



PLANNING & DEVELOPMENT DEPARTMENT

City Hall - Second Floor

31 Wakefield Street

Rochester, New Hampshire 03867-1917

(603) 335-1338 - Fax (603) 335-7585

Web Site: www.rochesternh.net

Planning & Zoning
Community Development
Conservation Commission
Historic District Commission
Arts & Culture Commission

APPLICATION FOR A VARIANCE

TO: BOARD OF ADJUSTMENT
CITY OF ROCHESTER

Phone No 603-340-2541

DO NOT WRITE IN THIS SPACE

CASE NO. 2013-04

DATE FILED 1-22-13

ZONING BOARD CLERK C. Lewis

Name of applicant Herbert Electric - Mark Murphy

JAN 22 2013

Address _____

Owner of property concerned Dick's Realty, Inc.
(If the same as applicant, write "same")

Address 401 N. Main St
(If the same as applicant, write "same")

Location _____

Map No. 114 Lot No. 6 Zone B2

Description of property Poulin Auto Country Sales Lot

Proposed use or existing use affected Sign Changes Only

The undersigned hereby requests a variance to the terms of Article 42,
Section 8 and asked that said terms be waived to permit Move wall signs
than allowed.

If applicable in this case, the undersigned also requests a waiver from the requirement to
provide a certified plot plan, (see attached request sheet) Yes X No _____

The undersigned alleges that the following circumstances exist which prevent the proper
enjoyment of his land under the strict terms of the Zoning Ordinance and thus constitute
grounds for a variance.

Signed _____

(Applicant)

Continue on Page 2

CRITERIA FOR VARIANCE

Case # _____

Date: Jan 22 2013

A Variance is requested by Dick's Realty, Inc JAN 22 2013

from Section 42 Subsection 8

of the Zoning Ordinance to permit: More Wall Signs than allowed

at 410 N. Main St Map 114 Lot 6 Zone B2

Facts supporting this request:

1) The proposed use would not diminish surrounding property values because:

Surrounding Properties are all commercial, and
Proposed signs are consistent with other signage in the area.

2) Granting the variance is not contrary to the public interest because: _____

Proposed signs will allow the public to more
easily identify and locate the business

3.) Denial of the variance would result in unnecessary hardship to the owner because of the following special circumstances of the property: Lack of Visibility

to traffic in both directions due to angle of
building to the street and curvature of the street.

4.) Granting the variance would do substantial justice because: Reduced visibility can

create confusion as to location and nature of business + loss
of business. Other businesses in the area have multiple wall signs as well.

5.) The use is not contrary to the spirit of the ordinance because: Total Sign

Square Footage is less than maximum allowed,

Name Mark L. Murphy Date: 1/22/13

APPLICATION FOR VARIANCE

JAN 22 2013

Submitted by: Mark Murphy of Herbert Electric

Phone: 603-340-2541

ON BEHALF OF: Dick's Realty, INC. (Poulin Automotive)

Subject Property: 401 N Main St

Map 114 Lot 6 Zone B2

Narrative:

Dick's Realty (Poulin Automotive) is requesting a variance from the Sign portion of the Rochester Zoning Ordinance to allow more wall signs than permitted.

The overall square footage of the signs being requested is less than the allowed square footage according to the formula (street side building frontage) x 5 = (allowed square footage). The sign package is in keeping with the neighborhood, which consists of commercial properties, and in keeping with the spirit of the ordinance and is an attractive, modern sign package.

Details on all signs, as well as photo's depicting before and after, are included.

There are no proposed changes to the existing onsite structures that affect setbacks.

Mark Murphy

Herbert Electric (authorized agent of Dick's Realty INC)

JAN 22 2013



CHRYSLER

DODGE

Jeep

RAM

RECOMMENDATION DETAIL

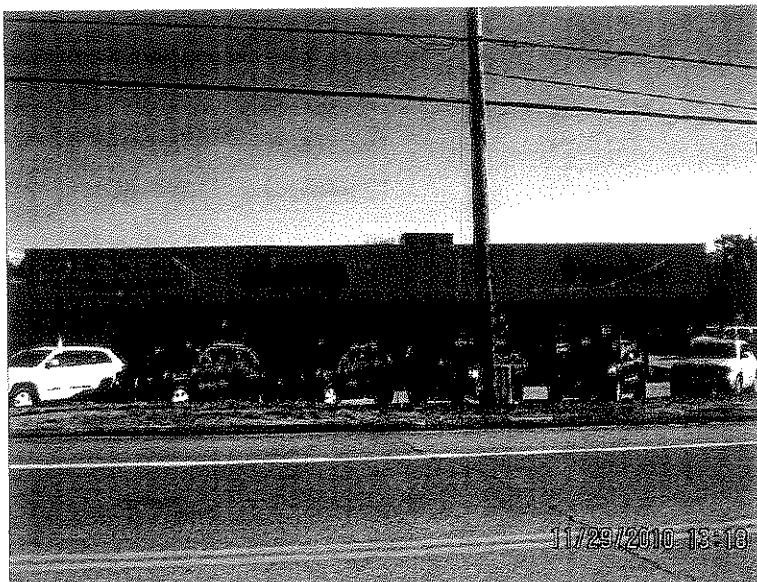
N-01

EXISTING

Sign Text / Description

No Existing Sign

Height	Width	Depth
N/A	N/A	N/A
Letter Height	Height Off Ground	
N/A	N/A	
Face Material	Sign Material	
N/A	N/A	
Visible Opening	Retainer Size	
N/A	N/A	
Surface Material	Surface Color	
N/A	N/A	
Illuminated	Illumination Type	
N/A	N/A	
Double Face	Mount	
N/A	N/A	



Inventory Comments

Photo represents existing site conditions.

PROPOSED

Recommended Action

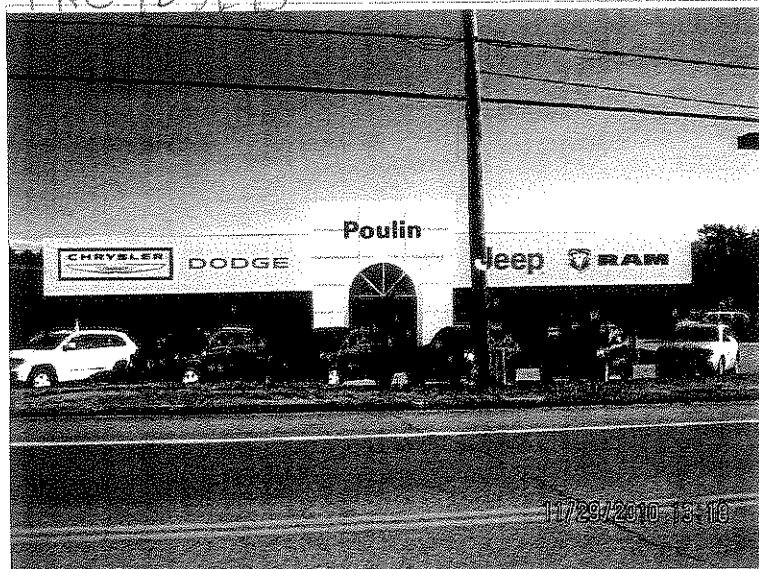
New Sign

Recommended Sign

- 12 Series Chrysler Badge
- 12 Series Dodge Badge
- 12 Series Jeep Badge
- 12 Series Ram Badge
- 24" Dealer Name Letters

Wall Repair Action

Dealer responsible for painting
building Benjamin Moore
Pelican Gray 1612.



Recommendation Comments

Dealer to provide a minimum 3/4" plywood backing behind signs and primary electrical at point of installation. Dealer to provide a minimum 2'x2' access panel at each sign location. Principle will install new Dealer Name Letters, Chrysler, Dodge, Jeep, and Ram Badges, and make final electrical connection.



DODGE

Jeep



RECOMMENDATION DETAIL

N-02

EXISTING

Sign Text / Description

No Existing Sign

Height	Width	Depth
N/A	N/A	N/A
Letter Height	Height Off Ground	
N/A	N/A	
Face Material	Sign Material	
N/A	N/A	
Visible Opening	Retainer Size	
N/A	N/A	
Surface Material	Surface Color	
N/A	N/A	
Illuminated	Illumination Type	
N/A	N/A	
Double Face	Mount	
N/A	N/A	



Inventory Comments

Photo represents existing site conditions.

PROPOSED

Recommended Action

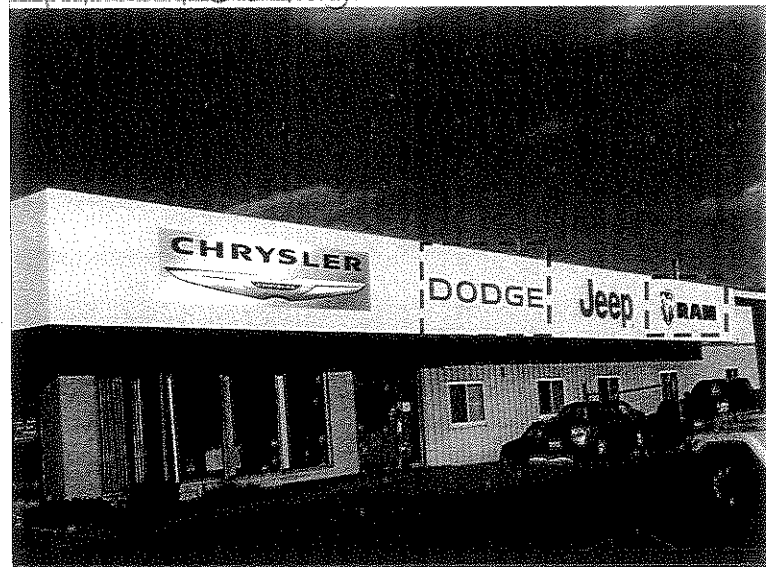
New Sign

Recommended Sign

17 Series Dodge Badge
17 Series Ram Badge

Wall Repair Action

Dealer responsible for painting
building Benjamin Moore
Pelican Gray 1612.



Recommendation Comments

Dealer to provide a minimum 3/4" plywood backing behind signs and primary electrical at point of installation. Dealer to provide a minimum 2'x2' access panel at each sign location. Principle will install new Dodge and Ram Badges, and make final electrical connection.

INVENTORY

RECOMMENDATION

CHRYSLER

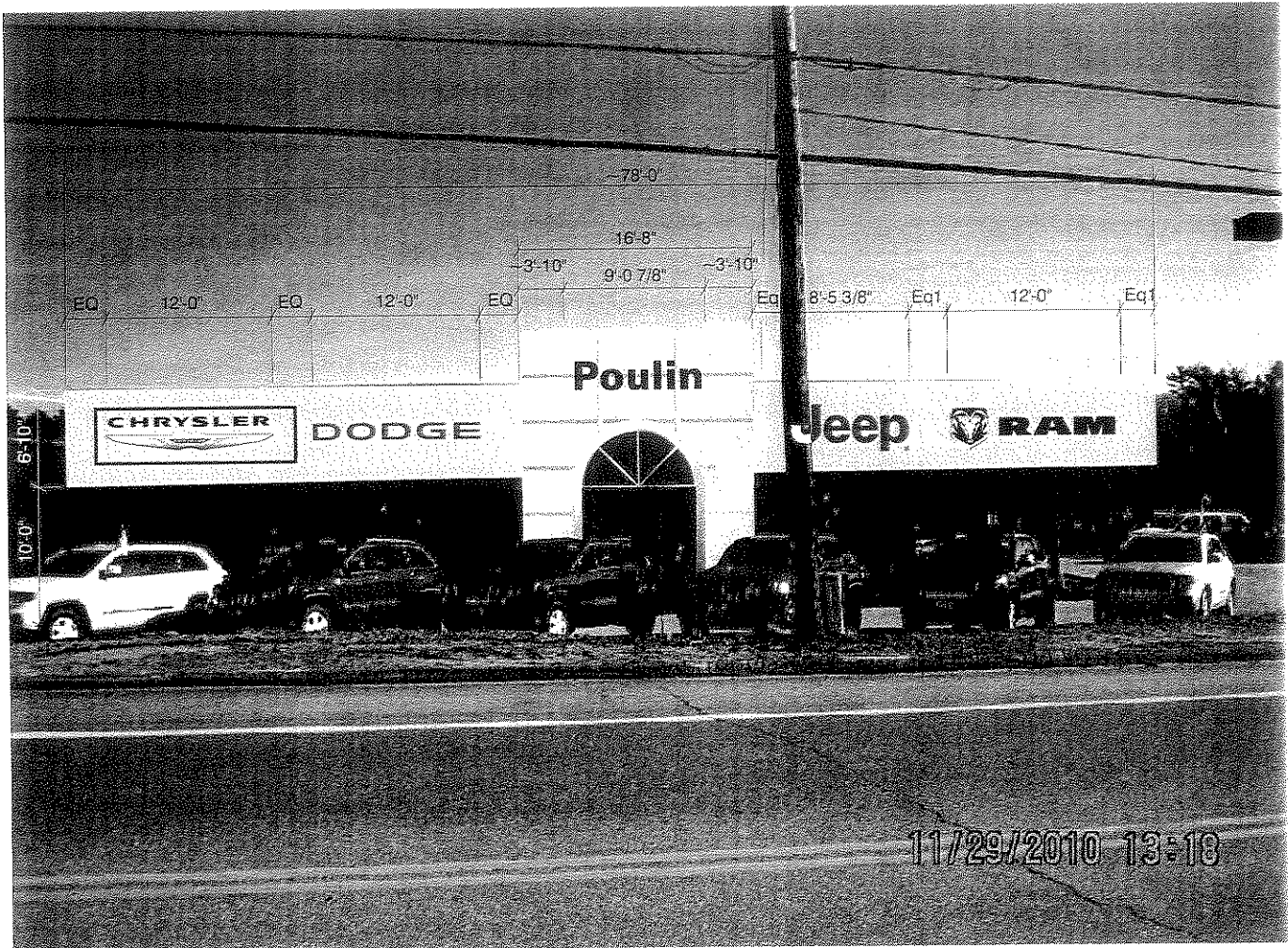
DODGE

Jeep

RAM

ELEVATIONS

JAN 22 2013



Tower to be centered over door. Exact location of door and width of building needs to be verified in order to center badges and tower.
Available wall area to be field verified prior to installation.

CHRYSLER

DODGE

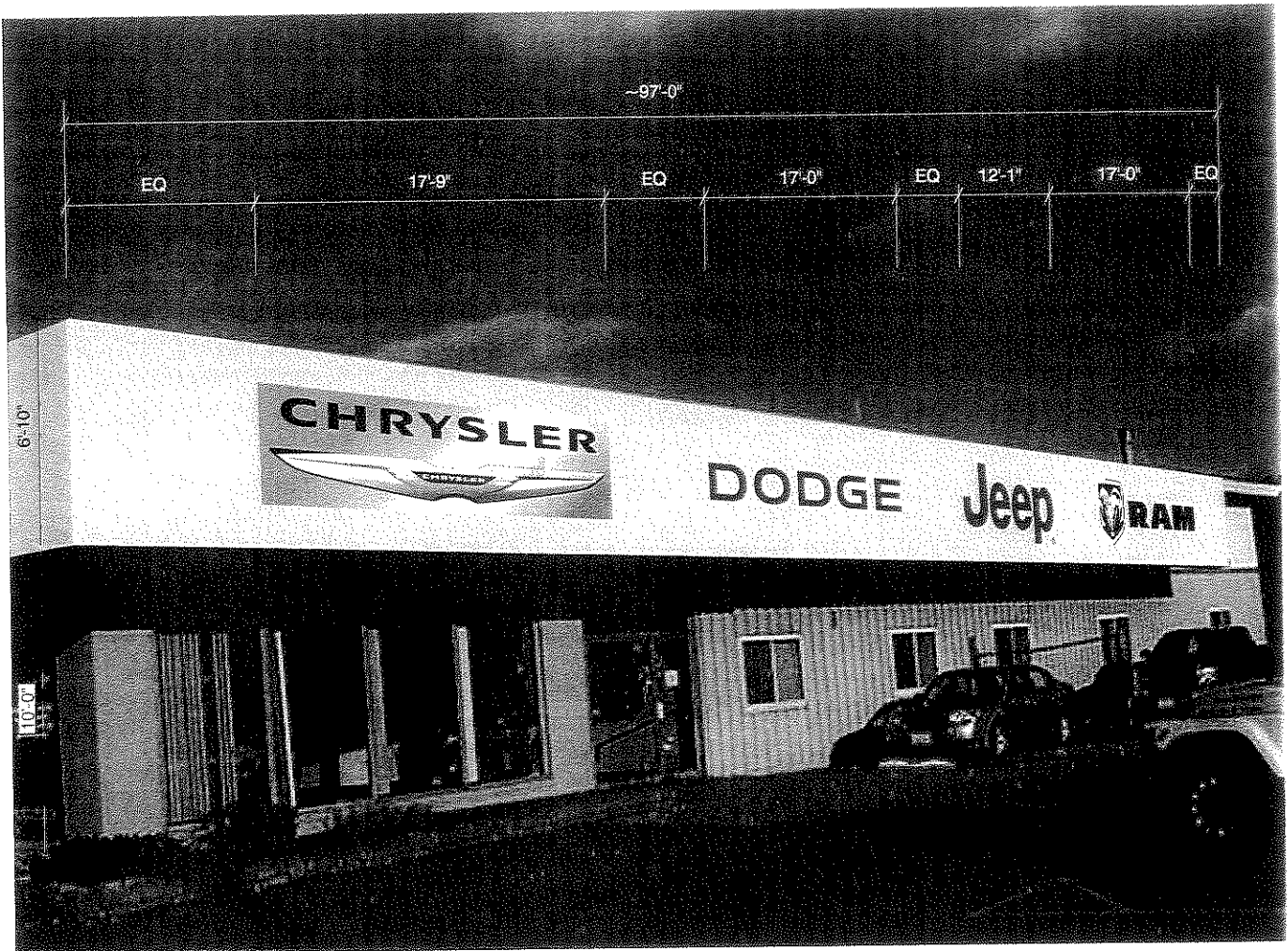
Jeep

RAM

ELEVATIONS

RF L

JAN 22 2013

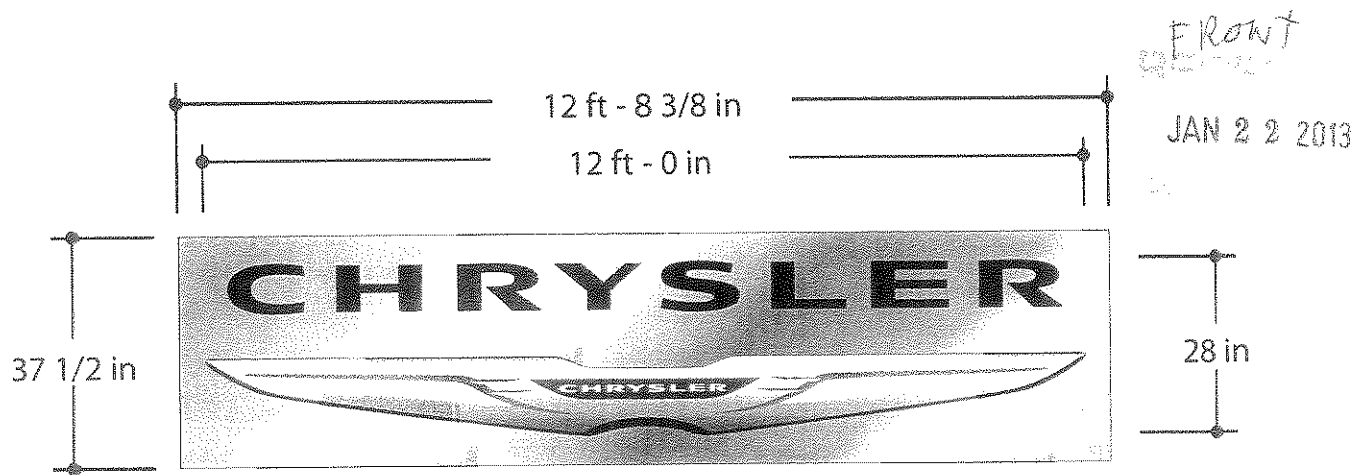


Wall signs to be centered and equally spaced in available area.
Available wall area to be field verified prior to installation.



DODGE

Jeep



12' SERIES CHRYSLER

SQUARE FOOTAGE

- 39.15 ft²

MANUFACTURING DETAILS

- ALUMINUM CABINET AND FACE, 5" TOTAL DEPTH, PAINTED SILVER
- CLEAR ACRYLIC WING PUSHED THRU CABINET FACE
w/ 1ST SURFACE PRINT
- CLEAR ACRYLIC "CHRYSLER" LETTERS PUSHED THRU CABINET FACE
w/ 1ST SURFACE BLACK VINYL
- FLUORESCENT INTERNAL ILLUMINATION
- (3) F72T12 / DAYLIGHT / HIGH OUTPUT FLUORESCENT LAMPS
- (3) F84T12 / DAYLIGHT / HIGH OUTPUT FLUORESCENT LAMPS
- (1) EESB-1048-26L, 2.5 amps @ 120V Advance Ballast

COLORS

BLACK  PROCESS BLACK
BLUE  PMS 287
SILVER

principle

Signs • Graphics • Interiors • Secure Environments • Maintenance • Consulting
2050 Lakeside Centre Way, Knoxville, TN 37922, USA
1 877 692 4056 • Fax 865 692 4104 • www.principle-group.us.com

Client: Chrysler	Drawing Number:
Project: 12 Series CHRYSLER	Drawn By: Jimmy Dilute
Title: Chrysler 12 Series Wall Badges	Checked By:
	Date: 13 MAY 2010
	Revision:
	Scale: FTP
	Page: 1 of 1

All fixings to be determined
on site by site basis

Final connections to be made by
Certified Electrical contractor on site

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BRAND
IMPLEMENTERS



DODGE

Jeep

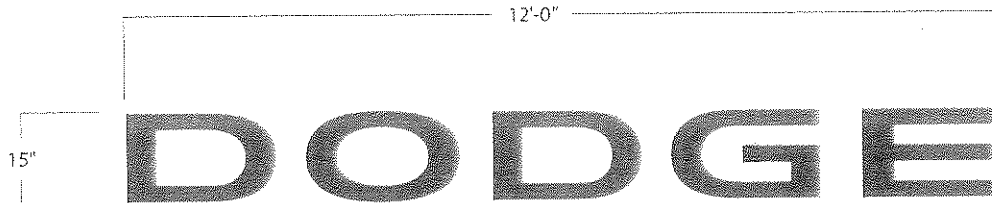


SIGN DETAIL

**12 SERIES DODGE
WALL BADGE**

FRONT

JAN 22 2013



12 SERIES DODGE

Square Footage

* 15.0 ft²

Manufacturing Details

- * 5" deep aluminum cabinets, silver returns
- * White acrylic faces w/ 1st surface red vinyl leaving 1/8" white perimeter
- * LED internal illumination, Agilight TuffRayz LEDs
- * 1-60 W - 0.63 amps Advance Ballast

Colors

Red  PMS 485
White
Silver

CHRYSLER

DODGE

Jeep

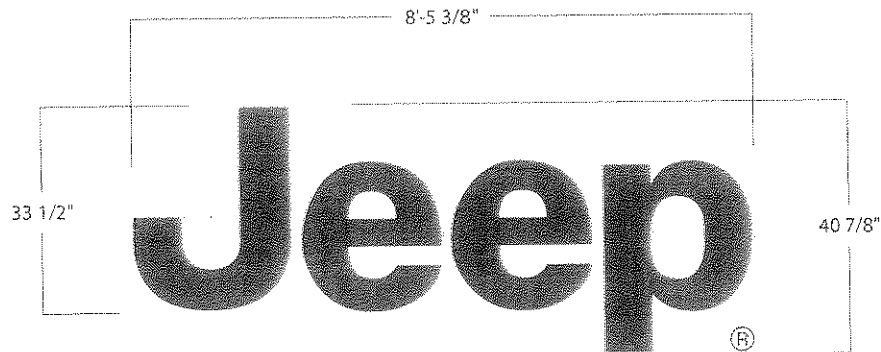
RAM

SIGN DETAIL

12 SERIES JEEP WALL BADGE

FRONT

JAN 22 2013



12 SERIES JEEP

Square Footage

• 28.73 ft²

Manufacturing Details

- 5" deep aluminum cabinets, silver returns
- White acrylic faces w/ 1st surface green vinyl leaving 1/8" white perimeter
- LED internal illumination, Agilight TuffRayz LEDs
- 1-60 W - 0.63 amps Advance Ballast

Colors

Green  PMS 371
White
Silver

CHRYSLER

DODGE

Jeep

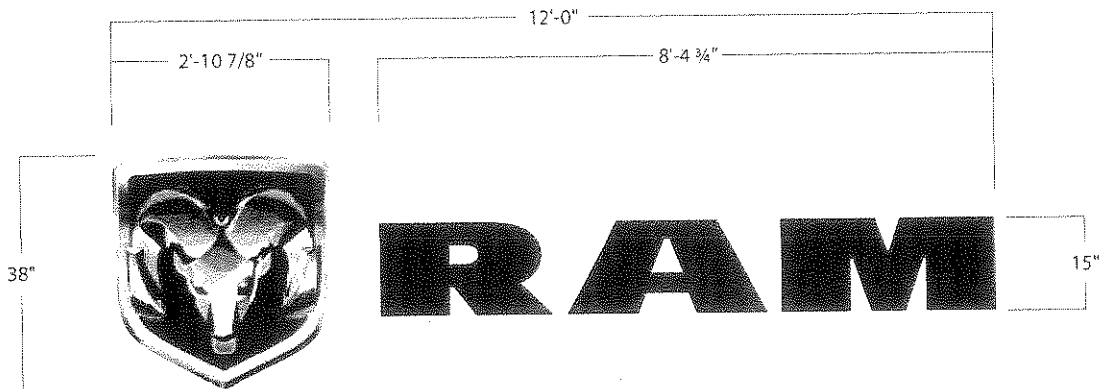
RAM

SIGN DETAIL

12 SERIES RAM WALL BADGE

FRONT

JAN 22 2013



12 SERIES RAM BADGE

Square Footage

≈ 10 ft²

Manufacturing Details

- 5" deep aluminum cabinets, black returns
- Formed prismatic acrylic face w/ 1st surface mirror finish & 2nd surface vinyl details

Illumination

- LED internal illumination, Ventex VenBrite VL-W100
- (2) VLP100-120 LED Driver-0.50 Amps

Colors

Black ■ Process Black
Silver

12 SERIES RAM LETTERS

Square Footage

≈ 10.5 ft²

Manufacturing Details

- 5" deep aluminum cabinets, black returns
- White acrylic faces w/ 1st surface black perforated vinyl leaving 1/8" white perimeter

Illumination

- LED internal illumination, Ventex VenBrite VL-W100
- (2) VLP100-120 LED Driver-0.50 Amps

Colors

Black ■ Process Black
Silver

CHRYSLER

DODGE

Jeep

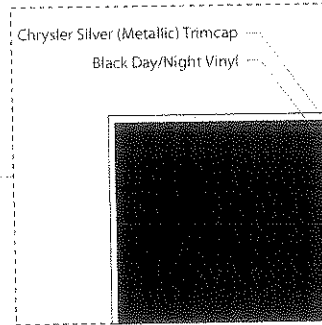
RAM

SIGN DETAIL

24" DEALER NAME
LETTERS

FRONT

JAN 22 2013



24" Poulin
9'-0 7/8"

24" LETTERSET

Square Footage

18.5 ft²

Usage

- Chrysler and Jeep Only Dealerships
- Any combination of Chrysler, Dodge, Jeep and Ram

Description

- Construction: Channel Letters w/ Plex. Face
- Color: Black

Electrical

- LED Illumination



DODGE

Jeep

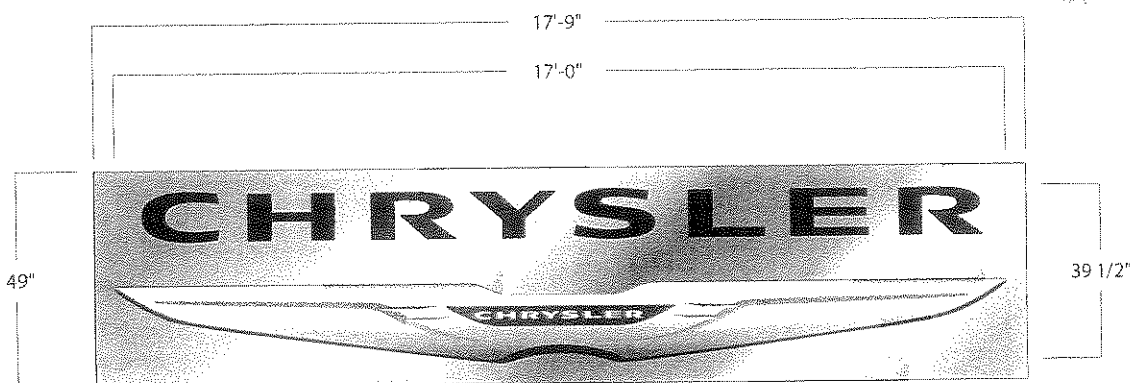


SIGN DETAIL

17 SERIES CHRYSLER WALL BADGE

SIDE

JAN 22 2013



17 SERIES CHRYSLER

Square Footage

72.48 ft²

Manufacturing Details

- ✦ Aluminum cabinet and face, 5" total depth, painted silver
- ✦ Clear acrylic wing pushed thru cabinet face w/ 1st surface print
- ✦ Clear acrylic "CHRYSLER" letters pushed thru cabinet face w/ 1st surface black vinyl
- ✦ Fluorescent internal illumination
 - (12) F72T12 / Daylight / High Output Fluorescent Lamps
 - (2) EESB-1048-26L, 5.0 amps at 120V Advance Ballasts

Colors

Black Process Black
 Blue PMS 287
 Silver

CHRYSLER

DODGE

Jeep

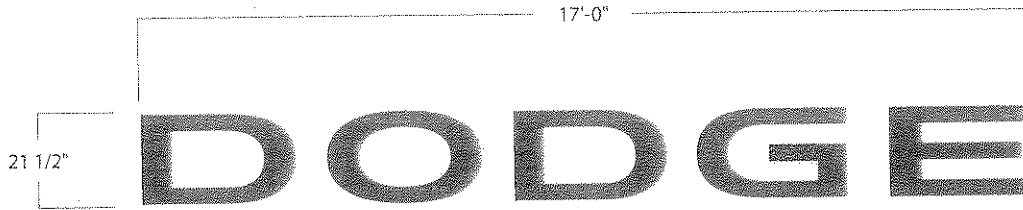
RAM

SIGN DETAIL

**17 SERIES DODGE
WALL BADGE**

SIDE

JAN 22 2013



17 SERIES DODGE

Square Footage

30.5 ft²

Manufacturing Details

- 5" deep aluminum cabinets, silver returns
- White acrylic faces w/ 1st surface red vinyl leaving 1/8" white perimeter
- LED internal illumination, Agilight TuffRayz LED's
- 1-60 W - 0.63 amps Advance Ballast

Colors

Red  PMS 485
White
Silver

CHRYSLER

DODGE

Jeep

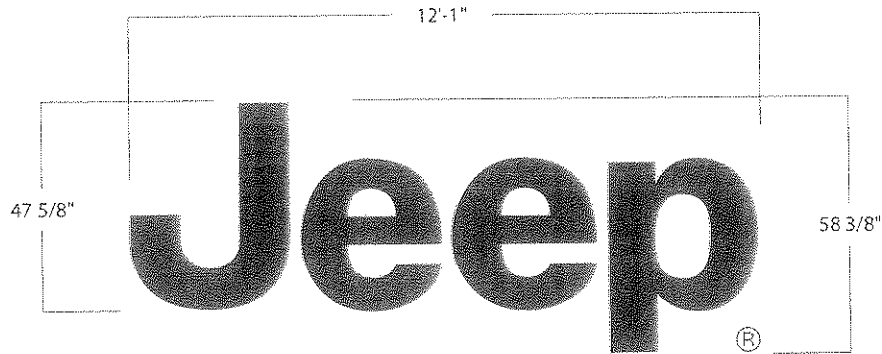
RAM

SIGN DETAIL

**17 SERIES JEEP
WALL BADGE**

SIDE

JAN 22 2013



17 SERIES JEEP

Square Footage

• 58.78 ft²

Manufacturing Details

- 5" deep aluminum cabinets, silver returns
- White acrylic faces w/ 1st surface green vinyl leaving 1/8" white perimeter
- LED internal illumination, Agilight TuffRayz LEDs
- 2-60 W - 1.26 amps Advance Ballast

Colors

Green PMS 371
White
Silver



DODGE

Jeep

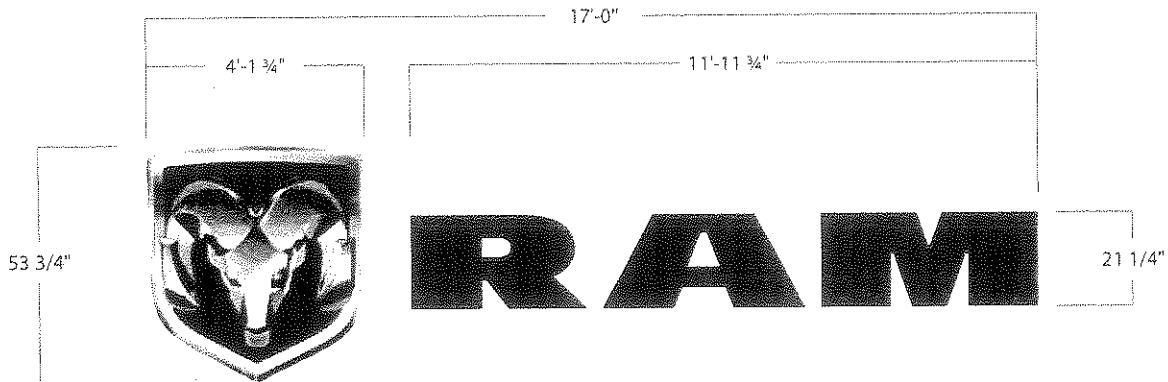


SIGN DETAIL

17 SERIES RAM WALL BADGE

SIPE

JAN 22 2013



17 SERIES RAM BADGE

Square Footage

≈ 19.5 ft²

Manufacturing Details

- ≈ 5" deep aluminum cabinets, black returns
- ≈ Formed prismatic acrylic face w/ 1st surface mirror finish & 2nd surface vinyl details

Illumination

- ≈ LED internal illumination, Ventex VenBrite VL-W100
- ≈ (3) VLP100-120 LED Driver-0.50 Amps

Colors

Black ■ Process Black
Silver

17 SERIES RAM LETTERS

Square Footage

≈ 21.2 ft²

Manufacturing Details

- ≈ 5" deep aluminum cabinets, black returns
- ≈ White acrylic faces w/ 1st surface black perforated vinyl leaving 1/8" white perimeter

Illumination

- ≈ LED internal illumination, Ventex VenBrite VL-W100
- ≈ (3) VLP100-120 LED Driver-0.50 Amps

Colors

Black ■ Process Black
Silver



DODGE

Jeep

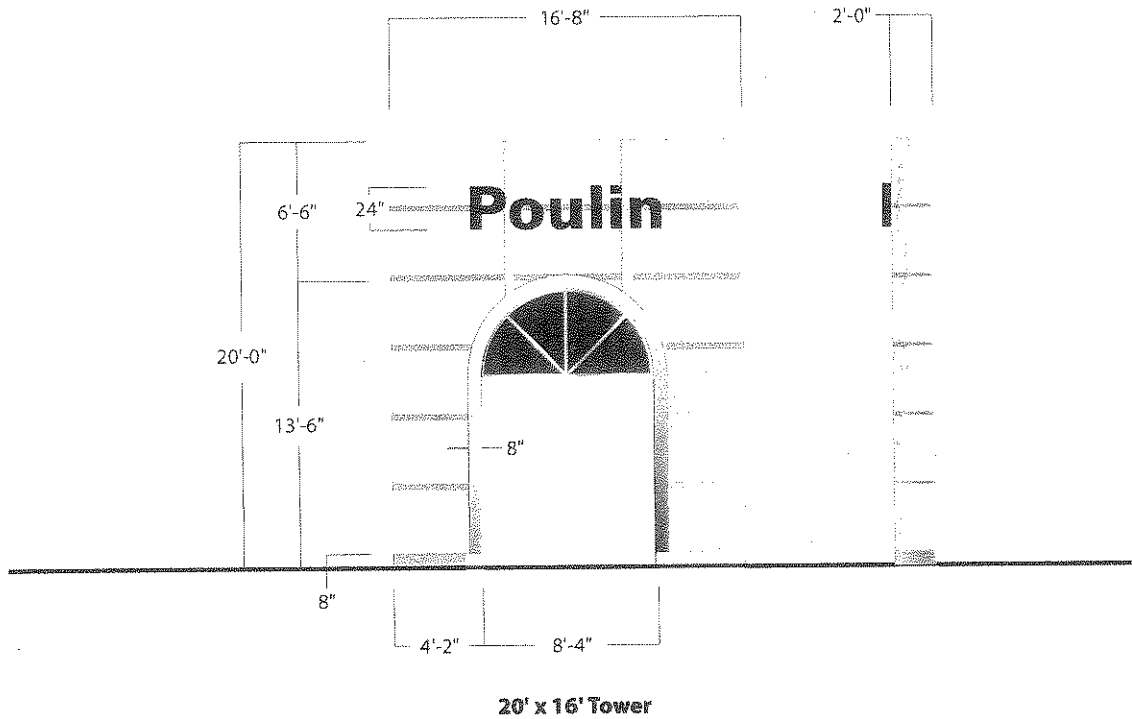


SIGN DETAIL

20' CHRYSLER TOWER

FRONT

JAN 22 2013



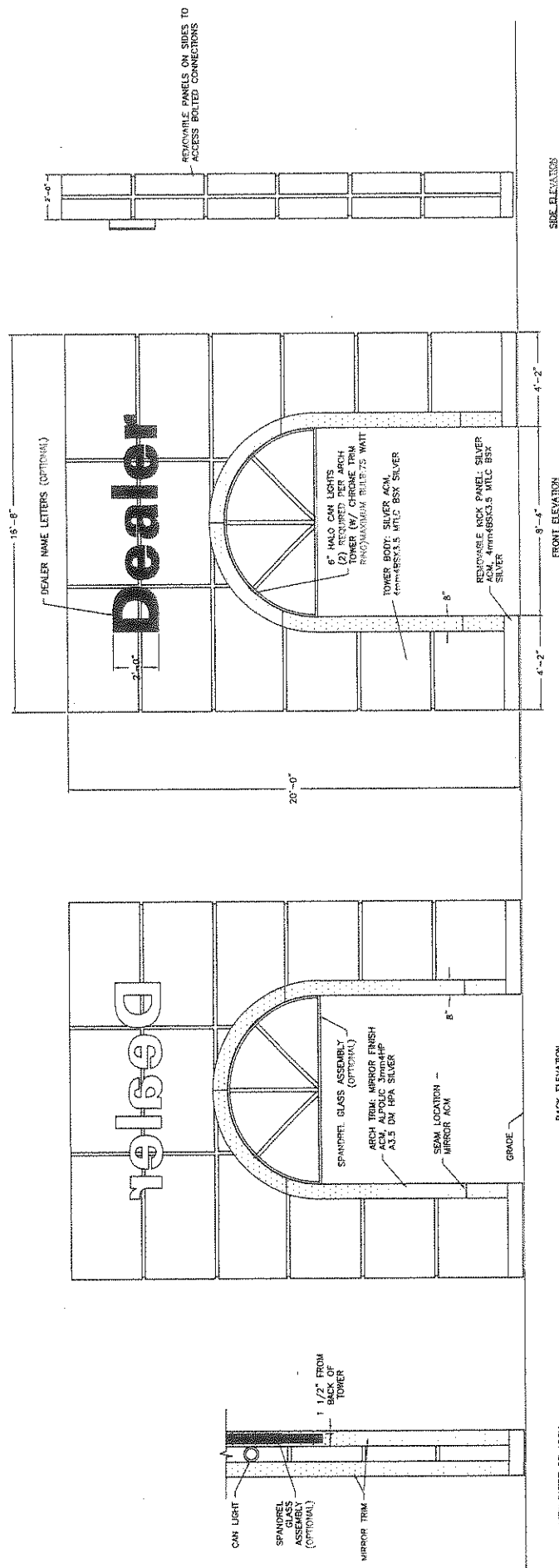
FOUNDATION SPECIFICATION (SEE:)

LOCATION _____
 ADDRESS _____
 CITY _____

USE OR REUSE OF THIS DOCUMENT FOR OTHER LOCATIONS IS
 STRICTLY PROHIBITED WITHOUT APPROVAL OF ENGINEER.
 THIS DOCUMENT IS FOR THE EXCLUSIVE USE OF THE
 ARCH TOWER 20' X 16' (90 MPH)
 WIND LOAD: 30 MPH 3 SECOND GUST, EXPOSURE "C" 2008 INTERNATIONAL BUILDING CODE

SOME PARTS LIST: ITEMS PROVIDED TO ERECT TOWER

- QTY 1 - LEFT VERTICAL LEG SECTION
- QTY 1 - RIGHT VERTICAL LEG SECTION
- QTY 1 - TOP SECTION WITH DOWN LIGHTING (LED DEALER NAME LETTERS OPTIONAL)
- QTY 1 - REVEAL SECTIONS TO COVER ACCESS PANEL SCREWS
- QTY 1 - PVC DRAIN PIPE
- QTY 12 - ANCHOR BOLTS (SHIPS PRIOR TO TOWER TO PREPARE FOUNDATION)
- QTY 1 - POLYCARBONATE POLYESTER PATTERN WITH ANCHOR BOLT LAYOUT (SHIPS PRIOR TO TOWER TO PREPARE SHOP MANUFACTURED ANCHOR BOLT JO)



CHRYSLER INSTALL: 20' X 16' (90 MPH) ARCH TOWER

Principle USA Inc.
 2060 Lakeside Centre Way
 Knoxville, TN 37922
 Main: 865.692.4058
 Toll-free: 877.692.4058
 www.principleglobal.com

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Revised	Date	Initials	Description of change
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principle
 Drawing By: KDM Date: 6-25-10
 Description: ARCH TOWER - 20' X 16' (90 MPH)
 Customer: CHRYSLER
 SM 1 of 2 Drawing: C091116

TECHNICAL NOTES

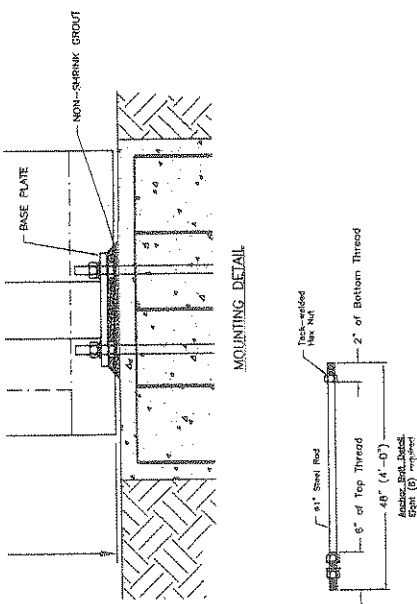
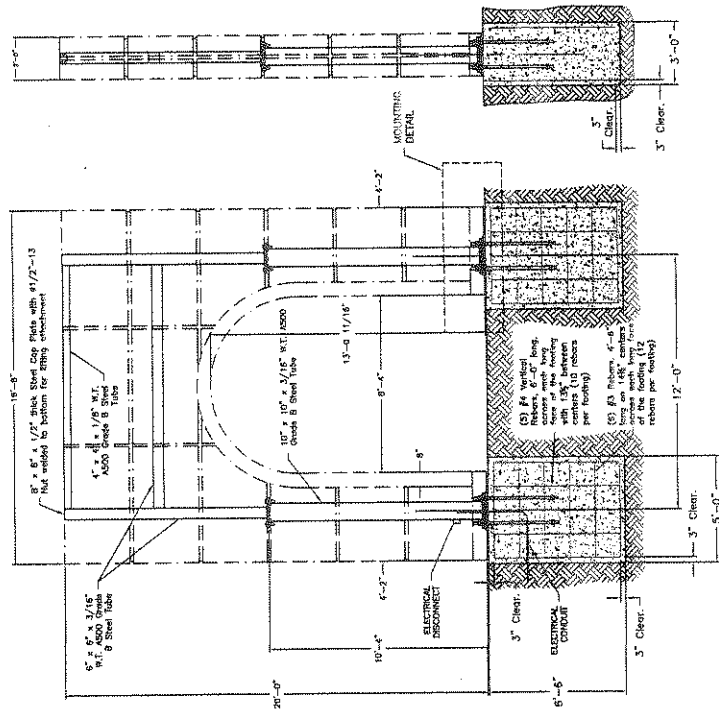
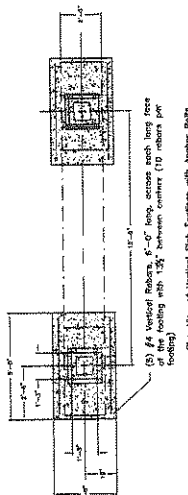
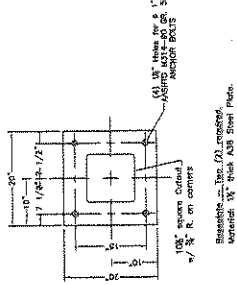
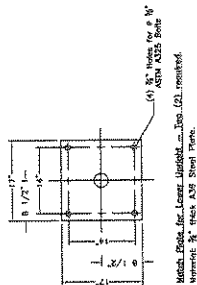
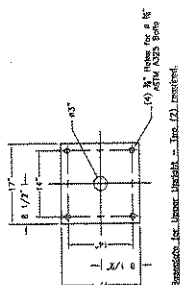
- ELECTRICAL NOTES:**
- (1) DEDICATED 20 AMP CONDUIT STUD.
 - (2) SITE SHOULD BE PREPARED WITH ALL APPLICABLE LOCAL CODES.
 - (3) INSTALLER SHOULD RUN ALL WIRING ACCORDING TO NEC AND ALL APPLICABLE LOCAL CODES.
- FOUNDATIONS DESIGN NOTES:**
- (1) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - (2) REINFORCING BARS SHALL BE ASTM A615 GRADE #6 STEELS.
 - (3) CONCRETE BASE WAS DESIGNED FOR A LIVE LOAD OF 2,000 PSF STATIC.
 - (4) THE EXISTING SOIL HAS AN UNWEIGHTED AVERAGE UNIT WEIGHT OF 120 PCF, A PER FOOT OF DEPTH LATERAL F. THESE SOIL CONDITIONS ARE ASSUMED TO BE CONSISTENT THROUGHOUT THE ENTIRE PROJECT AREA.
 - (5) IT IS THE EROCTOR'S RESPONSIBILITY TO HAVE A FEEL TEST BASE DESIGNED FOR THE EXISTING SOIL CONDITIONS.
 - (6) THE EROCTOR'S RESPONSIBILITY TO OBTAIN NECESSARY GEOTECHNICAL DATA FROM THE GEOLOGICAL ENGINEER.
 - (7) THE FACTOR OF SAFETY AGAINST OVERTURNING IS 1.5 OR GREATER.
 - (8) THE FACTOR OF SAFETY AGAINST SLIDING IS 1.5 OR GREATER.
 - (9) THE FACTOR OF SAFETY AGAINST UPLIFTING IS ASHSTD SPECIFICATIONS.

INSTALLATION INSTRUCTIONS

INSTALLATION INSTRUCTIONS:
NOTE: USE EXTREME CARE NOT TO SCRATCH WROUGHT OR SILVER ACM
1) PREPARE JIG TO POSITION ANCHOR BOLTS PRIOR TO GOING TO SITE.
2) PREPARE FOUNDATION. INSTALL ANCHOR BOLTS. STUB OUT ELECTRICAL AT BASE OF LEFT OR RIGHT TOWER. NOTIFY PRINCIPLE OF THE PROJECT. TOWER SECTIONS FOR DAMAGE UPON DELIVERY.

- 1) PLACE JOUKEYING NUTS ON ALL ANCHOR BOLTS.
- 2) REMOVE KICK PANELS FROM BOTTOM OF TOWER LEGS
- 3) REMOVE KICK PANELS FROM TOP OF TOWER LEGS
- 4) PLACE JOUKEYING NUTS ON ALL ANCHOR BOLTS.
- 5) LIFT TOWER LEG WITH CRANE ONTO ANCHOR BOLTS.
- 6) REMOVE KICK PANELS FROM TOP OF TOWER LEG.
- 7) REMOVE ACCESS PANELS FROM SIDES OF UPPER TOWER SECTION.
- 8) REMOVE ACCESS PANELS FROM SIDES OF LOWER TOWER SECTION.
- 9) FIND ELECTRICAL CONNECTION INSIDE UPPER TOWER SECTION AND DROP IT DOWN TO ELECTRICAL CONNECTION AT FOUNDATION.
- 10) LIFT UPPER TOWER SECTION WITH CRANE ONTO TOWER LEGS
- 11) REMOVE KICK PANELS FROM BOTTOM OF TOWER LEGS
- 12) REMOVE ACCESS PANELS FROM SIDES OF LOWER TOWER SECTION.
- 13) CONNECT UPPER AND LOWER PVC DRAIN PIPES
- 14) MAKE ELECTRICAL CONNECTIONS AND TEST LIGHT. ALL WIRING MUST COMPLY WITH NEC AND ALL OTHER APPLICABLE LOCAL CODES.
- 15) TIGHTEN ANCHOR BOLTS.
- 16) APPLY KICK PANELS AND JOINTS BETWEEN BASE PLATES AND FOUNDATIONS.
- 17) APPLY ACCESS PANEL COVERS AND KICK PANELS
- 18) COVER ACCESS PANEL SCREWS WITH TIGHTENED REVEAL STRIPS. ATTACH REVEAL STRIPS USING ADHESIVE SILICONE.
- 19) REMOVE LIFTING ANGLES, SILICONE & REPLACE BOLTS TO ENSURE NO WATER CAN ENTER THE TOWER.
- 20) REMOVE LIFTING ANGLES, SILICONE & REPLACE BOLTS TO ENSURE NO WATER CAN ENTER THE TOWER.
- 21) SNUG TIGHTEN ALL BOLTS. DISPOSE OF ALL DEBRIS AND CLEAN PRODUCT OF DIRT AND HAND PRINTS.

OPTIONAL. ATTACH SEAMLESS GLASS ASSEMBLY TO ARCH AREA USING PREDETERMINED MOUNTING POINTS.



WEIGHT ESTIMATES
UPPER SECTION (INCLUDING SHIPPING STANDS): _____ LBS
EACH LEG SECTION (INCLUDING SHIPPING STANDS): _____ LBS

Index

...and Continued - The Great Summit for Birds Young with Merit! Study Experiences

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ZONING BOARD CASE COMMENT SHEET

Case # 2013-04

Department of Planning & Development
Director Comments

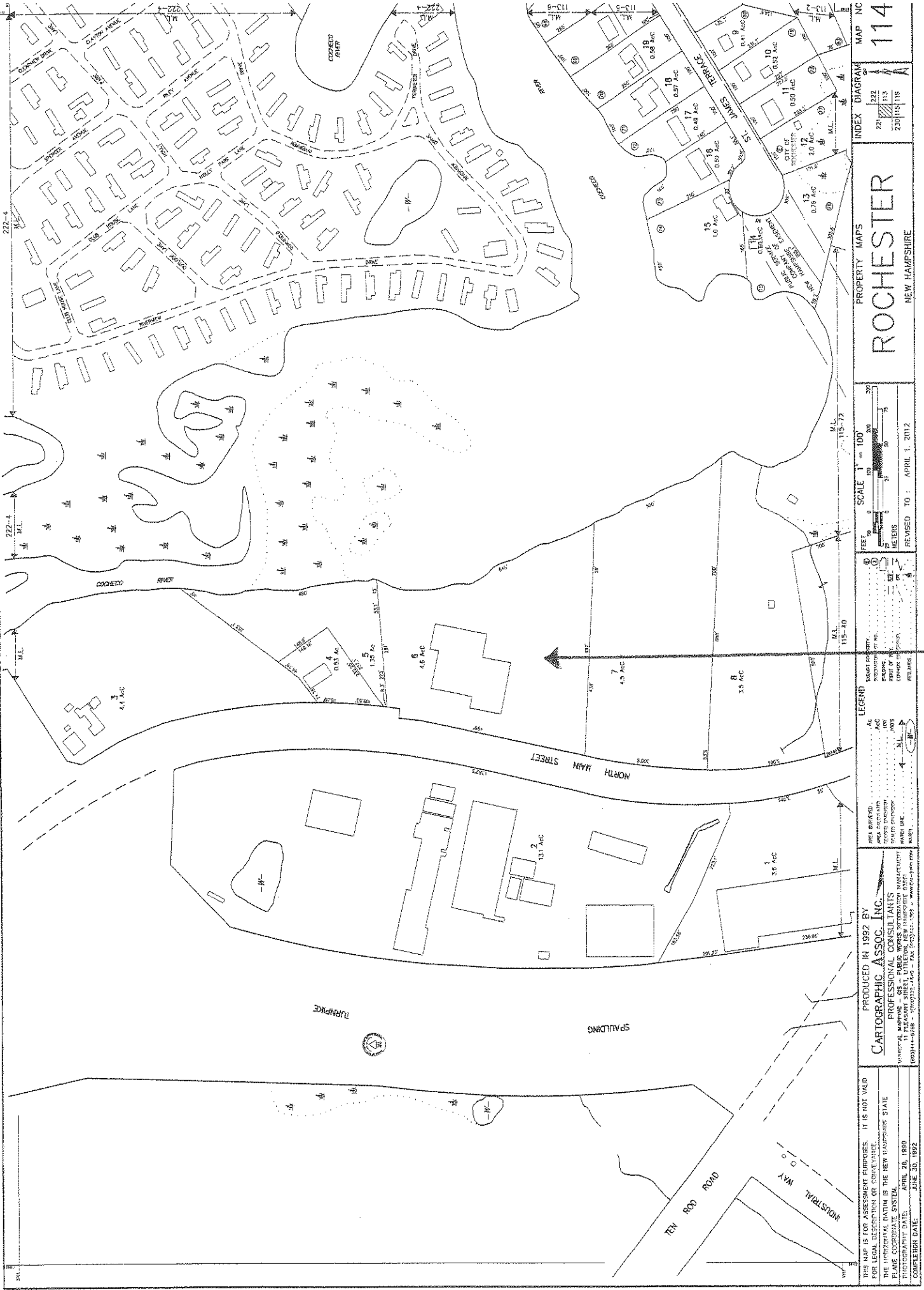
None

Signed Kutyl, et Date 1/23/13

City Manager Comments

none

Signed Dale W. Fitzgerald Date JAN 23 2013



THIS MAP IS FOR ASSESSMENT PURPOSES. IT IS NOT VALID FOR LEGAL DESCRIPTION OR CONVEYANCE.
THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM.
PHOTOGRAPHY DATE: APRIL 26, 1980
COMPLETION DATE: JUNE 30, 1992

PRODUCED IN 1992 BY
CARTOGRAPHIC ASSOC. INC.
PROFESSIONAL CONSULTANTS
11 PLEASANT STREET, LITTLETON, NEW HAMPSHIRE 03041
(603) 444-9788 • (603) 444-4400 • FAX (603) 444-9787 • www.cai-inc.com

LEGEND
• OPEN SPACE
• BUILDING
• FENCE
• WATER
• LOT
• ROAD
• RAILROAD
• COCHECO RIVER
• SPALDING TURNPIKE
• NORTH MAIN STREET
• TEN ROD ROAD
• INDUSTRIAL WAY

SCALE 1" = 100'
FEET
METERS
REVISED TO: APRIL 1, 2012

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221 113
220 115 115

PROPERTY MAPS
ROCHESTER
NEW HAMPSHIRE

Unofficial Property Record Card - Rochester, NH

General Property Data

Parcel ID	0114-0005-0000	Account Number	Z7102
Prior Parcel ID	--		
Property Owner	DICK'S REALTY INC	Property Location	401 NO MAIN ST
		Property Use	AUTO SALES
Mailing Address	P O BOX 1330	Most Recent Sale Date	10/31/1986
		Legal Reference	1266-216
City	ROCHESTER	Grantor	WYMAN CARL W & DORIS M
Mailing State	NH	Zip	03866-1330
Parcel Zoning	B2	Sale Price	450,000
		Land Area	4.600 acres

Current Property Assessment

Card 1 Value	Building Value 700,200	Yard Items Value 63,300	Land Value 393,100	Total Value 1,152,600
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Building Description

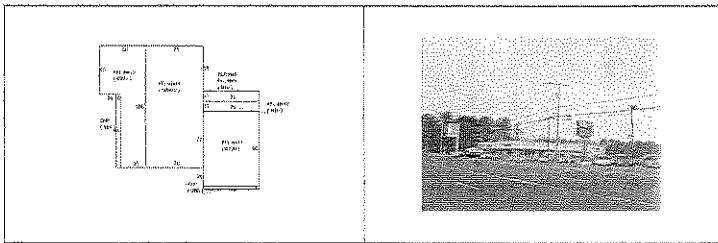
Building Style	SVC GARAGE	Foundation Type	CONCRETE	Flooring Type	AVERAGE
# of Living Units	1	Frame Type	STEEL	Basement Floor	N/A
Year Built	1962	Roof Structure	GABLE	Heating Type	UNIT HTRS
Building Grade	GOOD (-)	Roof Cover	MEMBRANE	Heating Fuel	GAS
Building Condition	Average	Siding	CORREG STL	Air Conditioning	26%
Finished Area (SF)	26662	Interior Walls	AVERAGE	# of Bsm't Garages	0
Number Rooms	0	# of Bedrooms	0	# of Full Baths	0
# of 3/4 Baths	0	# of 1/2 Baths	4	# of Other Fixtures	0

Legal Description

Narrative Description of Property

This property contains 4.600 acres of land mainly classified as AUTO SALES with a(n) SVC GARAGE style building, built about 1962 , having CORREG STL exterior and MEMBRANE roof cover, with 1 unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 4 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

City of Rochester, NH
Please Print or Type

Applicant: _____ Phone RF 550

JAN 22 2013

Project Address: _____

List the names and addresses of all parties below. For abutting lot owners, list each owner whose lot adjoins or is directly across the street or a body of water from the subject property. This form may not be completed more than five (5) days prior to the application deadline.

LEGAL OWNER OF SUBJECT LOT

Map	Lot	Zone	Owner Name	Mailing Address
114	06	B2	Dick's Realty Inc	P.O. Box 1330 Rochester 03866

ABUTTING LOT OWNERS

Map	Lot	Owner Name	Owner Mailing Address (NOT property location)
114	5	John A, Frances M, John W Mee	321 N. Main St Rochester 03867
114	4 ?	Welch Cheney Automotive	56 Exeter Rd Newmarket NH 03857
114	2	400 W. Main St LLC	541 Rte 1 Bypass Portsmouth NH 03801
114	7	Opportunity Realty of Rochester	P O Box 1330 Rochester 03866
222	4 ?	Newhaul Properties LLC	40 Lilac Dr. Rochester 03867

PROFESSIONALS AND EASEMENT HOLDERS. Engineers, Surveyors, Soil Scientists, and Architects whose seal appears or will appear on the plans (other than any agent submitting this application); holders of conservation, preservation, or agricultural easements; and upstream dam owners/NHDES.

Name of Professional or Easement Holder	Mailing Address

I, the undersigned, acknowledge that it is the responsibility of the applicant or his/her agent to fill out this form. I understand that any error or omission could affect the validity of any approval. The names and address listed on this form were obtained from the City of Rochester Assessing Office computer - Assess Pro (located in the Revenue Bldg at 19 Wakefield Street)

on this date: 1/28/13 This is page 1 of 1 pages.

Applicant or Agent: [Signature]

Planning Staff Verification: _____ Date: _____