C-478.
 - SEE SLAB TOP DETAIL FOR STRUCTURES REQUIRING SLAB TOPS, I.E. DOUBLE GRATE AND FRAME STRUCTURES.

PRE-CAST REINFORCED CATCH BASIN

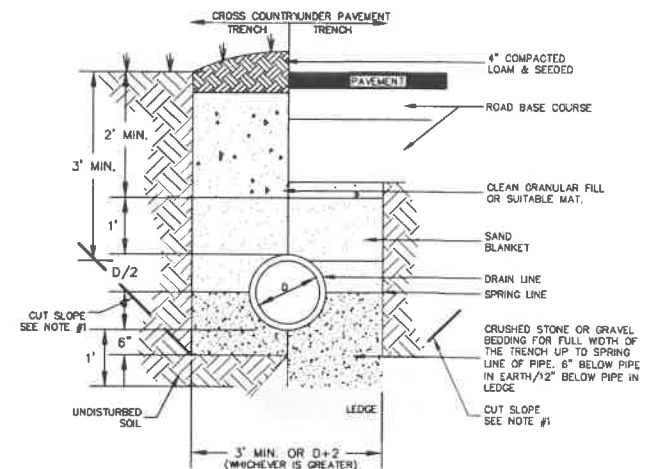
NOT TO SCALE



REXUS GRATING AND FRAME DETAIL

NOT TO SCALE

BASE FLANGE	A (INCHES)	B (INCHES)	C (INCHES)	D (INCHES)	H (INCHES)	TOTAL WEIGHT (POUNDS)
4 FLANGE	24	24	31.5	31.5	4	184
3 FLANGE	24	24	31.5	28	4	187



- NOTES:
- PIPES MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4'-FT. INSTALLATIONS DEEPER THAN 4'-FT REQUIRE THE USE OF A TRENCH BOX.
 - PIPE MATERIALS SHALL BE AS SPECIFIED ON THE DESIGN PLAN.
 - SAND BLANKET MAY BE OMITTED FOR REINFORCED CONCRETE PIPE.
 - ALL DRAINAGE PIPES SHALL BE GASKETED.

DRAINAGE PIPE TRENCH DETAIL

NOT TO SCALE

FILE NO. 186
PLAN NO. C-2422
DWC. NO. 07099/S-2
F.B. NO. "33"

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

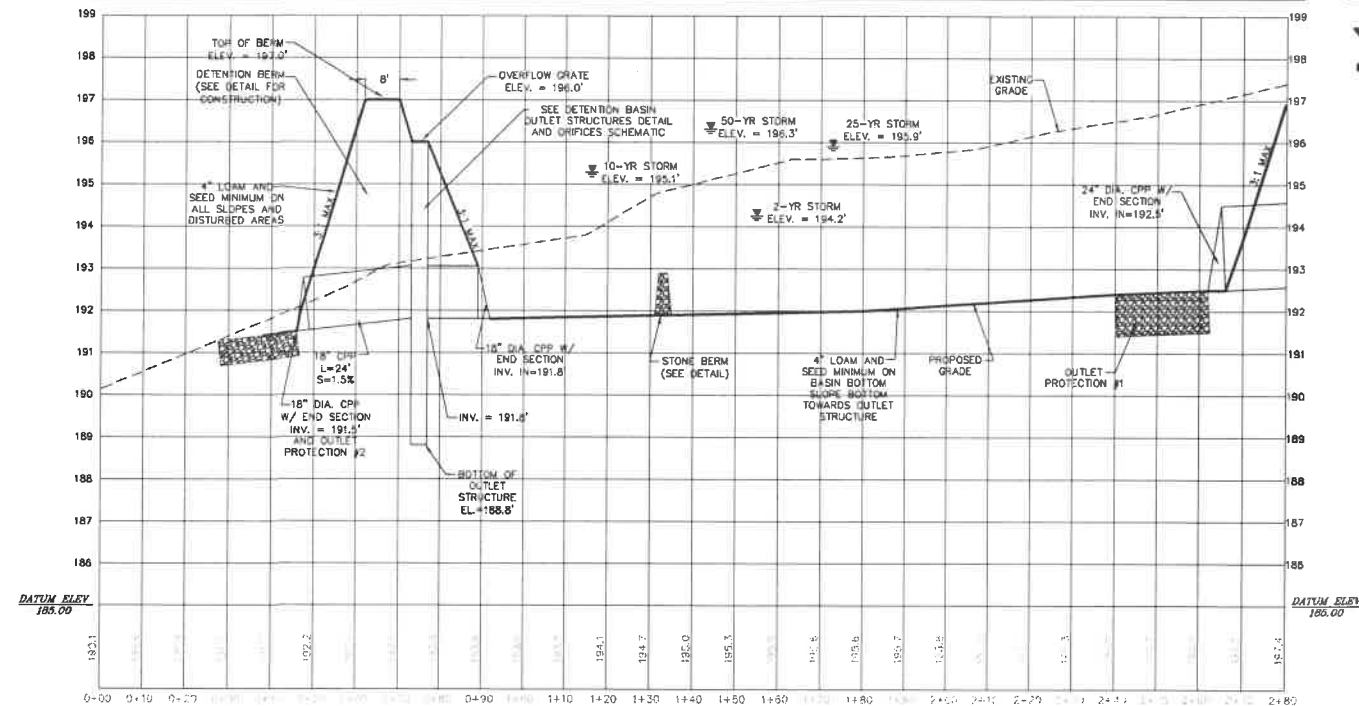
NORWAY PLAINS ASSOCIATES, INC.

DRAINAGE DETAILS
ENGLAND ROAD
ROCHESTER, N.H.
FOR
MARK PHILLIPS

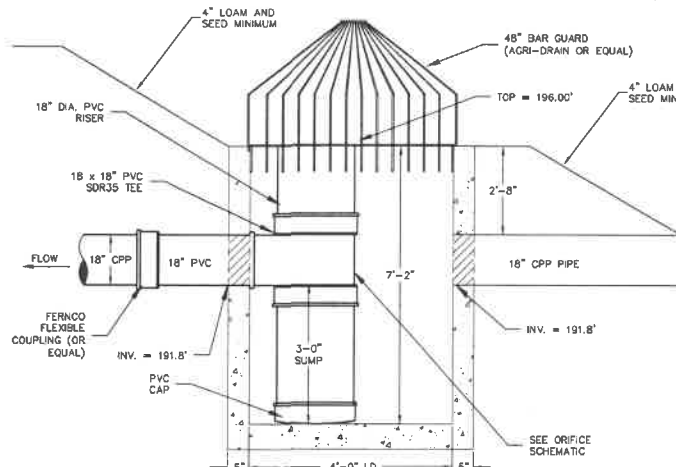
SCALE: AS SHOWN

DEC. 2007

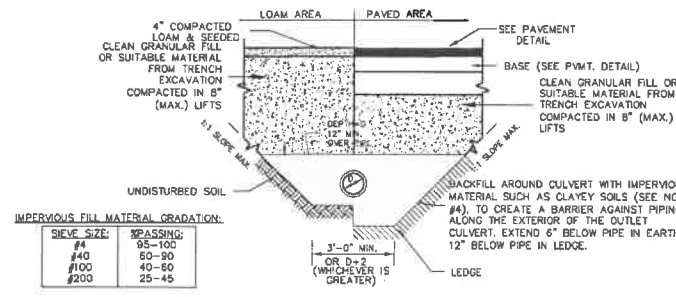
C-6



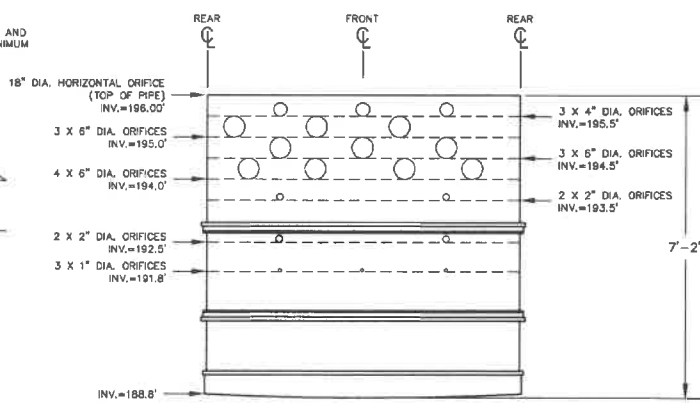
DETENTION BASIN CROSS SECTION
SCALE: 1"=20' (HOR.) & 1"=2' (VERT.)



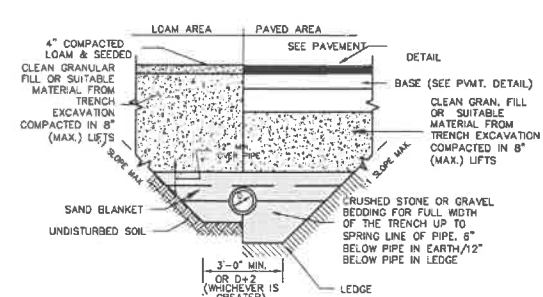
DETENTION BASIN OUTLET STRUCTURE #1 DETAIL
NOT TO SCALE



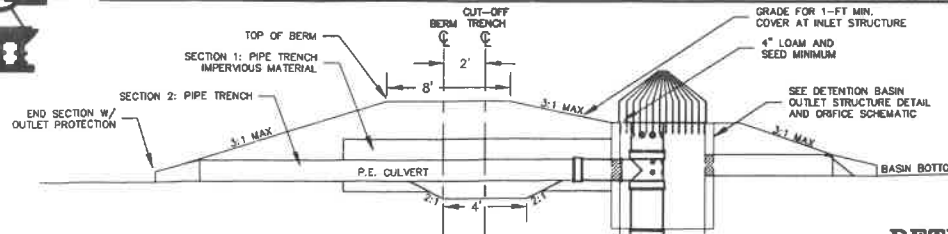
SECTION 1: TRENCH DETAIL FOR PRINCIPLE SPILLWAY PIPE
NOT TO SCALE



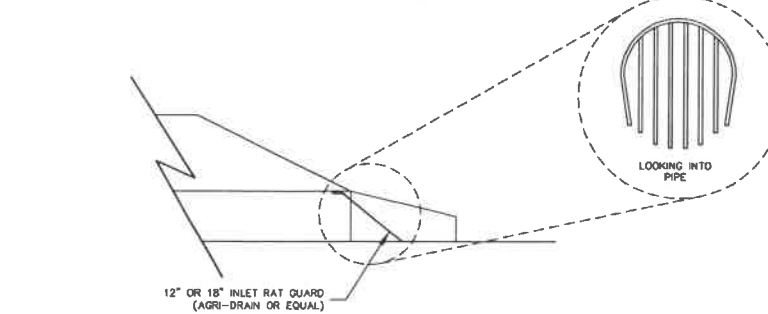
DETENTION BASIN ORIFICE #1 SCHEMATIC
NOT TO SCALE



SECTION 2: TRENCH DETAIL FOR PRINCIPLE SPILLWAY PIPE
NOT TO SCALE

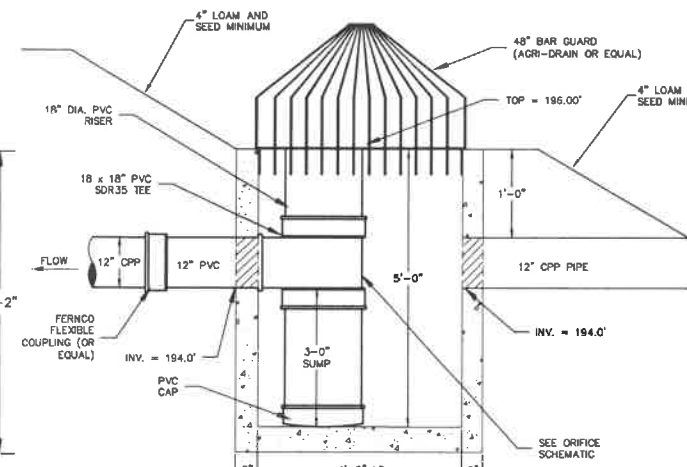


TYPICAL DETENTION BASIN BERM DETAIL
SCALE: 1"=4'

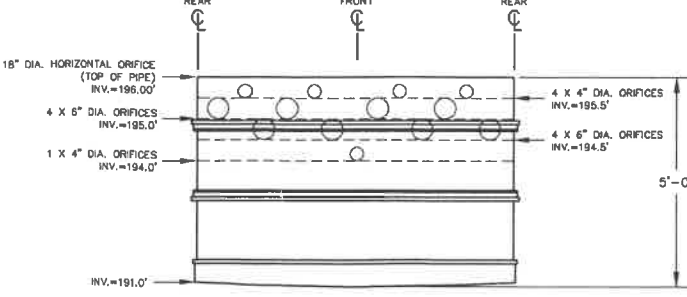


DETENTION BASIN INLET PROTECTION DETAIL
NOT TO SCALE

- NOTE: 1. PLACE APPROPRIATE DIAMETER INLET RAT GUARD (AGRI-DRAIN OR EQUAL) AT INLET PIPE IN DETENTION BASIN.



DETENTION BASIN OUTLET STRUCTURE #2 DETAIL
NOT TO SCALE



DETENTION BASIN ORIFICE #2 SCHEMATIC
NOT TO SCALE

- NOTE: 1. PLACE APPROPRIATE DIAMETER HOLES SUCH THAT THEY DO NOT ALIGN VERTICALLY WITH HOLES DIRECTLY ABOVE OR BELOW THEM.



REVISIONS:

DETENTION BASIN CONSTRUCTION:

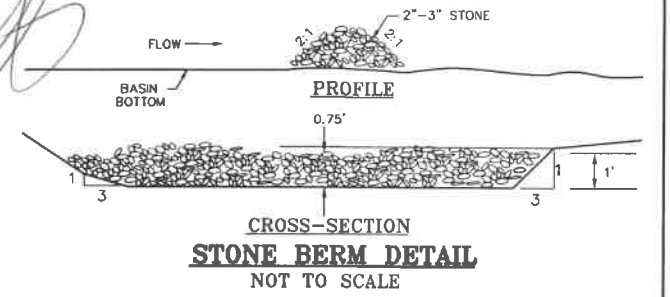
- CLEAR AND GRUB THE AREA WHERE THE BASIN IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE LATER.
- THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE BERM SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
- THE CUTOFF TRENCH SHALL BE EXCAVATED AND CONSTRUCTED AS SHOWN ON THE PLANS. THE TRENCH SHALL EXTEND UNDER THE ENTIRE DAM AND TIE INTO THE ORIGINAL GROUND ON THE SIDES OF THE BASIN.
- THE BERM SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMITY ALONG ITS ENTIRE LENGTH. PLACE MATERIALS IN MAXIMUM 5' LIFTS COMPACTED TO 95% MAXIMUM PROCTOR DENSITY. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT PASSING	SIEVE SIZE	PERCENT PASSING
#4	100	#40	60-90
#10	100	#60	40-60
#20	100	#100	25-45
- THE P.E. OUTLET PIPE TO THE DETENTION BASINS SHALL BE GROUDED INTO THE STANDPIPES TO INSURE A WATER TIGHT CONNECTION AT THE OUTLET.
- THE P.E. PIPE CULVERTS TO THE DETENTION BASINS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS BETWEEN INDIVIDUAL PIPE SECTIONS SHALL BE PER MANUFACTURER SPECIFICATION USING MANUFACTURER APPROVED MATERIALS.
- THE DETENTION BASINS SHALL BE STABILIZED AND HAVE ESTABLISHED GRASS GROWTH PRIOR TO RUNOFF BEING DIRECTED TO IT. IF GRASS HAS NOT ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME PRIOR TO STORM WATER BEING DIRECTED TO THE BASINS OF IF THE BOTTOM OF THE BASIN IS TOO WET, THEN SOO SHALL BE PLACED WITHIN THE BOTTOM OF THE BASINS AND ALLOWED TO FIRMLY ATTACH TO THE SOIL.

DETENTION BASIN MAINTENANCE:

- EMBANKMENT: THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- VEGETATION: THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOILS TESTS. THE EMBANKMENT SHALL BE MOVED ON A MINIMUM ANNUAL BASIS IN ORDER TO ELIMINATE WOODY GROWTH.
- INLETS: THE PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED.
- OUTLETS: PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE, THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- SEDIMENTS: DURING CONSTRUCTION, SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF. AFTER CONSTRUCTION IS COMPLETE THE BASIN SHALL BE INSPECTED ANNUALLY. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- SAFETY INSPECTIONS: ALL PERMANENT IMPROVEMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWN STREAM, THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT. WARNING SIGNS SHOULD BE POSTED AT AND AROUND THE BASIN.
- REMOVE ANY TREE AND OR BRUSH GROWTH SEMI-ANNUALLY.
- REPAIR ANY ERODED AREA OF THE EMBANKMENT WITH THE APPROPRIATE GRASS COVER.
- SEDIMENT SHALL BE REMOVED FROM THE DETENTION BASIN WHEN IT REACHES THE FOLLOWING ELEVATION:

DETENTION BASIN 1 CLEANOUT ELEVATION = 192.0'
2'-3" STONE

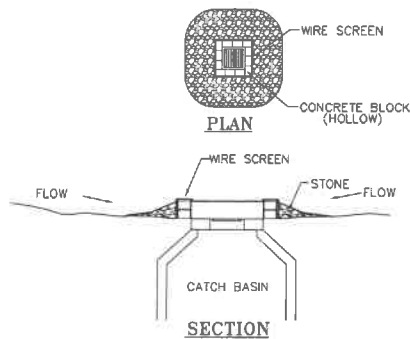


CROSS-SECTION STONE BERM DETAIL
NOT TO SCALE

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DETENTION BASIN DETAILS & DETENTION BASIN CROSS SECTION
ENGLAND ROAD
ROCHESTER, N.H.
FOR
MARK PHILLIPS
SCALE: AS SHOWN DEC. 2007

FILE NO. 186
PLAN NO. C-2422
DWG. NO. 07089/S-2
F.B. NO. "33"



THIS METHOD IS APPROPRIATE FOR PAVEMENT AREAS AND GRASS AREAS WITH STEEP (IN EXCESS OF 5%) SLOPES LEADING TO THE INLET.

BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER*

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24 INCHES HIGH.
2. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED.
3. STONE SHALL BE PAILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN ABOVE. STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 8 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

MAINTENANCE NOTES:

1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

HAYBALE DAM INLET SEDIMENT CONTROL NOTE:

1. HAYBALE DAM INLET SEDIMENT CONTROL STRUCTURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE "CONSTRUCTION SPECIFICATIONS" AND "MAINTENANCE NOTE" FOUND IN THE HAYBALE INSTALLATION DETAIL.

SEDIMENTATION CONTROL AT CATCH BASINS

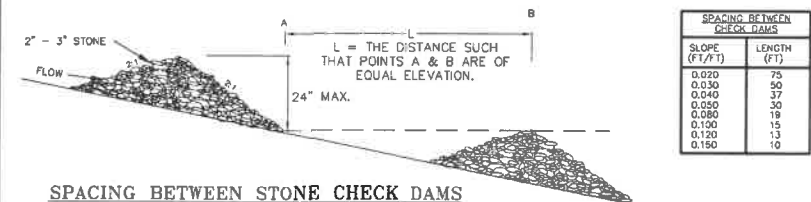
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

1. STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED.
3. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.

MAINTENANCE NOTES:

1. TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE INSPECTED AFTER EACH STORM AND DAILY DURING PROLONGED STORM EVENTS. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
2. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE.
3. WHEN REMOVING THE STRUCTURES, THE DISTURBED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING AND MULCHED.
4. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.



SPACING BETWEEN STONE CHECK DAMS

STONE CHECK DAM INSTALLATION DETAIL

NOT TO SCALE

EROSION CONTROL STRUCTURES:

1. INSTALL ALL SILT FENCE, HAY BALES AND ANY CONSTRUCTION FENCE PRIOR TO BEGINNING CONSTRUCTION.
2. INSTALL 500 IN ALL SWALES IMMEDIATELY AFTER THEY ARE CONSTRUCTED.
3. SEEDING FOR LONG TERM COVER:

SEED MIXTURE	LBS./ACRE	LBS./1000 SQ. FT.
FALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDFOOT TREFOIL	8	0.20
TOTAL	48	1.10

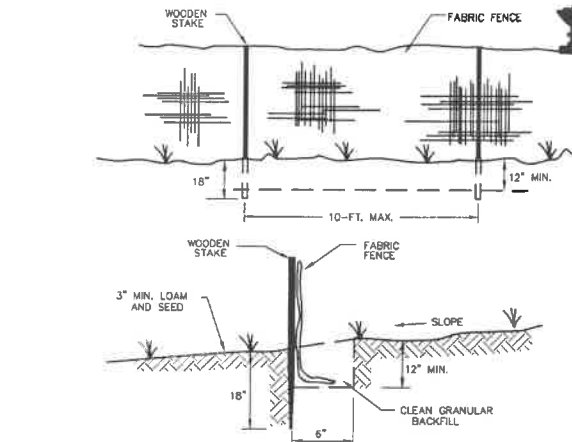
NOTE: BIRDFOOT TREFOIL MUST BE INOCULATED.

4. IF SOIL TEST IS NOT AVAILABLE THE FOLLOWING MINIMUM AMOUNTS SHALL BE USED:

LIME	2 TONS/ACRE OR 100 LBS/1000 SQ. FT.
FERTILIZER	500 LBS/ACRE OF 10-20-20 OR EQUAL
5. THE ABOVE SPECIFICATION FOR GRASS SEED SHALL BE USED FOR THE DETENTION BASINS.
6. SEEDING FOR TEMPORARY PROTECTION:

SEED MIXTURE	LBS./ACRE	LBS./1000 SQ. FT.
WINTER RYE	112	2.50
7. LOAM STOCKPILES: SEED LOAM STOCKPILES IN ACCORDANCE WITH NOTE #5 OF THE ABOVE IF TO BE STOCKPILED FOR 30 DAYS OR MORE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE STOCKPILE ON THE DOWN GRADIENT SIDE ALONG 1/2 THE CIRCUMFERENCE OF THE STOCKPILE MINIMUM.
8. HAY OR STRAW MULCH SHALL BE PLACED ON ALL DISTURBED AREAS AT A RATE OF 2 TONS/ACRE OR 90 LBS/1000 SQ. FT.
9. STONE RIP RAP SHALL BE PLACED AT OUTLETS AS SHOWN ON THE PLANS.
10. HAY BALE DAMS SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION AS SHOWN ON THE PLANS.
11. RIP RAP, HAY BALES, AND EROSION CONTROL MATTING SHALL NOT BE PLACED ON FROZEN GROUND.

FILE NO. 186
PLAN NO. C-2422
DWC. NO. 07099/S-2
P.B. NO. "33"



CONSTRUCTION SPECIFICATIONS:

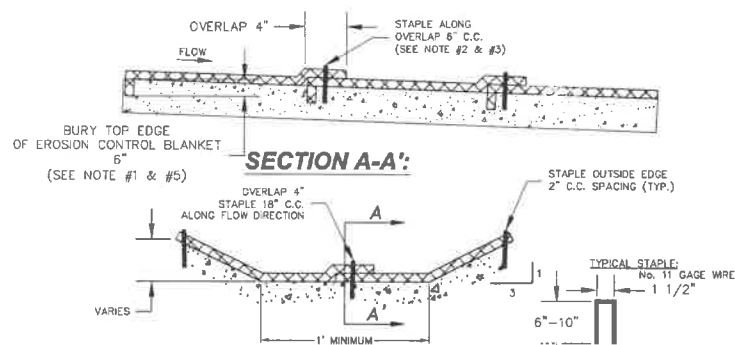
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN STAKES OR AN INTERGRAL PART OF THE FENCE.
4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
5. WOODEN STAKES SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

MAINTENANCE NOTES:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE REGRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILTATION CONTROL FENCE DETAIL

NOT TO SCALE



EROSION CONTROL FABRIC INSTALLATION NOTES:

1. BURY THE TOP EDGE OF THE EROSION CONTROL FABRIC IN A TRENCH 6 INCHES OR MORE IN DEPTH.
2. TAMP THE TRENCH FULL OF SOIL. SECURE THE EROSION CONTROL FABRIC WITH A ROW OF STAPLES, 6 INCH SPACING 4 INCHES FROM THE TRENCH.
3. OVERLAP - BURY UPPER END OF LOWER STRIP AS IN (1) AND (2). OVERLAP END OF TOP STRIP 4 INCHES AND STAPLE.
4. EROSION STOP - FOLD OF JUTE BURED IN SILT TRENCH AND TAMPED DOUBLE ROW OF STAPLES.

EROSION CONTROL FABRIC

NOT TO SCALE

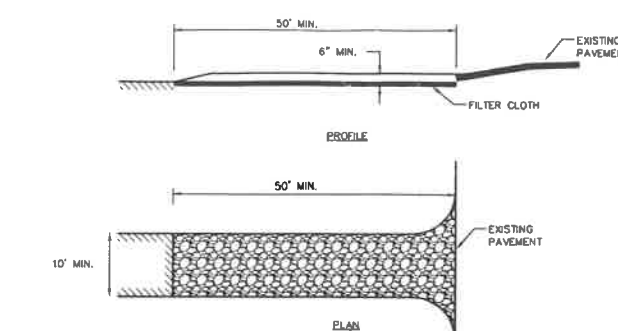
GENERAL MAINTENANCE OF PERMANENT EROSION CONTROL STRUCTURES:

1. ALL PERMANENT EROSION CONTROL STRUCTURES SHALL BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM.
2. ALL DAMAGED STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
3. ALL DEBRIS, OBSTRUCTIONS AND SEDIMENT SHALL BE REMOVED AS NEEDED TO MAINTAIN PROPER PERFORMANCE. SEDIMENT AND DEBRIS SHALL BE DISPOSED OF PROPERLY IN APPROVED LOCATIONS.
4. ALL VEGETATION SHALL BE INSPECTED AND MAINTAINED AS DESIGNED. SEED AND FERTILIZER SHALL BE RE-APPLIED AS NEEDED.

PERMANENT MEASURES:

1. CATCH BASIN AND DRAIN LINES
 - A. INSPECT IN THE SPRING OF EACH YEAR AND CLEAN AND REPAIR AS NEEDED.
2. RIP-RAPI PIPE OUTLET PROTECTION
 - A. SEE DETAIL FOR MAINTENANCE NOTES.
3. VEGETATED TREATMENT SWALE
 - A. SEE DETAIL FOR MAINTENANCE NOTES.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



CONSTRUCTION SPECIFICATIONS:

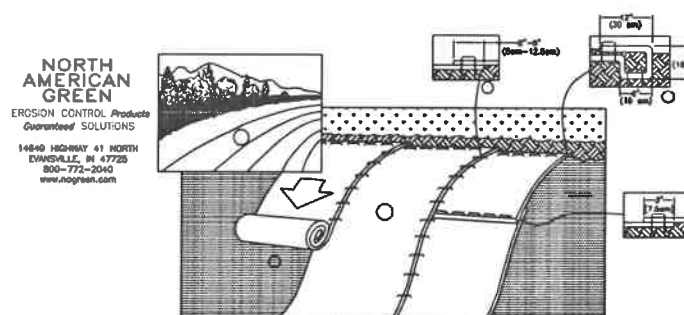
1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BEHIND THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIRS AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENTS. ALL SEDIMENTS SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

MAINTENANCE NOTES:

1. MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE.
2. COMPLETE REPLACEMENT IF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
3. IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE.
4. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.

NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND TOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

EROSION CONTROL BLANKET DETAIL

NOT TO SCALE

GENERAL MAINTENANCE OF TEMPORARY EROSION CONTROL STRUCTURES:

1. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS OF ANY STORM EVENT OF 0.5 INCHES OR GREATER.
2. ALL DAMAGED STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
3. ALL DEBRIS, OBSTRUCTIONS AND SEDIMENT SHALL BE REMOVED AS NEEDED TO MAINTAIN PROPER PERFORMANCE. SEDIMENT AND DEBRIS SHALL BE DISPOSED OF PROPERLY IN APPROVED LOCATIONS.
4. ALL VEGETATION SHALL BE INSPECTED AND MAINTAINED AS DESIGNED. SEED AND FERTILIZER SHALL BE RE-APPLIED AS NEEDED.
5. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND INITIAL VEGETATIVE GROWTH IS ESTABLISHED.

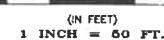
TEMPORARY MEASURES:

1. SILT FENCE
 - A. SEE DETAIL FOR MAINTENANCE NOTES.
2. HAY BALES
 - A. SEE DETAIL FOR MAINTENANCE NOTES.
3. STABILIZED CONSTRUCTION ENTRANCE
 - A. SEE DETAIL FOR MAINTENANCE NOTES.
4. EROSION CONTROL BLANKETS
 - A. SEE DETAIL FOR MAINTENANCE NOTES.

EROSION AND SEDIMENTATION CONTROL DETAILS

ENGLAND ROAD
ROCHESTER, N.H.

FOR
MARK PHILLIPS
SCALE: AS SHOWN DEC. 2007



SCALE: 1"=50' HORIZ.
1"=10' VERT.

SCALE: AS SHOWN DEC. 2007