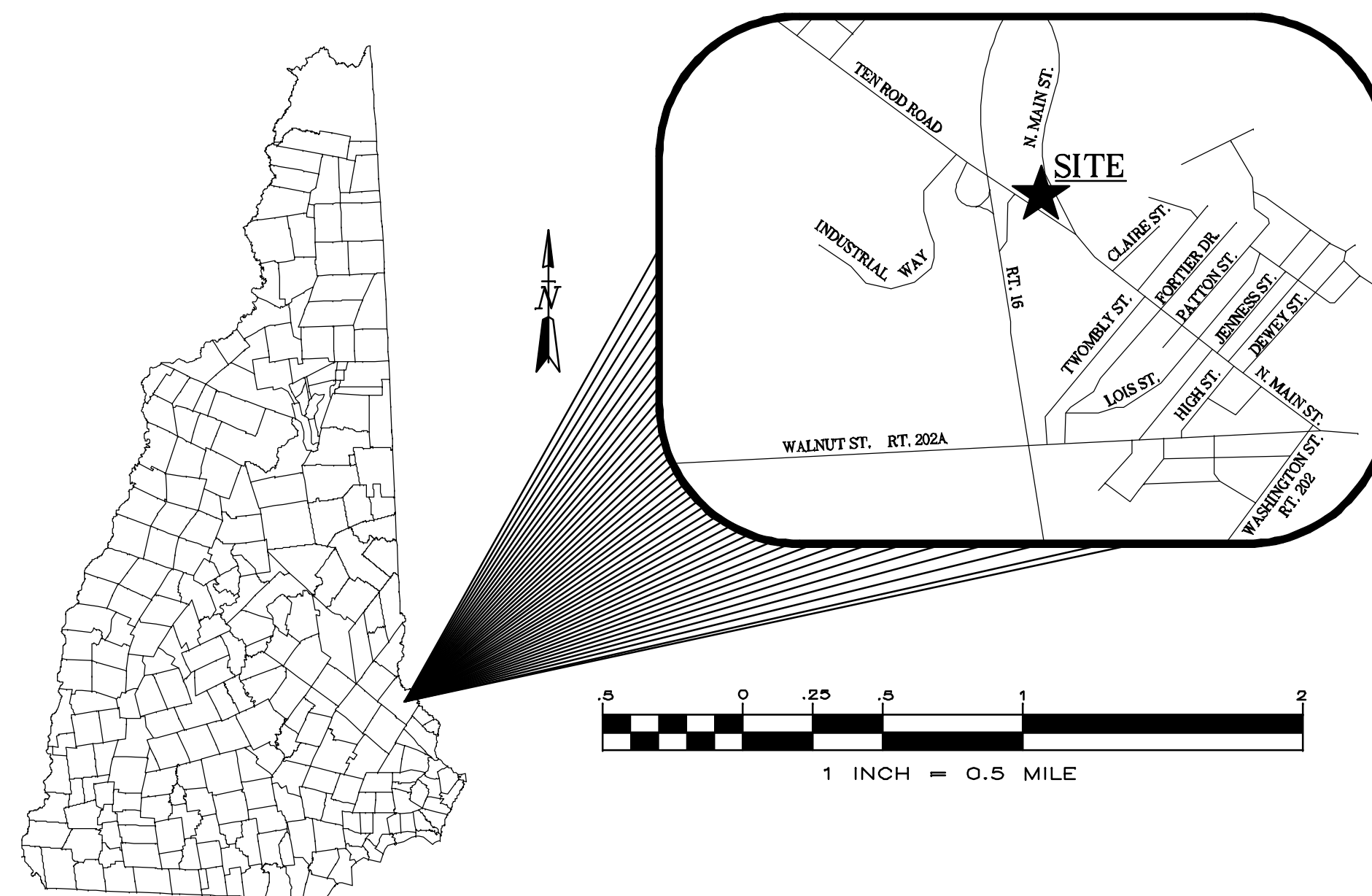


REVISIONS:

REVISED PER NHDOT COMMENT - 10/14/11
ADDED LIGHTING PLAN - 12/05/11
ADDED LANDSCAPING PLAN ADDRESSED STAFF COMMENT - 12/12/11
REVISED PER NOD - 04/26/12

SITE PLAN
NH ROUTE 11/TEN ROD ROAD
ROCHESTER, N.H.
FOR
ROCHESTERDOM, LLC
NOVEMBER 2011

SHEET INDEX

S-1	EXISTING FEATURES PLAN	1" = 20'
C-1	SITE PLAN	1" = 20'
C-2	GRADING, EROSION CONTROL & UTILITIES PLAN	1" = 20'
C-3 TO C-4	EROSION CONTROL DETAILS	AS SHOWN
C-5	DRAINAGE STRUCTURE DETAILS	AS SHOWN
C-6	CONSTRUCTION DETAILS	AS SHOWN
C-7	SITE LIGHTING PHOTOMETRIC PLAN	1" = 20'
L-1	LANDSCAPE PLAN	1" = 20'

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____

CIVIL ENGINEERS

NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3948

APPLICANT

ROCHESTERDOM, LLC C/O DAVID JENKS
100 CONIFER DRIVE, SUITE 402
DANVERS, MA 01923
(978)777-8044

PROPERTY OWNER

MELODY VIEL
633 FIRST CROWN POINT ROAD
STRAFFORD, NH 03884
(603) 332-1921

FILE NO. 141 DRAWN BY: RRL
PLAN NO. C-2604 CHK'D BY: RRL
F.B. NO. ### SCRD NO: D-###
DWG. NO. 11107/SP-1CRLSN

NORWAY PLAINS ASSOCIATES, INC.

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES OF TAX MAP 115 LOT 39.
2. TOTAL PARCEL AREA: MAP 115, LOT 39 0.56 ACRES
3. PARCEL IS ZONED: BUSINESS-2
4. THERE ARE NO JURISDICTIONAL WETLANDS ON THIS PROPERTY. IT IS CURRENTLY FULLY DEVELOPED.
5. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/05 COMMUNITY PANEL 33017002030, PANEL 203 OF 405.
6. THE LOT IS SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
7. ZONE B2 DIMENSIONAL REQUIREMENTS PER ORDINANCE AND REGULATION:

	REQUIRED
MINIMUM LOT SIZE	= NO REGULATION
MINIMUM FRONTAGE	= NO REGULATION
MAXIMUM LOT COVERAGE*	= 50%
BUILDING SETBACKS:	
FRONT YARD	= NONE REQUIRED**
SIDE YARD	= NO REGULATION**
REAR YARD	= 25'-FT
DISTANCE FROM OTHER BUILDINGS	= 6'-FT

PARKING LOT SETBACKS:	
FRONT YARD	= 15'-FT
SIDE YARD	= 10'-FT
REAR YARD	= 10'-FT

*COVERAGE IS DEFINED AS THE PERCENTAGE OF THE LOT AREA COVERED BY BUILDINGS.

**OR EQUAL TO THAT OF ADJACENT RESIDENTIAL ZONE.

***SIDE SETBACK HAS NO REGULATION UNLESS ABUTTING A RESIDENTIAL ZONE. IN THIS INSTANCE THE SIDE YARD SETBACK SHALL BE EQUAL TO THAT OF THE ABUTTING RESIDENTIAL ZONE.

8. EXISTING UTILITIES PER RECONSTRUCTION BY NHDOT VERIFICATION OF LOCATION BY NHDOT ASBUILT SUGGESTED.
9. NEAREST FIRE HYDRANT LOCATED AT SOUTHERN CORNER OF TEN ROD ROAD AND ROUTE 11 INTERSECTION.

115/33
BROOKS PROPERTIES, LLC
298 NORTH MAIN STREET
ROCHESTER, NH 03867

LEGEND

□	EXISTING GRANITE OR CONCRETE BOUND
—	EXISTING SIGN
•	EXISTING UTILITY POLE
■	EXISTING CATCH BASIN
■	EXISTING CATCH BASIN (NHDOT PLAN)
■	EXISTING DRAIN MANHOLE (NHDOT PLAN)
MON. MW-1 WELL	MONITORING WELL LOCATION
BEARING DISTANCE	EXISTING PROPERTY LINE
—	SETBACK LINE
— OHW	EXISTING OVERHEAD WIRES
---	EXISTING DRAIN LINE
---	EXISTING DRAIN LINE (NHDOT PLAN)
---	EXISTING CONTOURS

REVISIONS:

ADDED LANDSCAPING PLAN ADDRESSED STAFF COMMENT- 12/12/11
REVISED PER NOD - 04/26/12

PLANNING BOARD APPROVAL NOTES:

- A) THE TRAPEZOIDAL SHAPED PARCEL OWNED BY NHDOT SITUATED IMMEDIATELY TO THE SOUTHWEST OF THE SUBJECT LOT IS BEING REGRADED AND CHANNELING SOME RUNOFF RIGHT AT THE BOUNDARY. IN THE EVENT THAT THIS PARCEL IS SOLD TO A THIRD PARTY IN THE FUTURE, WHO WISHES TO DEVELOP IT IN SOME FASHION, IT IS UNDERSTOOD THAT THE APPLICANT MAY NEED TO COORDINATE WITH SUCH A THIRD PARTY ON POSSIBLE ADJUSTMENTS TO THIS AREA OF THE PARCEL.
- B) FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, NH 03867. (603) 335-1338.
- C) ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
- D) THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS UNLESS OTHERWISE WAIVED.
- E) THE SIGN ORDINANCE PERMITS A MAXIMUM FREESTANDING SIGN OF 75 FEET PER SIDE FOR A TOTAL OF 150 SQUARE FEET. THE PROPOSED SIGN EXCEEDS THIS LIMITATION, AND MAY NOT BE INSTALLED WITHOUT A VARIANCE OR OTHER RELIEF. THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
- F) IF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED, THEN THE CONTRACTOR SHALL SUBMIT TO EPA THE SWPPP ALONG WITH A NOTICE OF INTENT (NOI), INSPECTION AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION A NOTICE OF TERMINATION (NOT). THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.
- G) THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF CITY ORDINANCE CHAPTER 80. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE THE SOIL HAS BEEN DISTURBED.
- H) ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
- I) THE WEARING COURSE OF PAVEMENT NEED NOT BE INSTALLED PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, BUT IF IT IS NOT IN PLACE, PROPER SURETY SHALL BE TAKEN AND THE WEARING COURSE SHALL BE INSTALLED WITHIN 12 MONTHS OF THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- J) NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN - POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
- K) ACCORDING TO THE APPLICANT, THE TWO MONITORING WELLS WERE INSTALLED AS PART OF THE APPLICANT'S DUE DILIGENCE, AND THE PHASE 1 AND PHASE 2 ENVIRONMENTAL ANALYSES FOR THE SITE WERE CLEAN.

EXISTING FEATURES PLAN
ROUTE 11/TEN ROD ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
ROCHESTERDOM, LLC

NOVEMBER 2011

GRAPHIC SCALE

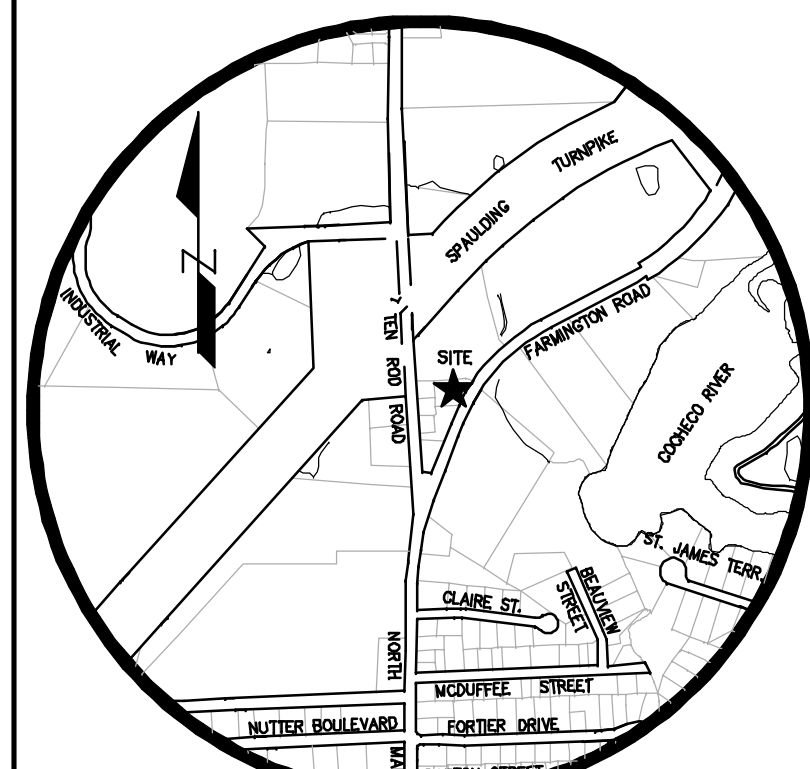


1 INCH = 20 FT.

REVISION DATE

04/26/12

SHEET S-1



LOCUS
SCALE: 1"=1000'

FILE NO. 141 DRAWN BY: RRL
PLAN NO. C-2604 CHK'D BY: DBR
F.B. NO. ### SCRD NO: D-###
DWG. NO. 11107/SP-1CRLSN

115/40
RLP REALTY INC. NH CORPORATION
P.O. BOX 1328
ROCHESTER, NH 03866-1328

NORWAY PLAINS ASSOCIATES, INC.

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE RENOVATION SITE PLAN OF TAX MAP 115 LOT 39.
2. TOTAL PARCEL AREA: MAP 115, LOT 39 0.56 ACRES
3. PARCEL IS ZONED: BUSINESS-2
4. THERE ARE NO JURISDICTIONAL WETLANDS ON THIS PROPERTY. IT IS CURRENTLY FULLY DEVELOPED.
5. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/05 COMMUNITY PANEL 33017C02030, PANEL 203 OF 405.
6. THE LOT IS SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
7. ZONE B2 DIMENSIONAL REQUIREMENTS PER ORDINANCE AND REGULATION:

	REQUIRED
MINIMUM LOT SIZE	= NO REGULATION
MINIMUM FRONTAGE	= NO REGULATION
MAXIMUM LOT COVERAGE*	= 50%
BUILDING SETBACKS:	
FRONT YARD	= NONE REQUIRED**
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REAR YARD	= 25-FT
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8. PARKING REQUIREMENTS PER ORDINANCE AND REGULATION:

USE(S):	CRITERIA	UNITS	REQ'D	PROVD.
RETAIL COMM./ SERVICE USE (STORAGE)	1/200-SF+	X 1346	= 7	7
FAST-FOOD EST.	1/600-SF			
	1/500-SF+	X 2692	= 6	6
	1/EMPLY.	10	= 10	10
TOTALS =				23

NOTE: HANDICAPPED ACCESSIBLE PARKING INCLUDED IN ABOVE TOTALS PER ADA AND ROCHESTER REGULATIONS AND ORDINANCE.

9. EXISTING UTILITIES PER RECONSTRUCTION BY NHDOT VERIFICATION OF LOCATION BY NHDOT ASBUILT SUGGESTED.

10. NEAREST FIRE HYDRANT LOCATED AT SOUTHERN CORNER OF TEN ROD ROAD AND ROUTE 11 INTERSECTION.

11. SNOW IN EXCESS OF AVAILABLE STORAGE AREAS SHALL BE REMOVED FROM THE SITE.

115/33
BROOKS PROPERTIES, LLC
298 NORTH MAIN STREET
ROCHESTER, NH 03867

LEGEND

	EXISTING GRANITE OR CONCRETE BOUND
	EXISTING SIGN
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	EXISTING CATCH BASIN
	EXISTING CATCH BASIN (NHDOT PLAN)
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	MONITORING WELL LOCATION
	EXISTING PROPERTY LINE
	SETBACK LINE
	EXISTING OVERHEAD WIRES
	PROPOSED SIGN
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED LIGHT POLES
	PROPOSED CONCRETE CURB
	PROPOSED GRANITE SLOPED CURB

REVISIONS:

REVISED PER NHDOT COMMENT -	10/14/11
ADDED LIGHTING PLAN -	12/05/11
ADDED LANDSCAPING PLAN ADDRESSED STAFF COMMENT -	12/12/11
REVISED PER NOD -	04/26/12

PLANNING BOARD APPROVAL NOTES:

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- THE SIGN ORDINANCE PERMITS A MAXIMUM FREESTANDING SIGN OF 75 FEET PER SIDE FOR A TOTAL OF 150 SQUARE FEET. THE PROPOSED SIGN EXCEEDS THIS LIMITATION, AND MAY NOT BE INSTALLED WITHOUT A VARIANCE OR OTHER RELIEF. THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
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FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____

SITE PLAN
ROUTE 11/TEN ROD ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
ROCHESTERDOM, LLC

NOVEMBER 2011

GRAPHIC SCALE



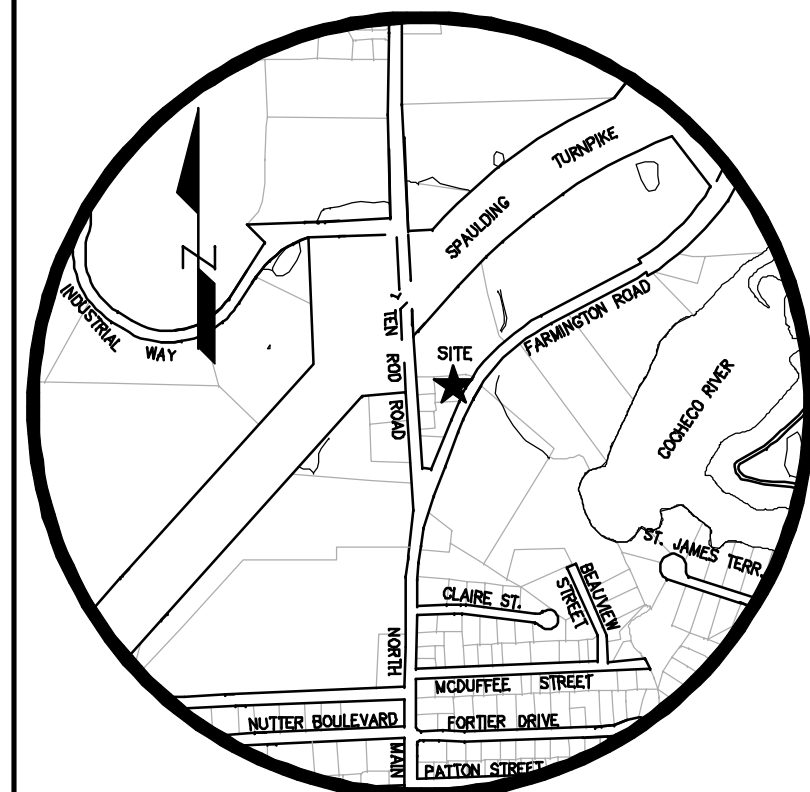
(IN FEET)

1 INCH = 20 FT.

REVISION DATE

04/26/12

SHEET C-1



LOCUS
SCALE: 1"=1000'

FILE NO. 141 DRAWN BY: RRL
PLAN NO. C-2604 CHK'D BY: DBR
F.B. NO. ### SCRD NO: D-###
DWG. NO. 11107/SP-1CRLSN

115/40
RLP REALTY INC. NH CORPORATION
P.O. BOX 1328
ROCHESTER, NH 03866-1328

NORWAY PLAINS ASSOCIATES, INC.

GENERAL NOTES:

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6. THE LOT IS SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
7. ZONE B2 DIMENSIONAL REQUIREMENTS PER ORDINANCE AND REGULATION:

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MINIMUM LOT SIZE	= NO REGULATION
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LEGEND

	EXISTING GRANITE OR CONCRETE BOUND
	EXISTING SIGN
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	EXISTING CATCH BASIN
	EXISTING CATCH BASIN (NHDOT PLAN)
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	MONITORING WELL LOCATION
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	SETBACK LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN LINE
	EXISTING DRAIN LINE (NHDOT PLAN)
	EXISTING CONTOURS
	PROPOSED SIGN
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED LIGHT POLES
	PCC
	PGSC
	PROPOSED CONTOURS
	PROPOSED SPOT GRADE
	PROPOSED DRAIN LINE
	OHW
	PROPOSED STONE CHECK DAM
	PROPOSED INLET PROTECTION
	S/F

REVISIONS:

- ADDED LIGHTING PLAN - 12/05/11
ADDED LANDSCAPING PLAN ADDRESSED STAFF COMMENT- 12/12/11
REVISED PER NOD - 04/26/12

PLANNING BOARD APPROVAL NOTES:

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- H.) ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
- I.) THE WEARING COURSE OF PAVEMENT NEED NOT BE INSTALLED PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, BUT IF IT IS NOT IN PLACE, PROPER SURETY SHALL BE TAKEN AND THE WEARING COURSE SHALL BE INSTALLED WITHIN 12 MONTHS OF THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
- J.) NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN - POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
- K.) ACCORDING TO THE APPLICANT, THE TWO MONITORING WELLS WERE INSTALLED AS PART OF THE APPLICANT'S DUE DILIGENCE, AND THE PHASE 1 AND PHASE 2 ENVIRONMENTAL ANALYSES FOR THE SITE WERE CLEAN.

GRADING, DRAINAGE &
EROSION CONTROL PLAN
ROUTE 11/TEN ROD ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
ROCHESTERDOM, LLC

NOVEMBER 2011

GRAPHIC SCALE



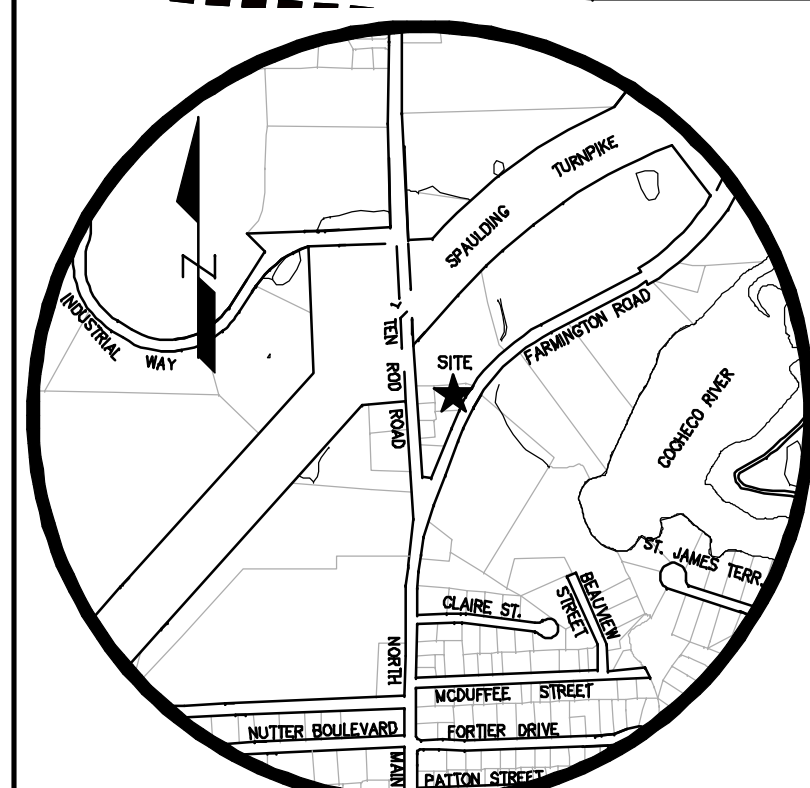
(IN FEET)

1 INCH = 20 FT.

REVISION DATE

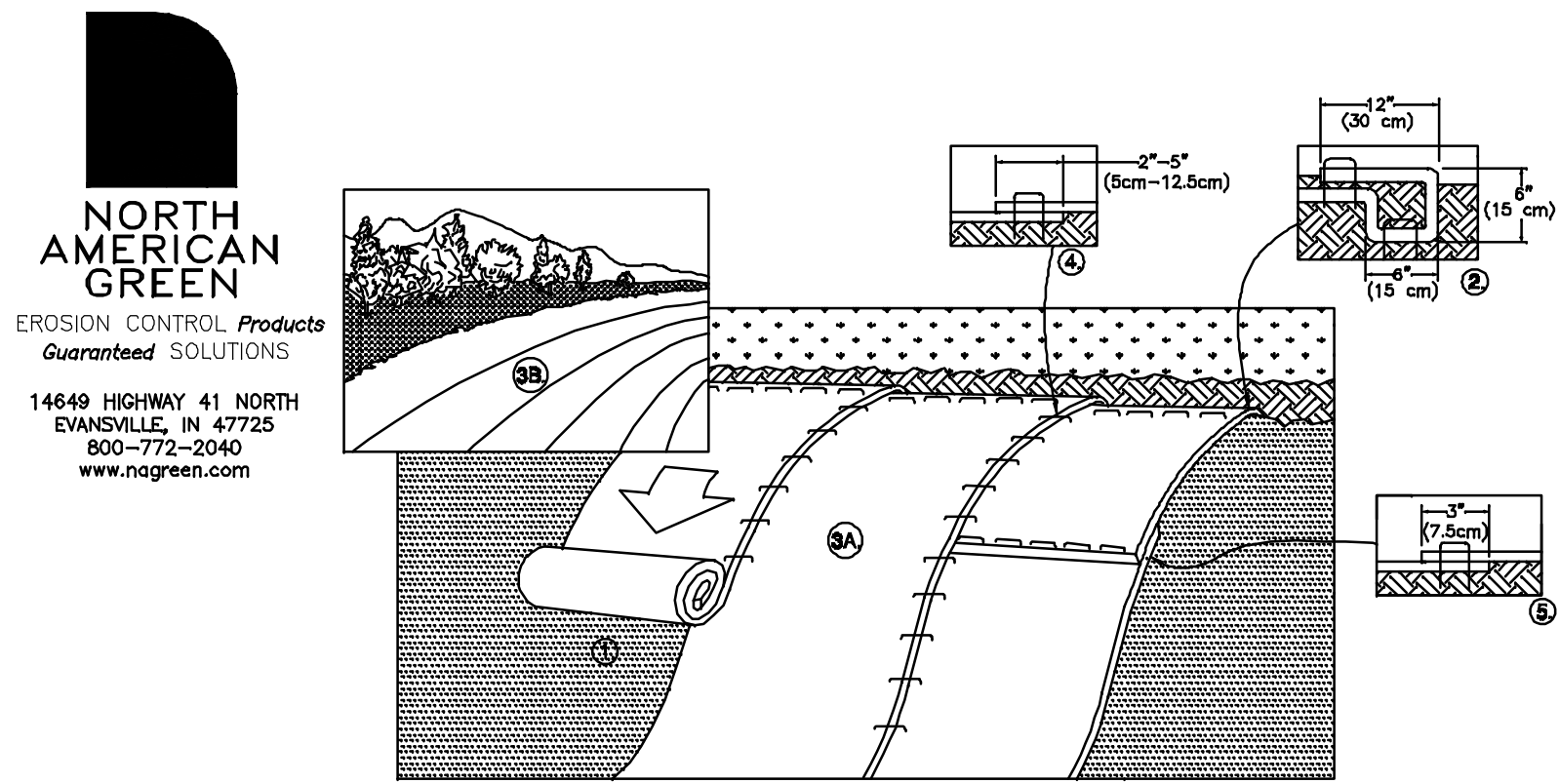
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SHEET C-2



LOCUS
SCALE: 1"=1000'

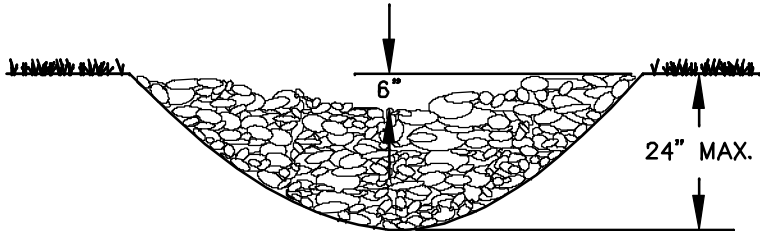
FILE NO. 141 DRAWN BY: RRL
PLAN NO. C-2604 CHK'D BY: DBR
F.B. NO. ### SCRD NO: D-###
DWG. NO. 11107/SP-1CRLSN



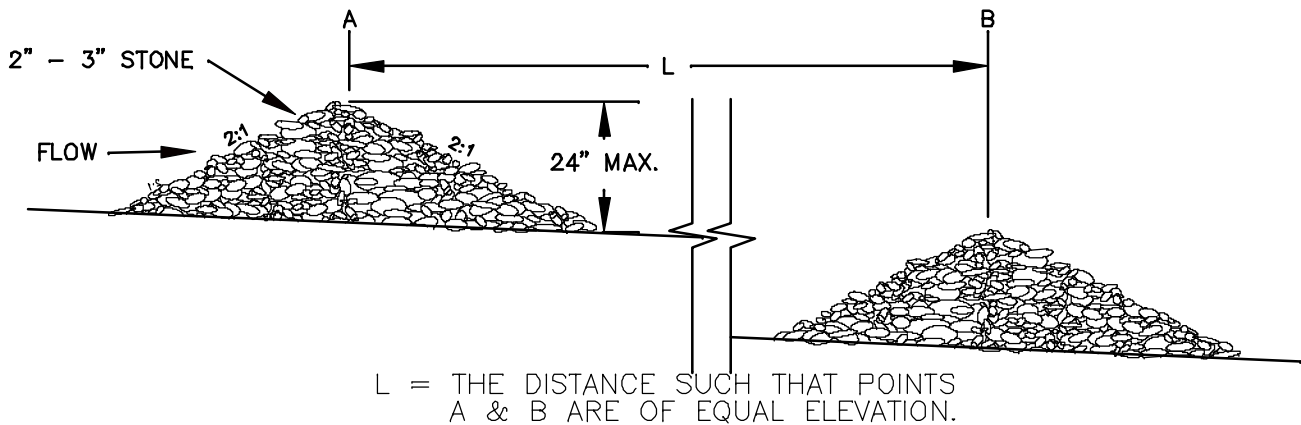
- MAINTENANCE REQUIREMENTS:**
- ALL BLANKET AND MATS SHOULD BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCEEDING 1/2 INCH IN A 24-HOUR PERIOD.
 - ANY FAILURE SHOULD BE REPAIRED IMMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACEMENT OF THE MAT, OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPAIRED AND RESEEDED, AND THE AFFECTED AREA OF MAT SHALL BE RE-INSTALLED.
- CONSTRUCTION SPECIFICATIONS:**
- MANUFACTURE'S INSTALLATION INSTRUCTIONS:
 - PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
 - ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
 - CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's.
 - SITE PREPARATION:
 - PROPER SITE PREPARATION IS ESSENTIAL TO ENSURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL.
 - GRADE AND SHAPE AREA IF INSTALLATION.
 - REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.
 - PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.
 - INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.
 - SEEDING:
 - SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND REVEGETATION. SEEDING AFTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATIONS. WHEN SEEDING PRIOR TO BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURBED DURING INSTALLATION MUST BE RESEED.
 - WHEN SOIL FILLING IS SPECIFIED, SEED THE MATTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO FILLING THE MAT WITH SOIL.

**TEMPORARY
EROSION CONTROL BLANKET DETAIL**
NOT TO SCALE

SPACING BETWEEN CHECK DAMS	
SLOPE (FT/FT)	LENGTH (FT)
0.020	75
0.030	50
0.040	37
0.050	30
0.080	19
0.100	15
0.120	13
0.150	10



DRAINAGEWAY CROSS-SECTION

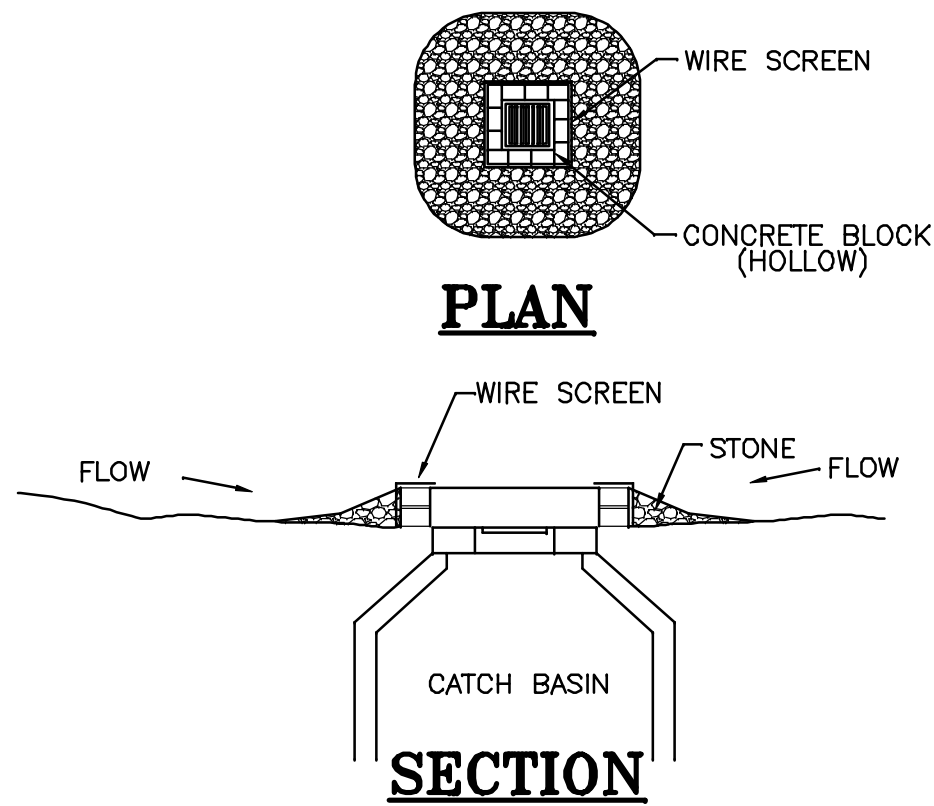


SPACING BETWEEN STONE CHECK DAMS

- CONSTRUCTION SPECIFICATIONS:**
- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED.
 - STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.

- MAINTENANCE NOTES:**
- TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE INSPECTED AFTER EACH STORM AND DAILY DURING PROLONGED STORM EVENTS. ANY DAMAGE TO THE STRUCTURES SHALL BE REPAIRED IMMEDIATELY.
 - PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE.
 - WHEN REMOVING THE STRUCTURES, THE DISTURBED AREAS SHALL BE BROUGHT UP TO EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEED, AND MULCHED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT REACHES 1/2 THE ORIGINAL HEIGHT OF THE STRUCTURE.

**STONE CHECK DAM
INSTALLATION DETAIL**
NOT TO SCALE



**BLOCK AND GRAVEL DROP
INLET SEDIMENT FILTER**
NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
- PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24 INCHES HIGH.
 - WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED.
 - STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN ABOVE. STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 6 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
 - IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

- MAINTENANCE NOTES:**
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SEDIMENTATION CONTROL
AT CATCH BASINS**
NOT TO SCALE

FILE NO. 141 DRAWN BY: RRL
PLAN NO. C-2604 CHK'D BY: RRL
F.B. NO. ### SCRD NO: D-###
DWG. NO. 11107/SP-1CRLSN

TEMPORARY VEGETATION:

SPECIFICATIONS:

- SITE PREPARATION:**
- INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
 - GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
 - RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
 - ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR O THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

- STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2" INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*
*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)*
*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

- FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

SEEDING:

- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
 - TEMPORARY SEED SHOULD TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
 - AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
 - VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.
- MAINTENANCE REQUIREMENTS:**
- TEMPORARY SEEDING SHOULD BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHOULD BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
 - BASED ON INSPECTION, AREAS SHOULD BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHOULD BE IMPLEMENTED.
 - IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

**TEMPORARY VEGETATION
SEEDING RECOMMENDATIONS**

SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYEGRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYEGRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

SOURCES:

- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1.
- MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

PERMANENT VEGETATION:

SPECIFICATIONS:

- SITE PREPARATION:**
- INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
 - GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
 - RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
 - ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR O THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED. ALL BUT CLAY AND SILT SOILS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.

- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE CLODS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE TILLED AND FIRMED AS ABOVE.

- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*
*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)*
*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

- FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

SEEDING:

- INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE.
- WHERE FEASIBLE EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
- SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDED IN LATE SUMMER AT LEAST 30% OF THE SEED SHOULD BE HARD SEED (UNSCARIFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE TEMPORARY AND PERMANENT MULCHING PRACTICE DESCRIBED IN THE NHSSM, VOL. 3, AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
- VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.

HYDROSEEDING:

- WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND RAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.
- SLOPES MUST BE NO STEEPER THAN 2:1 (2 FEET HORIZONTALLY BY 1 FOOT VERTICALLY).
- LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF FIBER MULCH ON CRITICAL AREAS IS NOT RECOMMENDED (UNLESS IT IS USED TO HOLD STRAW OR HAY). BETTER PROTECTION IS GAINED BY USING STRAW MULCH AND HOLDING IT WITH ADHESIVE MATERIALS OR 500 POUNDS PER ACRE OF WOOD FIBER MULCH.

SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

MAINTENANCE REQUIREMENTS:

- PERMANENT SEEDED AREAS SHOULD BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION. INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHOULD CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
- SEEDED AREAS SHOULD BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION. MOWING HEIGHT AND FREQUENCY DEPEND OF TYPE OF GRASS COVER.
- BASED ON INSPECTION, AREAS SHOULD BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
- AT A MINIMUM 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION.
- IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

**PERMANENT VEGETATION
SEEDING RECOMMENDATIONS**

USE	MIXTURE	SPECIES	LBS./ACRE	LBS./1,000-SF
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP TOTAL	42	0.95
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP TOTAL	42	0.95
LIGHTLY USED PARKING LOTS, OOD AREAS, UNUSED LANDS, AND LOW INTENSITY RECREATION SITES	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP TOTAL	42	0.95
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL ESSENTIAL FOR GOOD TURF)	F	CREeping RED FESCUE	50	1.15
		KENTUCKY BLUEGRASS	50	1.15
		TOTAL	100	2.30

SOURCES:

- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3
- MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

**EROSION CONTROL
DETAILS
ROUTE 11/TEN ROD ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
ROCHESTERDOM, LLC**

NOVEMBER 2011

REVISION DATE
04/26/12

SHEET C-4



NOT TO SCALE



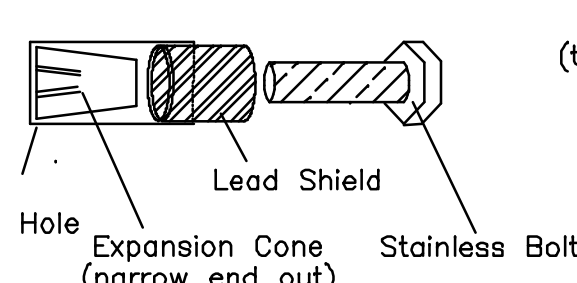
NOTES:

1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
2. REINFORCING: SHALL BE PROVIDED FOR H-20 LOADING.
3. SHIELD JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
4. PIPE OPENINGS CAST IN AS REQUIRED.
5. RISER HEIGHT VARIES 1', 2', 3' OR 4' TO REACH DESIRED DEPTH.
6. PIPE CONNECTIONS SHALL BE MORTARED.
7. PRECAST SECTIONS SHALL CONFORM TO ASTM C-478.
8. SEE DRAWING TOP DETAIL FOR STRUCTURES REQUIRING SLAB TOPS, I.E. DOUBLE GRATE AND FRAME STRUCTURES.

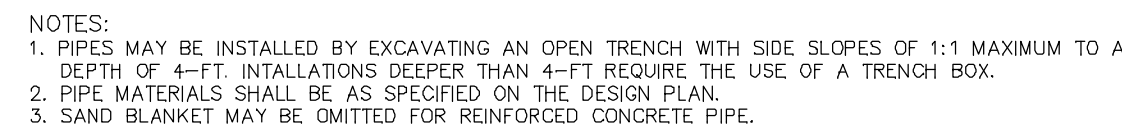
NOT TO SCALE



U.S. PATENT #6126817 ADDITIONAL PATENTS PENDING



NOT TO SCALE



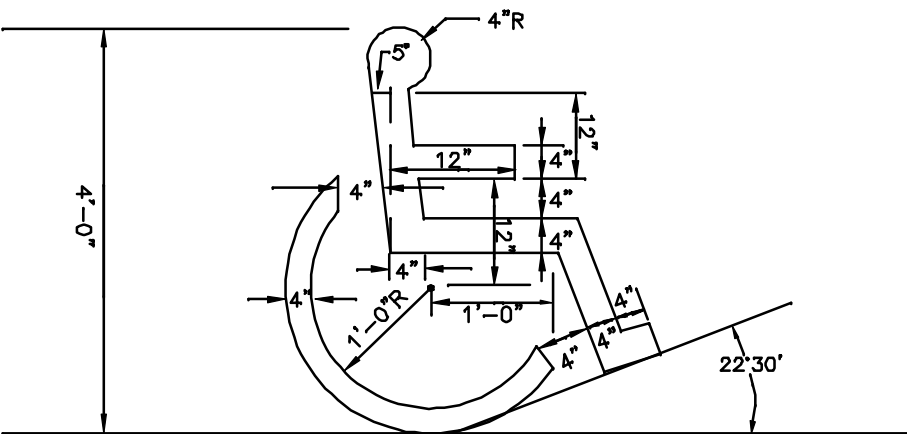
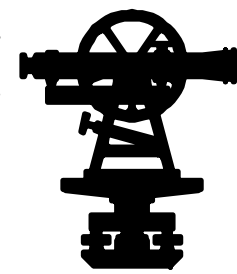
**DRAINAGE PIPE
TRENCH INSTALLATION DETAIL**
NOT TO SCALE

- REVISIONS:**
- ADDED LANDSCAPING PLAN ADDRESSED STAFF COMMENT— 12/12/11
REVISED PER NOD — 04/26/12
- UTILITIES NOTES:**
1. CONTRACTOR SHALL NOTIFY DIG—SAFE (1-888 344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 2. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS.
 3. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE IS NOT INTENDED OR IMPLIED.
 4. ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH PSNH OR FAIRPOINT TELECOMMUNICATIONS.
 5. PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH PSNH AND OTHER PERTINENT UTILITY COMPANIES.
 6. WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10—FT APART HORIZONTALLY.
 7. WHERE SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 9—FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18—INCHES SHALL BE MAINTAINED.
 8. SEWER PIPE JOINTS SHALL BE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWER AND AT 1—1/2 TIMES WORKING PRESSURE FOR ALL FORCE MAINS.
 9. **WATER LINE CONSTRUCTION:**
 - A. ALL PROPOSED WATER LINE MATERIAL USED SHALL MEET SOMERSWORTH WATER DEPARTMENT AND SOMERSWORTH ENGINEERING DEPARTMENT SPECIFICATIONS. WATER LINES SHALL BE A.W.W.A C 151, CLASS 52, CEMENT LINED, DUCTILE IRON PIPE, POLYWRAPPED.
 - B. PROPOSED WATER GATE VALVES SHALL BE MANUFACTURED BY KENNEDY OF AMERICAN FLOW CONTROL, RESILIENT SEAT TYPE.
 - C. ALL WATER LINES SHALL BE BURIED A MINIMUM OF 5'.
 - D. IF 5' OF COVER IS NOT AVAILABLE WATER LINE SHALL BE INSULATED AS SHOWN IN THE "SHALLOW COVER TRENCH DETAIL FOR INSULATED WATER PIPE".
 - E. ALL WATER FITTINGS SHALL BE CLASS 350.
 - F. PROPOSED WATER GATE VALVE SHALL OPEN CLOCKWISE (LEFT).
 10. WORK TO CONNECT INTO THE WATER OR SEWER MAINS REQUIRES A PERMIT FROM THE SOMERSWORTH PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE PRE—QUALIFIED.
 11. CONTRACTOR SHALL LOCATE EXISTING SERVICES AND COORDINATE WITH THE CITY OF SOMERSWORTH FOR DISCONTINUATION OF THE SERVICES.

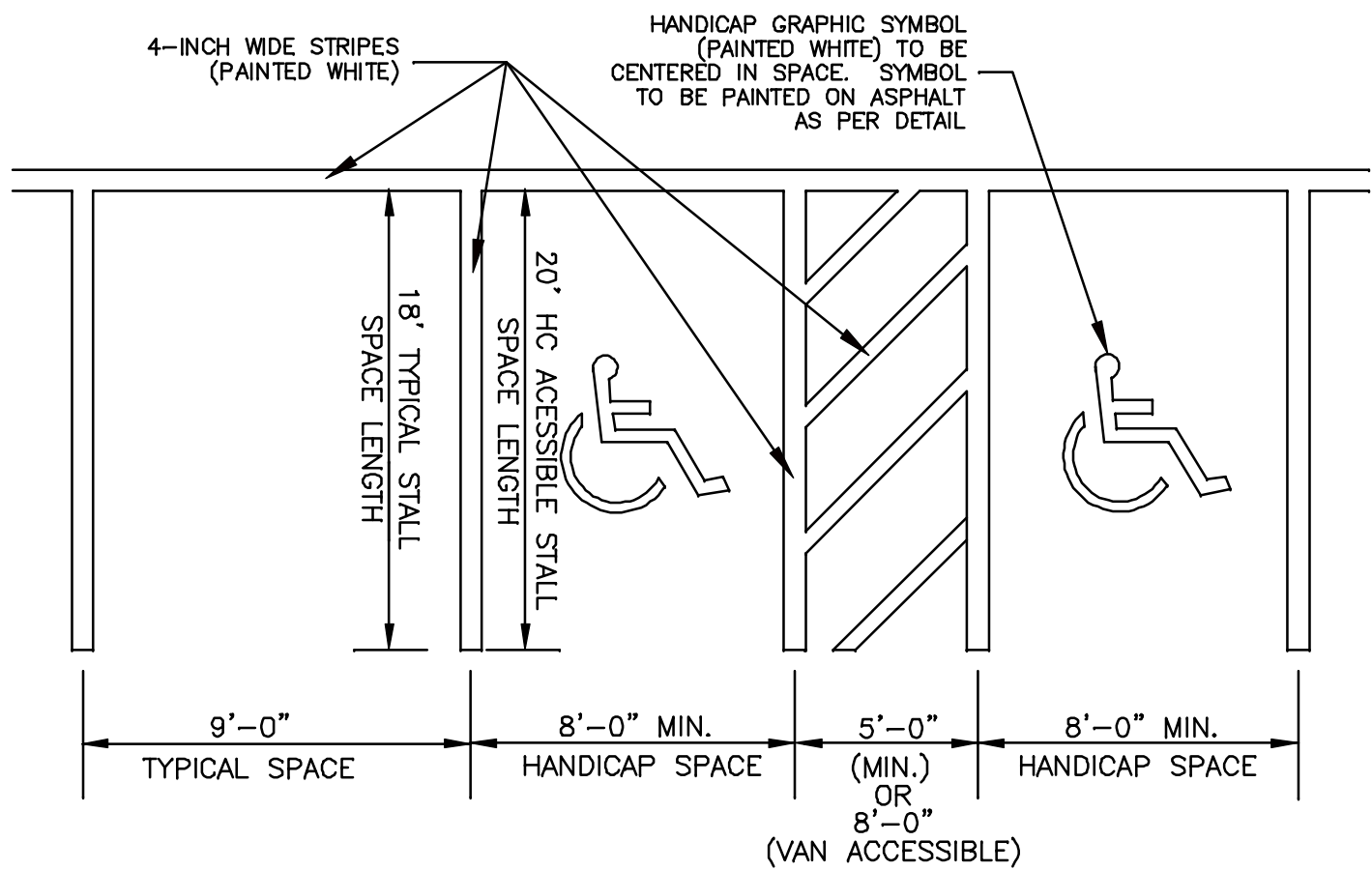
NOVEMBER 2011

REVISION DATE
04/26/12

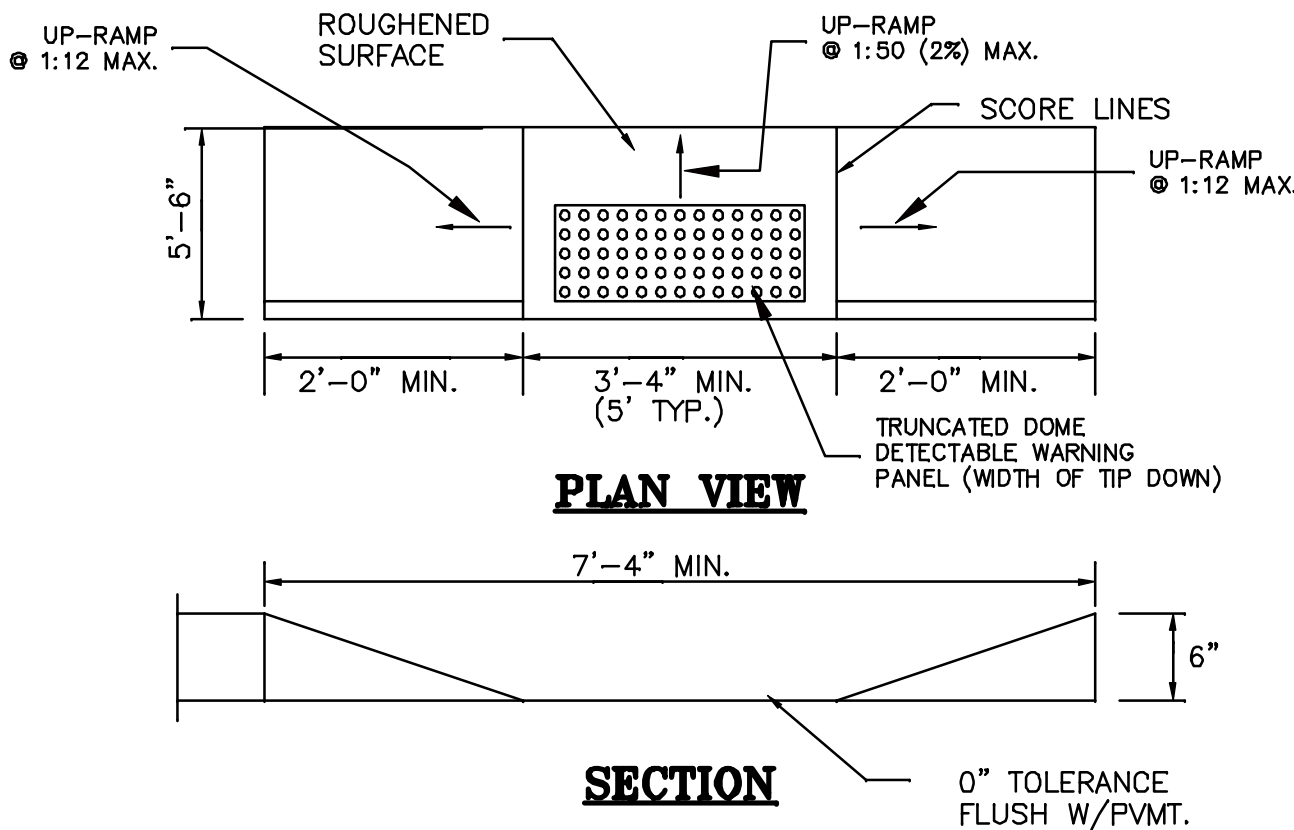
SHEET C-5



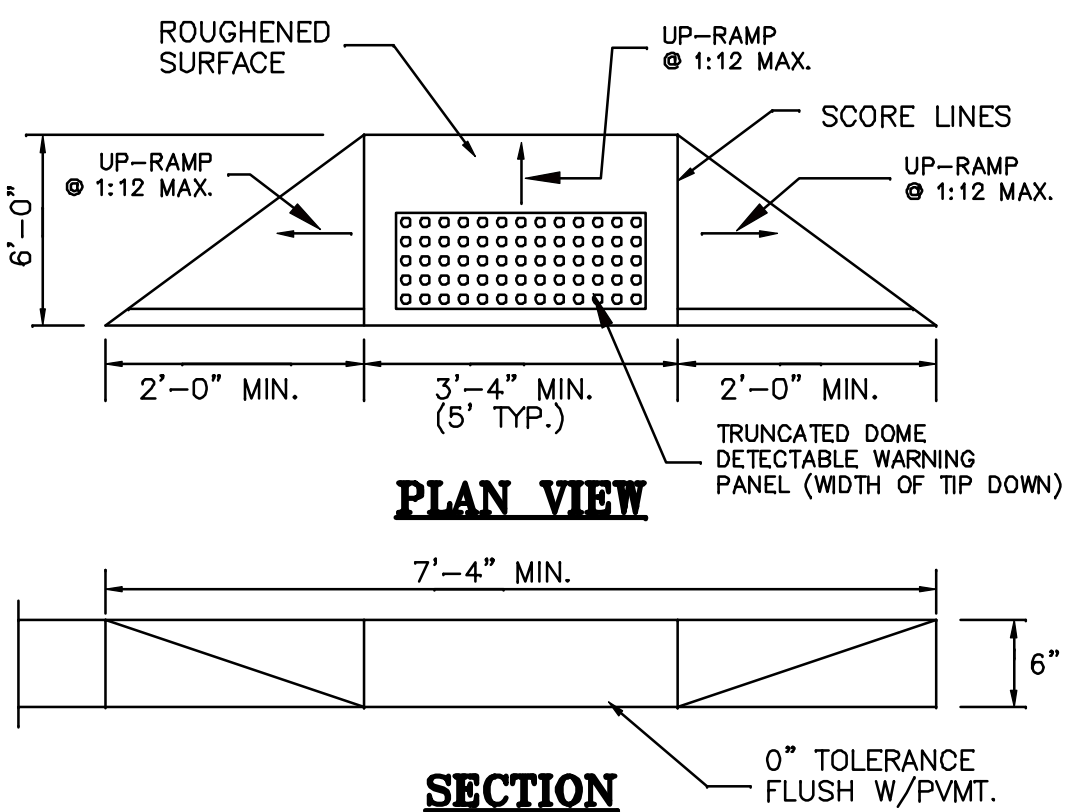
HC SPACE SYMBOL



STALL STRIPING DETAIL
NOT TO SCALE



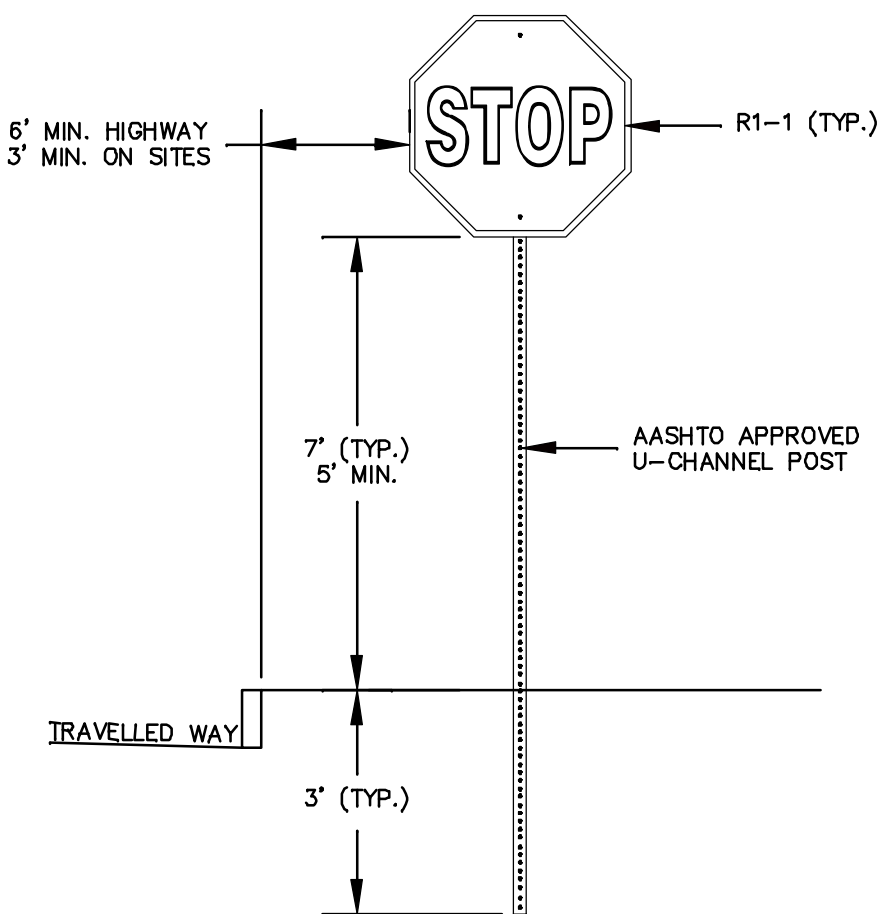
HANDICAP RAMP DETAIL (5-FT SIDEWALK)
NOT TO SCALE



HANDICAP RAMP DETAIL
(WITH LANDING AREA AT TOP)
NOT TO SCALE

FILE NO. 141
PLAN NO. C-2604
F.B. NO. ###
DWG. NO. 11107/SP-1CRLSN

DRAWN BY: RRL
CHK'D BY: RRL
SCRD NO: D-###



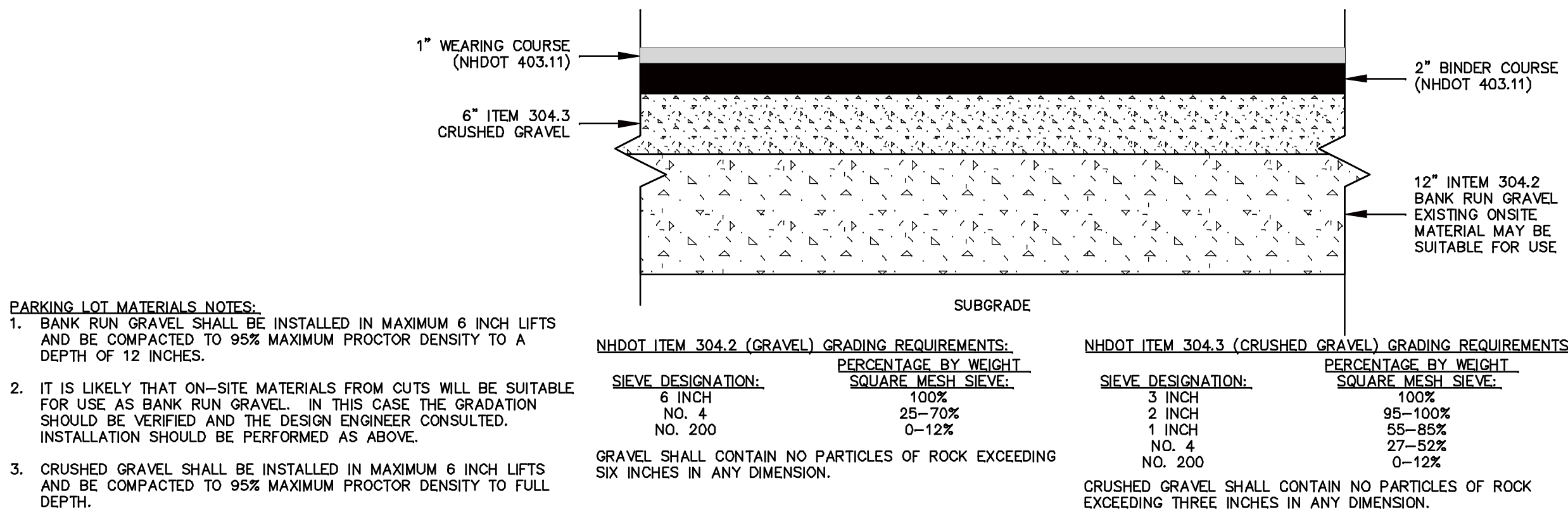
- NOTES:
- SIGN POST SHALL BE AASHTO APPROVED U-CHANNEL OR OTHER PER AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINAIRES AND SIGNALS", LATEST EDITION.
 - SIGNS SHALL BE MOUNTED 7 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
 - SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 6 FT. FROM TRAVELED WAY.

TYPICAL TRAFFIC SIGN
NOT TO SCALE

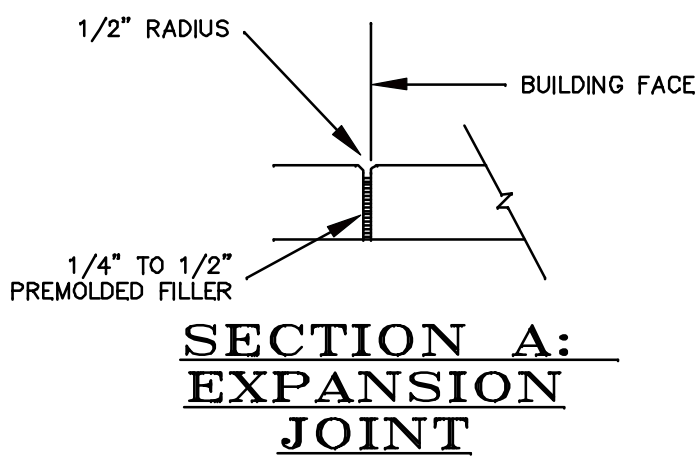
ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	30"	30"	STOP	2
R7-8a	18"	12"	RESERVED PARKING	2
R7-8b	6"	12"	VAN ACCESSIBLE	2
R3-2	24"	24"	NO LEFT TURN	1 (2)
R5-1	30"	30"	NO PARKING	1
R8-3	18"	12"	NO PARKING	1
R6-2	24"	18"	ONE WAY	1

- NOTES:
- ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
 - R3-2 "NO LEFT TURNS" SIGN MAY BE REQUIRED BY NHDOT ON ROUTE 11.

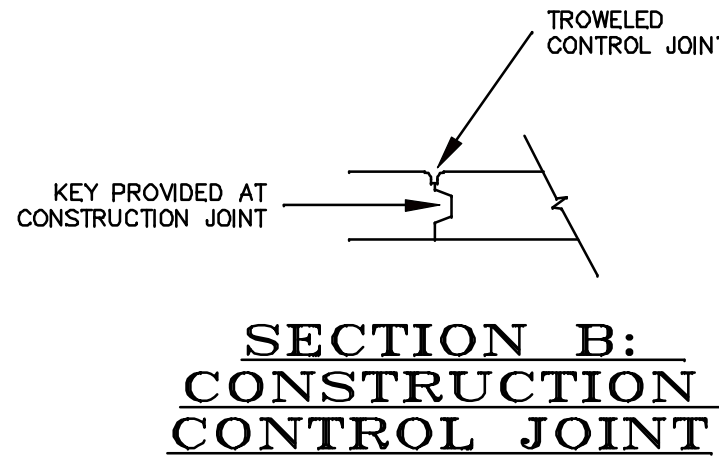
SIGN SCHEDULE
NOT TO SCALE



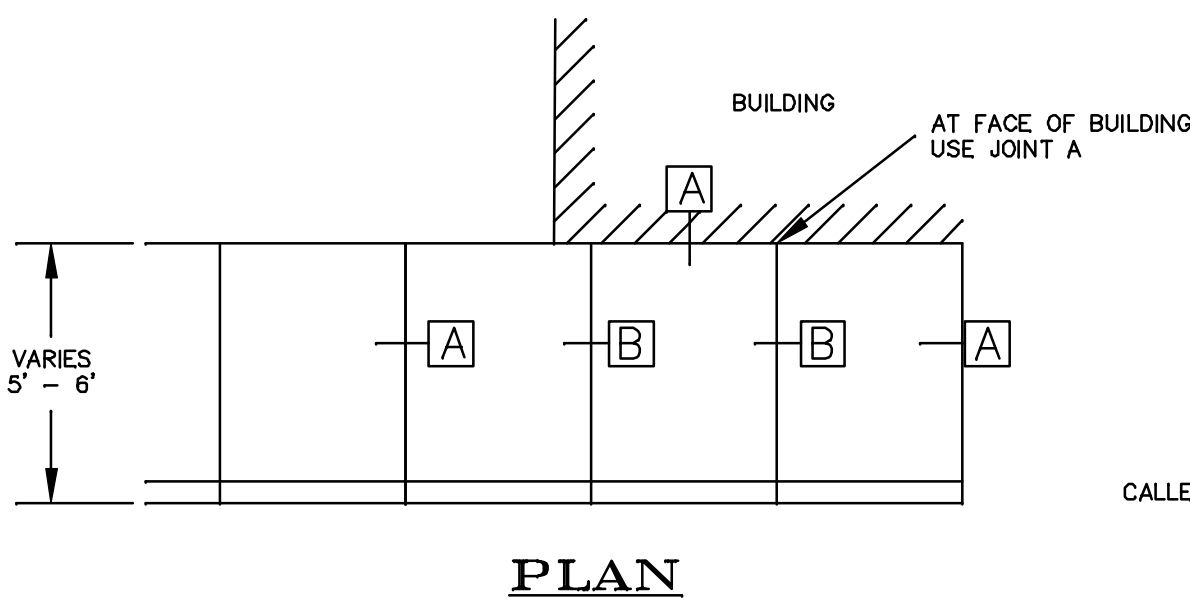
DRIVEWAY AND PARKING AREA CROSS-SECTION
NOT TO SCALE



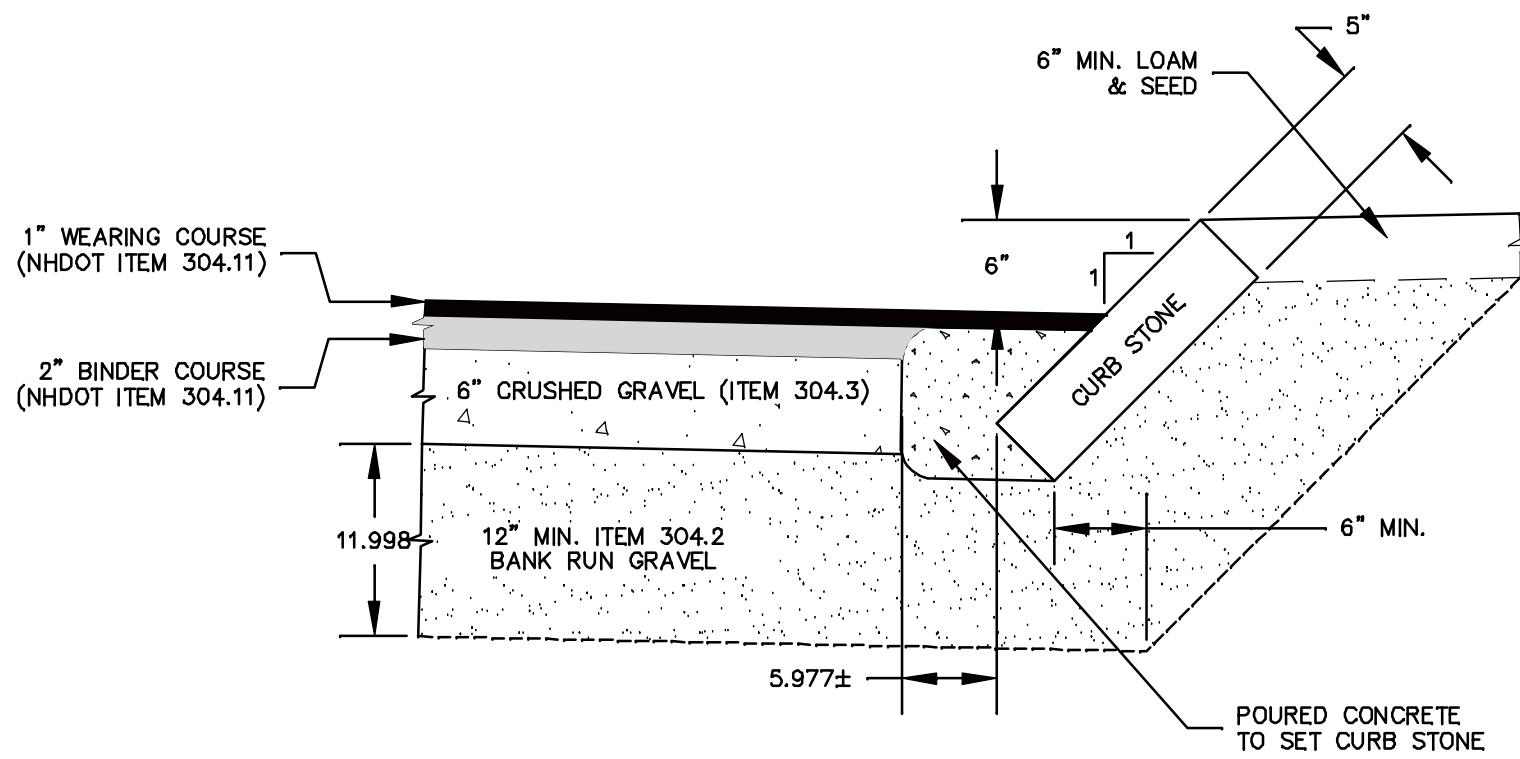
SECTION A:
EXPANSION
JOINT



SECTION B:
CONSTRUCTION
CONTROL JOINT



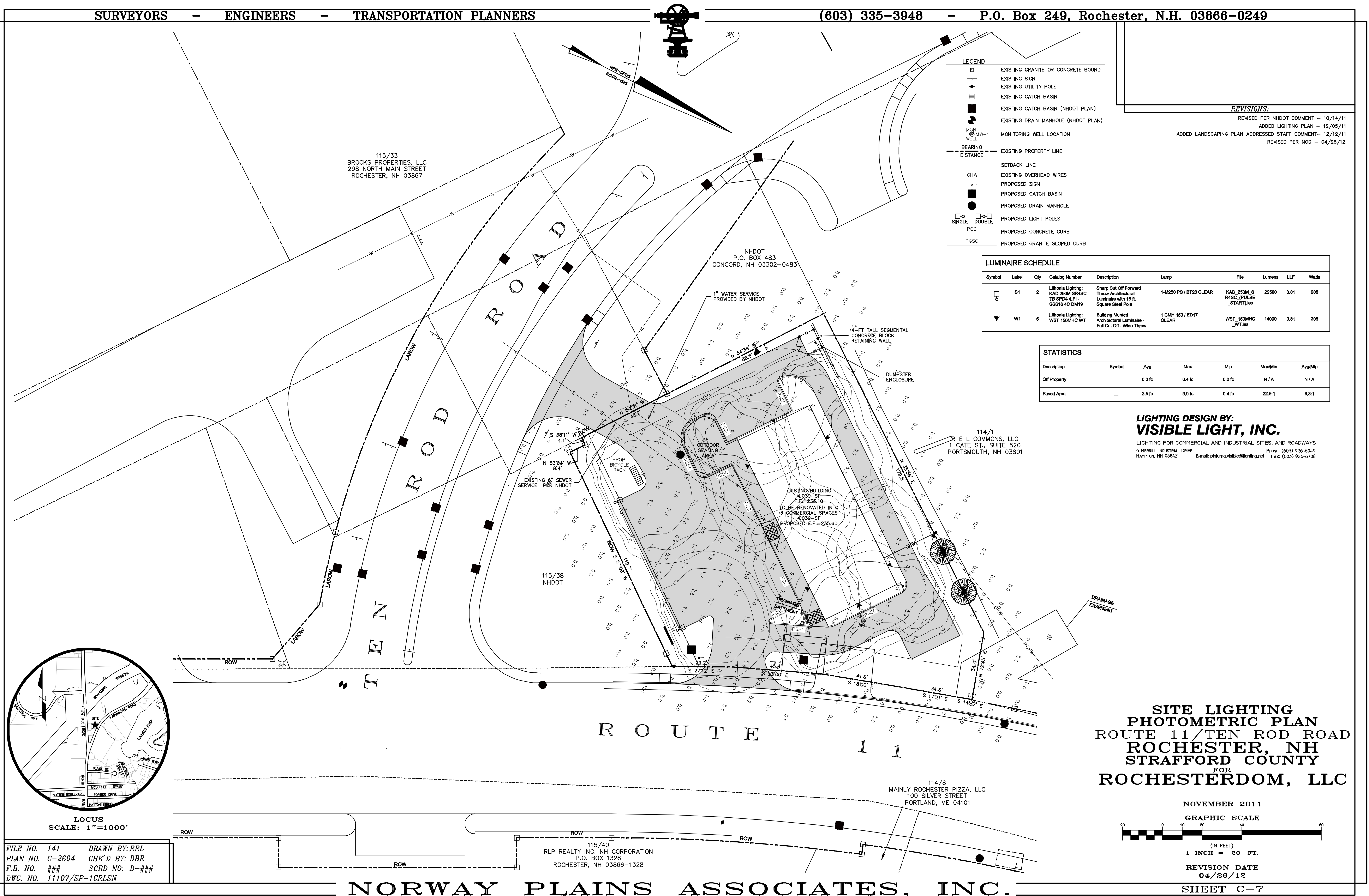
CONCRETE SIDEWALK WITH CURB
NOT TO SCALE



STANDARD HOT MIX PAVEMENT
GRANITE SLOPE CURB DETAIL

CONSTRUCTION
DETAILS
ROUTE 11/TEN ROD ROAD
ROCHESTER, NH
STRAFFORD COUNTY
FOR
ROCHESTERDOM, LLC

NOVEMBER 2011
REVISION DATE
04/26/12
SHEET C-6



FILE NO.	141	DRAWN BY:	RRL
PLAN NO.	C-2604	CHK'D BY:	DBR
F.B. NO.	###	SCRD NO:	D-###
DWG. NO.	11107/SP-1CRLSN		

NORWAY PLAINS ASSOCIATES, INC.

NOVEMBER 2011

GRAPHIC SCALE

(IN FEET)

1 INCH = 20 FT.

REVISION DATE

04/26/12

SHEET C-7