

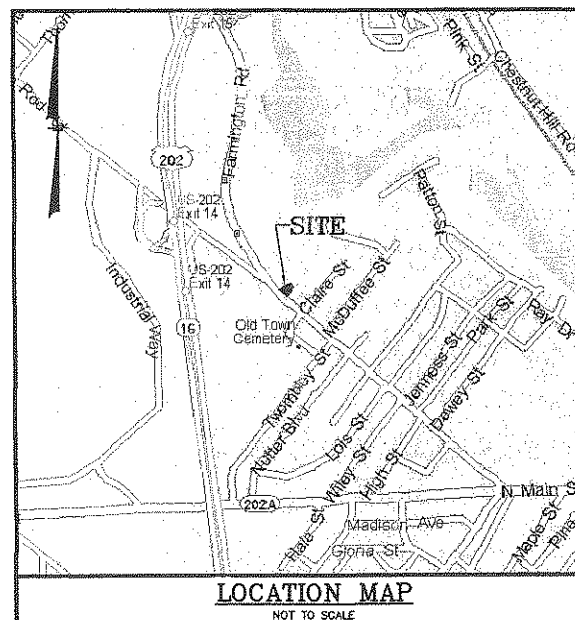
for

**ASSESSORS MAP 115 LOT 41
299 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE 03867**

Prepared for:



100 CROSSING BLVD, FRAMINGHAM, MASSACHUSETTS 01702



INDEX TO DRAWINGS

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITIES PLAN
7. EROSION CONTROL PLAN
8. LANDSCAPE PLAN
9. DETAIL SHEET
10. DETAIL SHEET
11. DETAIL SHEET
- 1 OF 1. LIGHTING PLAN (LSI)
- 1 OF 1. TRUCK TURN PLAN (TTP)
- 1 OF 1. PROPOSED CANOPY ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A1.1 FLOOR PLAN & PARTITION TYPES
- L1.1 EXTERIOR BUILDING LIGHTING PLAN
- DS1.1 DOWNSPOUT LOCATION PLAN

FEB 11 2013



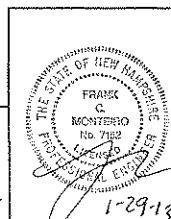
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

299 NORTH MAIN STREET ROCHESTER, NH		SCALE: 1" = 20' DATE: JULY 27, 2012 FILE: 3047CVR.dwg DRAWN BY: DMP CHECKED BY: CMT
 Cumberland F A R M S	CUMBERLAND FARMS INC. 100 CROSSING BLVD. FRAMINGHAM, MA 01702	
TITLE SHEET		

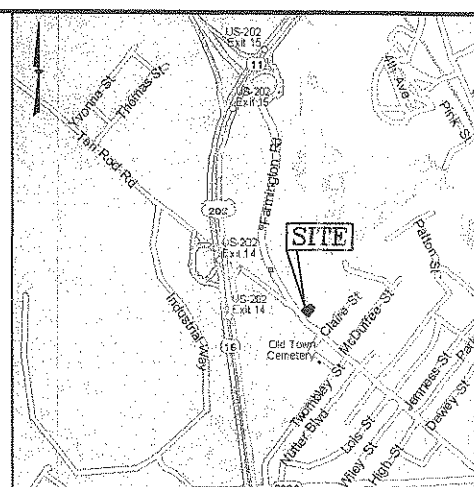
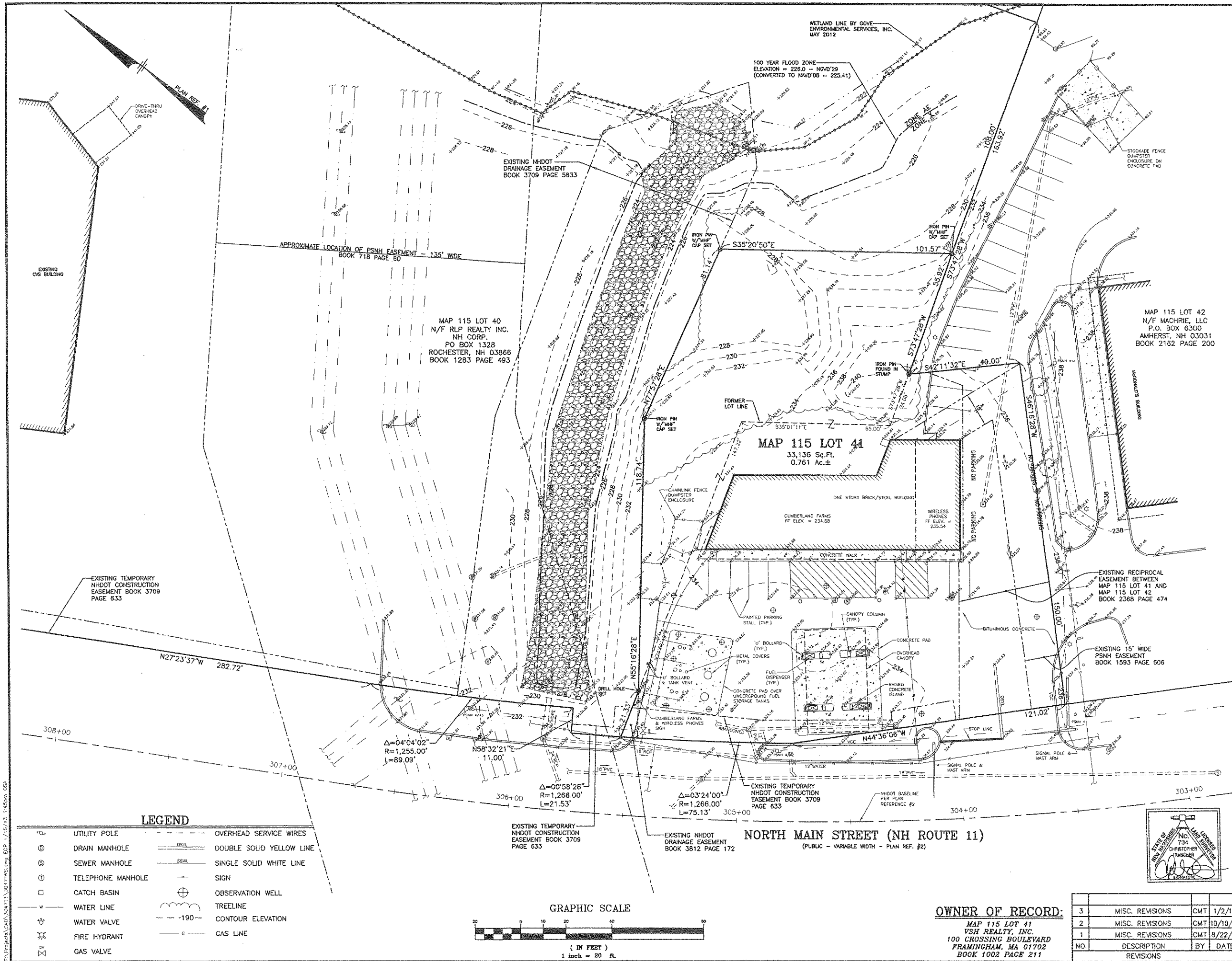
FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY:

DATE: _____



REVISONS			33,136 SQUARE FEET
DATE	REV. BY.	DESCRIPTION	0.761 ACRES
8/22/12	CMT	REVISE SHEETS 2-9	
10/10/12	CMT	REVISE SHEETS 2-9, LSI	V# 0653
1/2/13	CMT	REV. ALL SHEETS	
1/15/13	CMT	REV. SHEETS A3.1, A3.2 & A.1.1	Store# 5508
			Gas Station# 852811



- NOTES:**
- 1) ZONE: BUSINESS 2
MIN. LOT SIZE: NONE
MIN. LOT FRONTAGE: NONE
SETBACKS: FRONT NONE
SIDE NONE
REAR 25 FT.
REFER TO THE CITY OF ROCHESTER ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
 - 2) THE BOUNDARY INFORMATION SHOWN HEREON FOR MAP 115 LOT 41 IS THE RESULT OF A STANDARD BOUNDARY SURVEY BY THIS OFFICE.
 - 3) MAP 115 LOT 41 LIES ENTIRELY WITHIN FLOOD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN HEREON. THE ZONE AE FLOOD ELEVATION IS 226.0 BASED ON NAVD'83, CONVERTED TO NAVD'88 IT IS 225.41. REFER TO THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ROCHESTER, COMMUNITY PANEL NUMBER 33017C02110, EFFECTIVE DATE: MAY 17, 2005.
 - 4) ELEVATIONS SHOWN HEREON ARE ON NAVD 1988 DATUM PER PLAN REFERENCE #1.

- PLAN REFERENCES:**
- 1) AS-BUILT PLAN CVS/PHARMACY 301 NORTH MAIN STREET ROCHESTER, NEW HAMPSHIRE, SCALE: 1"=40'; DATE: DECEMBER 5, 2011. ON FILE AT THE CITY OF ROCHESTER.
 - 2) STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION - BUREAU OF HIGHWAY DESIGN, STATE PROJECT NO. 10620-D FARMINGTON ROAD RIGHT-OF-WAY PLAN SHEETS 1, 2 & 10; SCALE: 1"=20'; DATE: 1/11/11 BY VERMONT SURVEY AND ENGINEERING AND CLOUGH HARBOUR & ASSOCIATES, LLP. RECORDED AS PLANS 101-45, 101-46 AND 101-54.
 - 3) AS-BUILT SITE PLAN NORTH MAIN STREET ROCHESTER, N.H. FOR McDONALD'S CORPORATION, SCALE: 1"=20'; DATE: JULY 2002 BY NORWAY PLAINS ASSOCIATES, INC. ON FILE AT THE CITY OF ROCHESTER.
 - 4) REVISED RECIPROCAL EASEMENT PLAN NORTH MAIN STREET ROCHESTER, N.H. FOR MACHRIE, LLC AND CUMBERLAND FARMS, INC.; SCALE: 1"=20'; DATE: JULY 2001 (REVISED TO 8/10/01) BY NORWAY PLAINS ASSOCIATES, INC. STRAFFORD COUNTY REGISTRY OF DEEDS PLAN 63-16.
 - 5) PLAN OF LAND NORTH MAIN STREET ROCHESTER, N.H. FOR TANBY, LLC; SCALE: 1"=30'; DATE: OCT. 1999 BY NORWAY PLAINS ASSOCIATES, INC. STRAFFORD COUNTY REGISTRY OF DEEDS PLAN 57-67.

CERTIFICATION:
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON FEBRUARY 8 & 22, 2012 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

CHRISTOPHER FRANCHER, NH LLS #734
DATE: 1/16/13

EXISTING CONDITIONS PLAN

ASSESSORS MAP 115 LOT 41
299 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
CUMBERLAND FARMS, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MASSACHUSETTS 01702

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS

WHF Design Consultants, Inc.

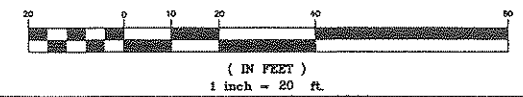
NO.	DESCRIPTION	BY	DATE
3	MISC. REVISIONS	CMT	1/2/13
2	MISC. REVISIONS	CMT	10/10/12
1	MISC. REVISIONS	CMT	8/22/12

SCALE: 1"= 20' DATE: JULY 27, 2012
DRAWN BY: CHECKED BY: PROJECT NO. SHEET NO.
CMF CMT 304712 2 OF 11

LEGEND

- | | | | |
|---|-------------------|-----|--------------------------|
| ○ | UTILITY POLE | --- | OVERHEAD SERVICE WIRES |
| ⊙ | DRAIN MANHOLE | --- | DOUBLE SOLID YELLOW LINE |
| ⊙ | SEWER MANHOLE | --- | SINGLE SOLID WHITE LINE |
| ⊙ | TELEPHONE MANHOLE | --- | SIGN |
| □ | CATCH BASIN | ⊕ | OBSERVATION WELL |
| — | WATER LINE | --- | TREELINE |
| — | WATER VALVE | --- | CONTOUR ELEVATION |
| — | FIRE HYDRANT | --- | GAS LINE |
| — | GAS VALVE | | |

GRAPHIC SCALE



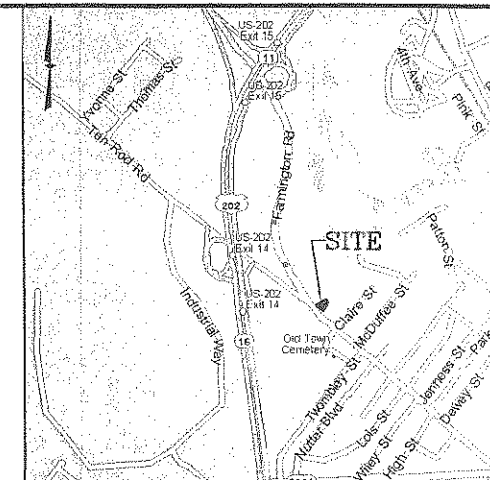
OWNER OF RECORD:

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211

LEGEND

UTILITY POLE	OVERHEAD SERVICE WIRES
DRAIN MANHOLE	DOUBLE SOLID YELLOW LINE
SEWER MANHOLE	SINGLE SOLID WHITE LINE
TELEPHONE MANHOLE	SIGN
CATCH BASIN	OBSERVATION WELL
WATER LINE	TREELINE
WATER VALVE	CONTOUR ELEVATION
FIRE HYDRANT	GAS LINE
GAS VALVE	(TBR) TO BE REMOVED
	-XXXXXX TO BE REMOVED

SEE EROSION CONTROL PLAN FOR
CONSTRUCTION SEQUENCE, TEMPORARY
EROSION CONTROL MEASURES, AND
LOCATION OF EROSION CONTROL DEVICES.



LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE CITY OF ROCHESTER PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS
- 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO CITY AND NHDOT STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 19) LIMITS OF PROPOSED TREE LINE TO BE MARKED PRIOR TO CUTTING.

OWNER OF RECORD:

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



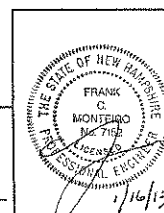
299 NORTH MAIN STREET
ROCHESTER, NH

CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

DEMOLITION PLAN

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

REVISIONS			33,136 SQUARE FEET
DATE	REV. BY	DESCRIPTION	
8/22/12	CMT	MISC. REVISIONS	0.761 ACRES
10/10/12	CMT	REVS. PER COND. OF APPROVAL	V# 0653
1/2/13	CMT	MISC. REVISIONS	Store# 5508
			Gas Station# 852811



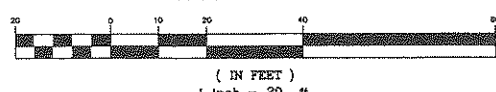
FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: *[Signature]* DATE: 3/19/13

NORTH MAIN STREET (NH ROUTE 11)

(PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

GRAPHIC SCALE



DIG SAFE
MA-ME-NH-RI-VT
1-888-DIGSAFE
NY-1-800-368-7962
CT-1-800-922-4455

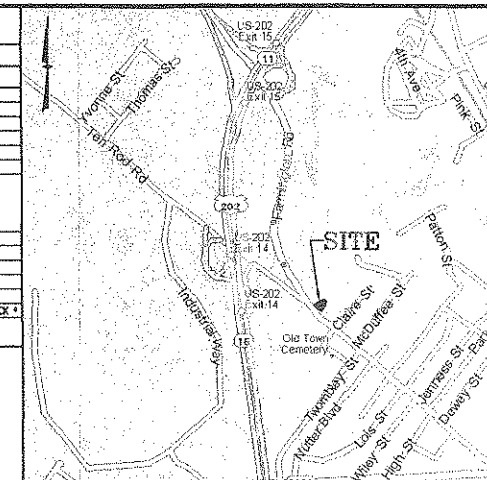
LEGEND

UTILITY POLE	OVERHEAD SERVICE WIRES
DRAIN MANHOLE	DOUBLE SOLID YELLOW LINE
SEWER MANHOLE	SINGLE SOLID WHITE LINE
TELEPHONE MANHOLE	SIGN
CATCH BASIN	OBSERVATION WELL
WATER LINE	TREELINE
WATER VALVE	CONTOUR ELEVATION
FIRE HYDRANT	GAS LINE
GAS VALVE	NUMBER OF PARKING SPACES

TABLE OF ZONING REGULATIONS - ROCHESTER, NH

DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA, SQ. FT.	NONE	33,136 SQ. FT.
MINIMUM LOT FRONTAGE	NONE	198.15'
MINIMUM FRONT YARD BUILDING SETBACK	NONE	25'
MINIMUM SIDE YARD BUILDING SETBACK	NONE	5'
MINIMUM REAR YARD BUILDING SETBACK	25'	59.2'
PARKING SPACE DIMENSIONS	9'x18'	9'x18'
MINIMUM NUMBER PARKING SPACES	CONVENIENCE STORE = 1/200 SF SALES AREA = 1,920 SF X 1/200 SF = 9.6 SPACES PLUS 1/600 SF STORAGE AREA = 2,581 SF X 1/600 SF = 4.3 SPACES. (14 SPACES REQUIRED)	16 SPACES (SEE NOTE 1) 20 SPACES INCL. SPACES AT DISPENSERS
MINIMUM FRONT LANDSCAPE SETBACK	15'	0'
MINIMUM SIDE LANDSCAPE SETBACK	10'	0'
MINIMUM REAR LANDSCAPE SETBACK	15'	34'
MAXIMUM BUILDING HEIGHT	30'	30'-10"
MAXIMUM LOT COVERAGE	50%	21%
FREESTANDING SIGN AREA, HEIGHT+SETBACK	75 SF PER SIDE, 30' HT, 10' SETBACK	106.8 SF PER SIDE, 25' HT, 2' SETBACK
WALL SIGN AREA	5 SF PER LINEAR FEET OF BUILDING FRONTAGE (104.17 LF X 5 SF/LF = 520.85 SF ALLOWED)	37.6 SF (SEE SHEET A3.1)

NOTES:
1. PARKING SPACES AT DISPENSER ALLOW 1/2 SPACE PER FUELING POSITION, THEREFORE 8 DISPENSERS ALLOW FOR 4 ADDITIONAL SPACES.
2. VARIANCES RECEIVED ON 7/12/12 (SEE NOTE 18)



LOCATION MAP (NOT TO SCALE)

NOTES:

- THE BOUNDARY INFORMATION SHOWN HEREON FOR MAP 115 LOT 41 IS THE RESULT OF A STANDARD BOUNDARY SURVEY BY THIS OFFICE.
- ASSESSORS MAP 115 LOT 41
- ZONING DISTRICT: BUSINESS 2
- LOT AREA = 33,136 Sq.Ft. = 0.761 Ac.±
- EXISTING USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 3,991 SF BUILDING CONSISTING OF A CONVENIENCE STORE & AT&T WIRELESS RETAIL STORE AND A FUEL DISPENSING AREA WITH 4 DISPENSERS (8 FUELING POSITIONS) AND AN OVERHEAD CANOPY.
PROPOSED USE: RETAIL MOTOR FUEL OUTLET WHICH INCLUDES A 4,501 SF CONVENIENCE STORE AND A FUEL DISPENSING AREA WITH 4 DISPENSERS (8 FUELING POSITIONS) AND AN OVERHEAD CANOPY.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, VOL. 56, NO. 144, DATED JULY 26, 1991, REVISED JULY 23, 2004.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN CONFLICTING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER AND THE STATE OF NEW HAMPSHIRE.
- MAP 115 LOT 41 LIES ENTIRELY WITHIN FLOOD ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN HEREON. THE ZONE X FLOOD ELEVATION IS 226.0 BASED ON NGVD'29. CONVERTED TO NAVD'83 IT IS 225.41. REFER TO THE FLOOD INSURANCE RATE MAP FOR THE CITY OF ROCHESTER, COMMUNITY PANEL NUMBER 33017C02110, EFFECTIVE DATE: MAY 17, 2005.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY CUMBERLAND FARMS.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREINAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
- ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
- ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON PROPERTY.
- ON JULY 11, 2012, THE ROCHESTER ZONING BOARD OF ADJUSTMENT GRANTED THE FOLLOWING VARIANCES:
ARTICLE 42.8, SECTION (C)(3) & (C)(5) OF THE CITY'S ZONING ORDINANCE TO PERMIT THE FOLLOWING: A PYLON SIGN SETBACK OF 2' FROM THE FRONT LOT LINE AND A FREESTANDING SIGN SIZE INCREASE TO 106 SF/SIDE, AND ALLOW (3) WALL SIGNS INCLUDING 2 CANOPY SIGNS AND 1 WALL MOUNTED BUILDING SIGN.
- NRCS SOILS DESIGNATION FOR STAFFORD COUNTY: WINDSOR

OWNER OF RECORD:

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



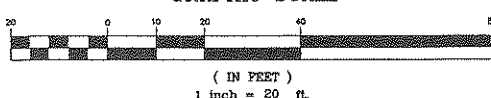
299 NORTH MAIN STREET
ROCHESTER, NH
CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702
SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 3047SP.dwg
DRAWN BY: CCC
CHECKED BY: CMT

SITE PLAN

MHF PROJECT NO. 304712 SHEET 4 OF 11



GRAPHIC SCALE



NORTH MAIN STREET (NH ROUTE 11)

(PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: *[Signature]* DATE: 3/19/13



REVISIONS			33,136 SQUARE FEET
DATE	REV. BY	DESCRIPTION	0.761 ACRES
8/22/12	CMT	REVISE CURBING	V# 0653
10/10/12	CMT	REV. PER COND. OF APPROVAL	Store# 5508
1/2/13	CMT	REV. HC RAMP	Gas Station# 852811

LEGEND

UTILITY POLE	OVERHEAD SERVICE WIRES
DRAIN MANHOLE	DOUBLE SOLID YELLOW LINE
SEWER MANHOLE	SINGLE SOLID WHITE LINE
TELEPHONE MANHOLE	SIGN
CATCH BASIN	OBSERVATION WELL
WATER LINE	TREELINE
WATER VALVE	CONTOUR ELEVATION
FIRE HYDRANT	GAS LINE
GAS VALVE	MEET EXISTING GRADE
C.O.	PROP. SPOT ELEVATION
CB-1	PROP. CATCH BASIN
DMH-1	PROP. DRAIN MANHOLE
SMH-1	PROP. SEWER MANHOLE
	PROP. CONTOUR ELEVATION
	PROP. SILT FENCE
	TOP OF WALL ELEV.
	BOTTOM OF WALL ELEV.
	PROP. GATE VALVE

DRAINAGE STRUCTURES

CB-1(STC)
RM=232.75
INV.OUT=229.75

CB-2
RM=233.90
INV.OUT=231.00

CB-3
RM=234.54
INV.IN=230.97
INV.OUT=230.87

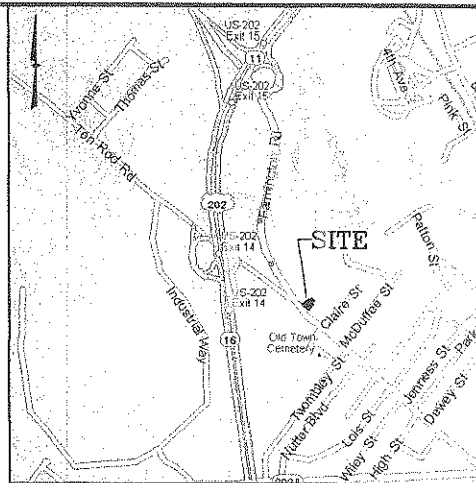
CB-4
RM=234.35
INV.OUT=231.35

PROP. UNDERGROUND DETENTION
SYSTEM #1 (UG DET-1)
(3)-30" S.D. (WT)
HOPE PIPES
80 LF/ROW, S=0.000 FT/FT
INV. PIPES=229.00
INV.IN=231.00(RD)
INV.IN=230.00(DMH-1)
INV.IN=229.50(CB-1)
INV.OUT=229.00(24")
(SEE DETAIL SHEET)

STC = STORMCEPTOR
WT = WATERTIGHT

DRAINAGE PIPE SCHEDULE

FROM:	PIPE SIZE (inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	SLOPE OF PIPE (ft./ft.)	TO:
CB-1	12	HDPE	40	0.006	UG DET-1
CB-4	12	HDPE	75	0.005	CB-3
CB-3	12	HDPE	63	0.006	DMH-1
CB-2	12	HDPE	63	0.006	DMH-1
DMH-1	12	HDPE	10	0.000	OCS-1
UG DET-1	24	HDPE	10	0.006	OCS-1
OCS-1	12	HDPE	12	0.034	EX. CB



LOCATION MAP

(NOT TO SCALE)

NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH WATER TIGHT JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC(SDR-35).
- 3) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 4) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 5) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 6) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 7) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 9) THIS SITE WILL NOT REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE DOES NOT EXCEED ONE ACRE (ACTUAL DISTURBANCE = 34,000 SF±).
- 10) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 11) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 12) SEE UTILITIES PLAN FOR DETAILED UTILITY LAYOUT.
- 13) THE APPLICANT SHALL FILE AN ANNUAL REPORT WITH THE ROLLINSFORD CONSERVATION COMMISSION AND PLANNING BOARD DOCUMENTING THAT RECOMMENDED AND/OR REQUIRED INSPECTION AND MAINTENANCE OF THE SEWAGE DISPOSAL AND STORMWATER TREATMENT SYSTEMS HAS BEEN PERFORMED IN ACCORDANCE WITH BOTH THE APPROVED SITE IMPROVEMENT PLANS AND WITH MANUFACTURERS GUIDELINES OR REQUIREMENTS.
- 14) CONTRACTOR IS TO FIELD ADJUST GRADES FOR THE TANK PAD TO SHED WATER.

OWNER OF RECORD:

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



299 NORTH MAIN STREET

ROCHESTER, NH



CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

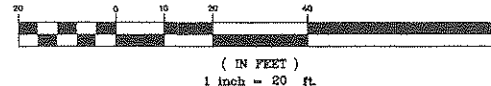
GRADING & DRAINAGE PLAN

SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 3047SP.dwg
DRAWN BY: CCC
CHECKED BY: CMT

MHF PROJECT NO. 304712 SHEET 5 OF 11



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

NORTH MAIN STREET (NH ROUTE 11)

(PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY:

DATE:



REVISIONS

DATE	REV. BY	DESCRIPTION
8/22/12	CMT	MISC. REVISIONS
10/10/12	CMT	REVS. PER COND. OF APPROVAL
1/2/13	CMT	REVS. PER UG ELECTRIC LAYOUT

33,136 SQUARE FEET

0.761 ACRES

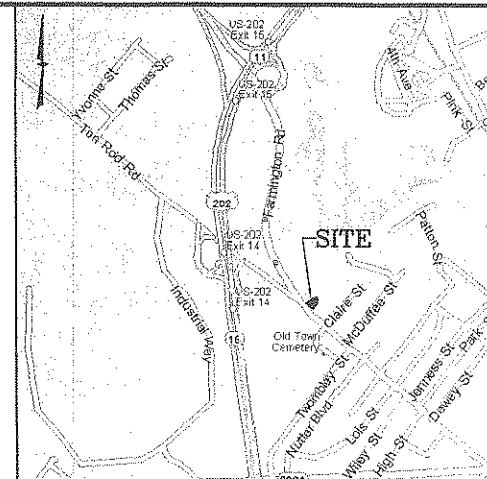
V# 0653

Store# 5508

Gas Station# 852811

LEGEND

UTILITY POLE	OVERHEAD SERVICE WIRES
DRAIN MANHOLE	DOUBLE SOLID YELLOW LINE
SEWER MANHOLE	SINGLE SOLID WHITE LINE
TELEPHONE MANHOLE	SIGN
CATCH BASIN	OBSERVATION WELL
WATER LINE	TREELINE
WATER VALVE	CONTOUR ELEVATION
FIRE HYDRANT	GAS LINE
GAS VALVE	PROP. GATE VALVE
C.O.	PROP. CLEANOUT
CB-1	PROP. CATCH BASIN
DMH-1	PROP. DRAIN MANHOLE
SMH-1	PROP. SEWER MANHOLE



LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 3) ELEVATIONS ARE BASED ON NVD 1929 DATUM.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.

OWNER OF RECORD:

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



44 Shiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

299 NORTH MAIN STREET
ROCHESTER, NH

CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702
SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 3047SP.dwg
DRAWN BY: CCC
CHECKED BY: CMT

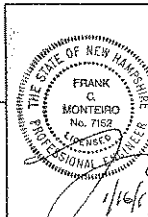
UTILITIES PLAN

MHF PROJECT NO. 304712 SHEET 6 OF 11

NORTH MAIN STREET (NH ROUTE 11) (PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

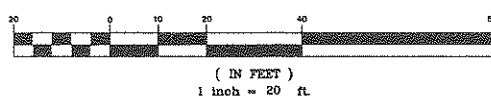
CERTIFIED BY: *[Signature]* DATE: 2/19/13



DATE	REV. BY	DESCRIPTION
8/22/12	CMT	MISC. REVISIONS
10/10/12	CMT	REVS. PER COND. OF APPROVAL
1/2/13	CMT	REVS. PER UG ELECTRIC LAYOUT

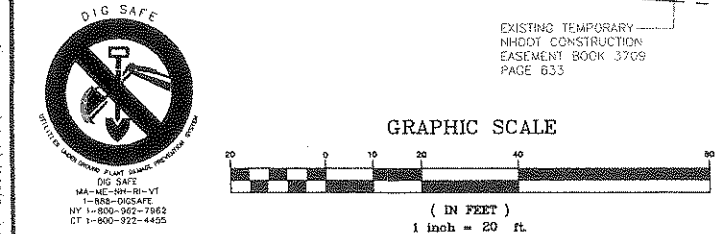
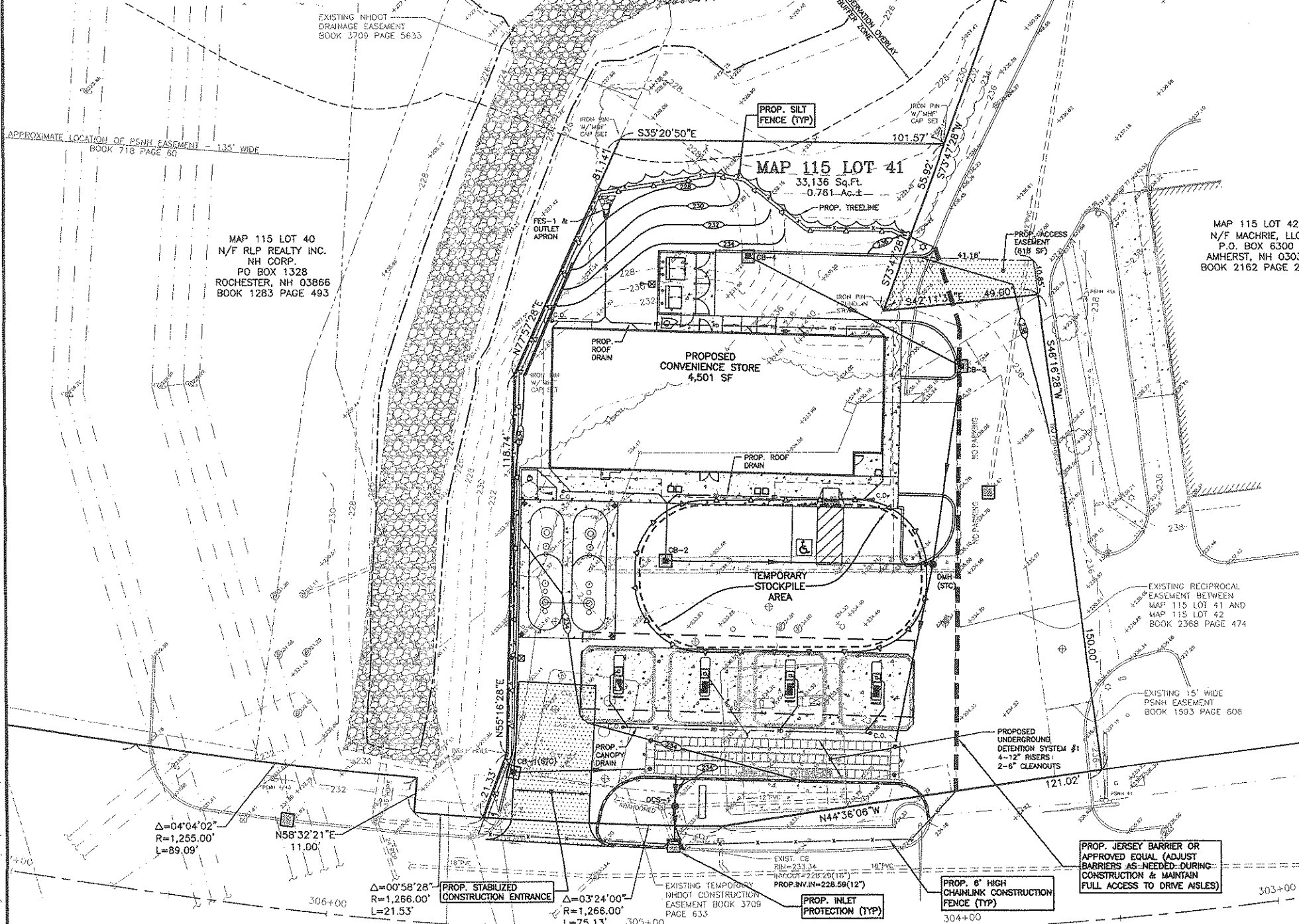
33,136 SQUARE FEET
0.761 ACRES
V# 0653
Store# 5508
Gas Station# 852811

GRAPHIC SCALE



F:\Projects\304712\304712.dwg UT 1/16/13 12:01pm DSA

	UTILITY POLE		OVERHEAD SERVICE WIRES
	DRAIN MANHOLE		DOUBLE SOLID YELLOW LINE
	SEWER MANHOLE		SINGLE SOLID WHITE LINE
	TELEPHONE MANHOLE		SIGN
	CATCH BASIN		OBSERVATION WELL
	WATER LINE		TREELINE
	WATER VALVE		CONTOUR ELEVATION
	FIRE HYDRANT		GAS LINE
	GAS VALVE		PROP. CONTOUR ELEVATION
	C.O.		PROP. SILT FENCE
	CB-1		PROP. CATCH BASIN
	DMH-1		PROP. DRAIN MANHOLE
	SMH-1		PROP. SEWER MANHOLE



NORTH MAIN STREET (NH ROUTE 11)
(PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

[Signature] 3/18/13

CERTIFIED BY: DATE:

- 1) CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
- 2) INSTALL SITE CONSTRUCTION FENCING & BARRIERS.
- 3) INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED.
- 4) REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDED TO PREVENT EROSION.
- 5) CONSTRUCT CLOSED DRAINAGE SYSTEM. PROTECT CULVERT INLETS AND CATCH BASINS WITH SEDIMENTATION BARRIERS.
- 6) PERFORM SITE GRADING, PLACING SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION.
- 7) BEGIN UNDERGROUND UTILITIES.
- 8) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEED OR COVERED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 9) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMES, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 10) BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
- 11) FINISH PAVING ALL DRIVES AND PARKING AREAS.
- 12) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITH SOILS UNLESS CONDITIONS DICTATE OTHERWISE.

- 1) SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 2) MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 3) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 4) STOCKPOILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEEDED TO PREVENT EROSION. THESE STOCKPILES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 5) ALL DISTURBED AREAS SHALL BE LOADED AND SEED. A MINIMUM OF 4 INCHES OF LEAF MULCH SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 6) SEED MIX SHALL CONSIST OF RED FESCUE (CREEPING), KENTUCKY BLUEGRASS, REDTOP, PERENNIAL RYEGRASS.
- 7) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 8) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 9) EXISTING CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION AS SHOWN ON PLAN "SEE DETAIL".
- 10) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 11) ALL Dewatering OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 12) ALL ROADWAYS TO BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 13) ALL CUT AND FILL SLOPES TO BE SEEDDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- 14) ALL EROSION CONTROL MEASURES TO BE INSPECTED EVERY 14 DAYS AND WITHIN 24 HOURS AFTER THE END OF A STORM WITH A RAINFALL GREATER THAN OR EQUAL TO 1/8 INCH.
- 15) THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED AT ONE TIME.
 - AH AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 70% VEGETATED GROWTH WITH NO BARE SPOTS HAS BEEN ESTABLISHED
 - MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- 17) ALL AREAS TO BE STABILIZED WITHIN 30 DAYS OF INITIAL DISBURSANCE

18) WINTER NOTES:

A) ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 70% VEGETATIVE COVER BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL, BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL, BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;

B) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 70% VEGETATIVE COVER BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL, BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS; AND

C) AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

19) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

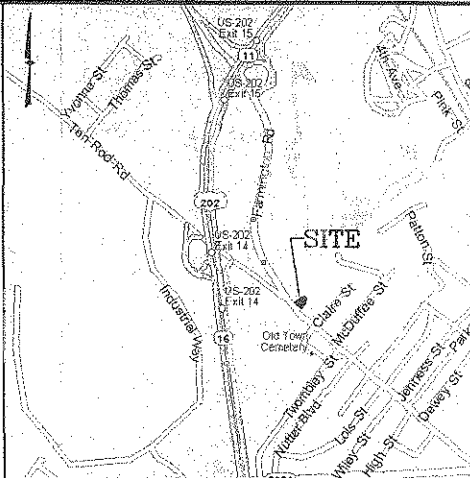
LIVESTONE: 75-100 LBS./1,000 SQUARE FEET.	
FERTILIZER: RATE RECOMMENDED BY MANUFACTURER.	
WAX MULCH: APPROXIMATELY 3 TONS/ACRE UNLESS MULCH/EROSION CONTROL MATTING IS USED.	
SEED MIX (SLOPES LESS THAN 4:1)	LBS./ACRE
CHEMPUNG RED FESCUE	20
TALL FESCUE	20
REDTOP	2
	TOTAL 42
SLOPE MIX (SLOPES 4:1 OR GREATER)	LBS./ACRE
CHEMPUNG RED FESCUE	20
TALL FESCUE	20
BROADFOOT TREFOIL	48
	TOTAL 88

20) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE WAX MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.

21) THIS SITE WILL NOT REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE IS LESS THAN ONE ACRE.

22) ONLY WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.

23) GRASS CONSTRUCTION FENCING SHALL BE PLACED AT THE LIMITS OF CONSTRUCTION TO PREVENT ADJACENT ENCROACHMENTS ON WETLANDS.



(NOT TO SCALE)

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



299 NORTH MAIN STREET
ROCHESTER, NH



CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

EROSION CONTROL PLAN

SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 3047SP.dwg
DRAWN BY: CCC
CHECKED BY: CMT

MHF PROJECT NO. 304712 SHEET 7 OF 11

①	UTILITY POLE		OVERHEAD SERVICE WIRES
②	DRAIN MANHOLE		DOUBLE SOLID YELLOW LINE
③	SEWER MANHOLE		SINGLE SOLID WHITE LINE
④	TELEPHONE MANHOLE		SIGN
⑤	CATCH BASIN		OBSERVATION WELL
⑥	WATER LINE		TREELINE
⑦	WATER VALVE		CONTOUR ELEVATION
⑧	FIRE HYDRANT		GAZ LINE
⑨	GAS VALVE		NUMBER OF PARKING SPACES

 PLANT QUANTITY
 XXX PLANT DESIGNATION
 PROPOSED SOD

ROCHESTER SITE PLAN REGULATIONS	REQUIRED	PROVIDED
5.D.(2) & (3) FRONT & SIDE LANDSCAPE BUFFER	15' WIDE FRONT LANDSCAPE BUFFER ALONG R.O.W. 10' WIDE SIDE LANDSCAPE BUFFER ALONG SIDE LOT LINE	(WAVYER REQUIRED)
5.D.(8a) PLANTING REQUIREMENTS	AT LEAST ONE BROAD-LEAVED TREE EVERY 40' OF FRONTAGE (NOT INCLUDING DRIVEWAYS)	(WAVYER REQUIRED)
5.D.(8c) PLANTING REQUIREMENTS	AT LEAST TWO SHADE TREES EVERY 40' APART, SHALL BE PLANTED WITHIN THE FRONT 50 FEET OF EACH SIDE BUFFER	(WAVYER REQUIRED)
5.E.(8) PARKING LOTS	NO SPOT ON PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM CENTER OF TRUNK OF TREE	(WAVYER REQUIRED)
5.E.(11) FOUNDATION PLANTING BUFFER	MINIMUM OF 4' WIDE LANDSCAPE BUFFER BETWEEN BUILDING AND PARKING LOT	(WAVYER REQUIRED)

(NOT TO SCALE)

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z280.1 -- NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- 5) ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA. ALL CLOSURE, LIMBS, LIMBS AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE COMPLETED BY GROUPS CLOSING SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

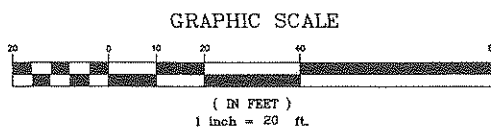
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
 FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF
 5-10-10.
 MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE

<u>SEED MIX (SLOPES LESS THAN 4:1)</u>	<u>LBS./ACRE</u>
CREEPING RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
	<u>2</u>
	42

<u>SLOPE MIX (SLOPES GREATER THAN 4:1)</u>	<u>LBS./ACRE</u>
CREEPING RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREFOIL	8
	<u>8</u>

- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND TOWN PRIOR TO INSTALLATION.
- 10) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 11) FOR SEED & SOIL AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR REUTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- 13) SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCERLOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- 14) EXPOSED SOILS SHALL BE SEEDED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 15) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- 16) THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED, SOIL AREAS AND SHRUB BEDS. THE SYSTEM SHALL INCLUDE A TIMER WITH RAIN SENSOR AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. SEE IRRIGATION PLAN FOR DETAILS.

MAP 115 LOT 41
VSH REALTY, INC.
100 CROSSING BOULEVARD
FRAMINGHAM, MA 01702
BOOK 1002 PAGE 211



NORTH MAIN STREET (NH ROUTE 11)
(PUBLIC - VARIABLE WIDTH - PLAN REF. #2)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY:

DATE 11/11/11[illegible]

	33,136 SQUARE FEET
	0.761 ACRES
AL	V# 0653
	Store# 5508



MHF Design Consultants, Inc.

299 NORTH MAIN STREET
ROCHESTER, NH

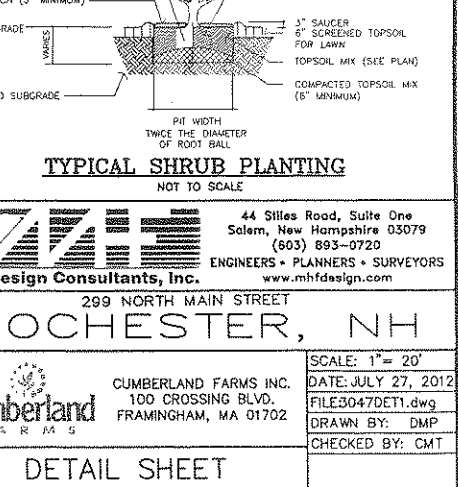
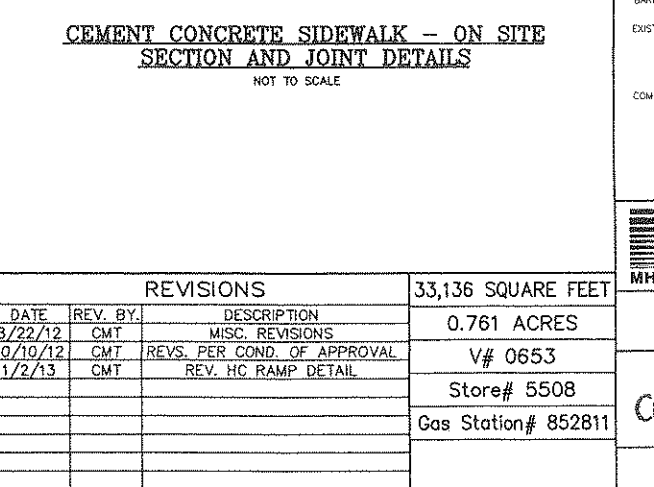
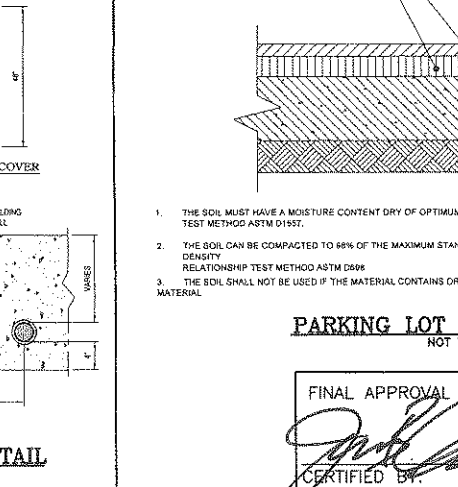
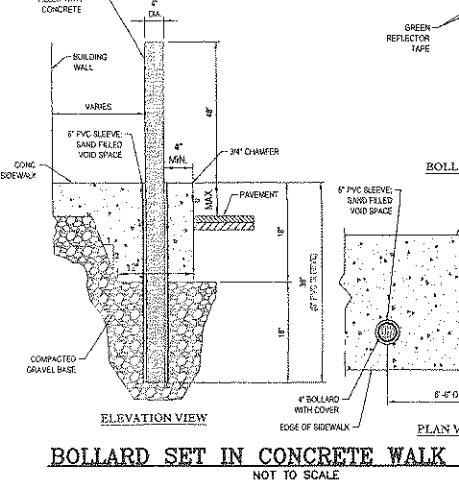
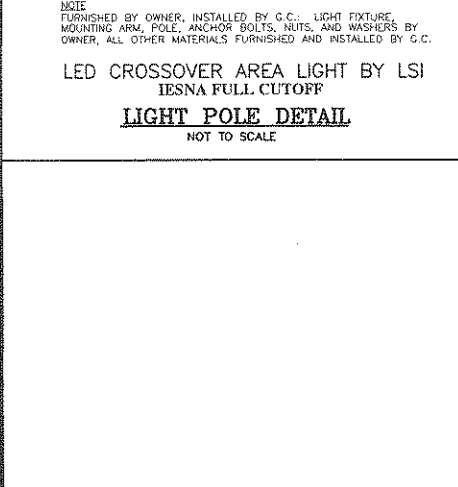
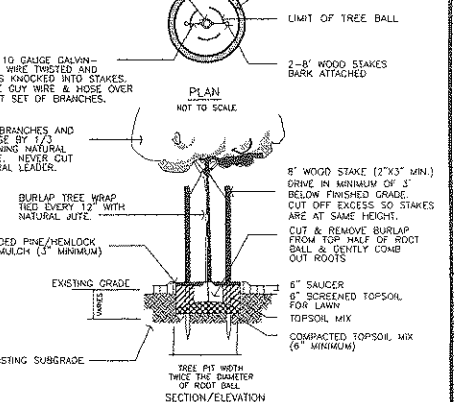
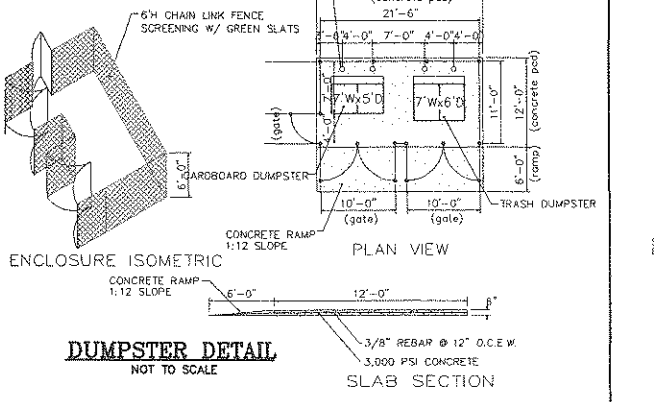
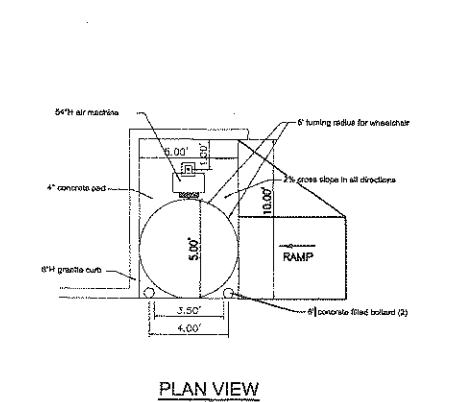
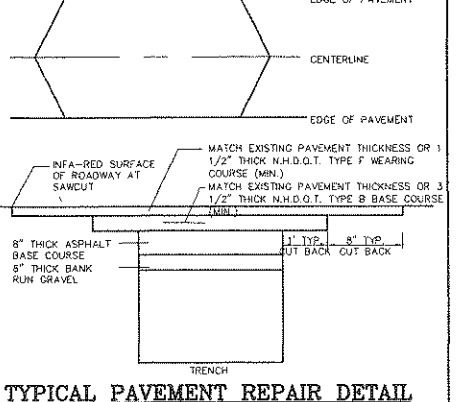
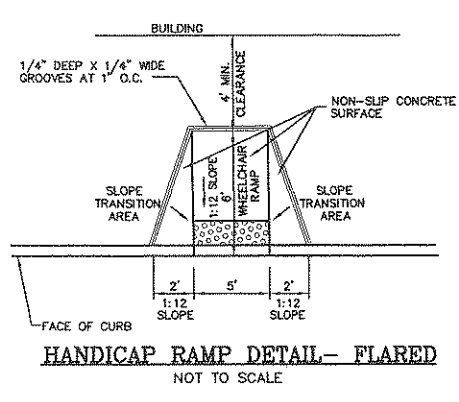
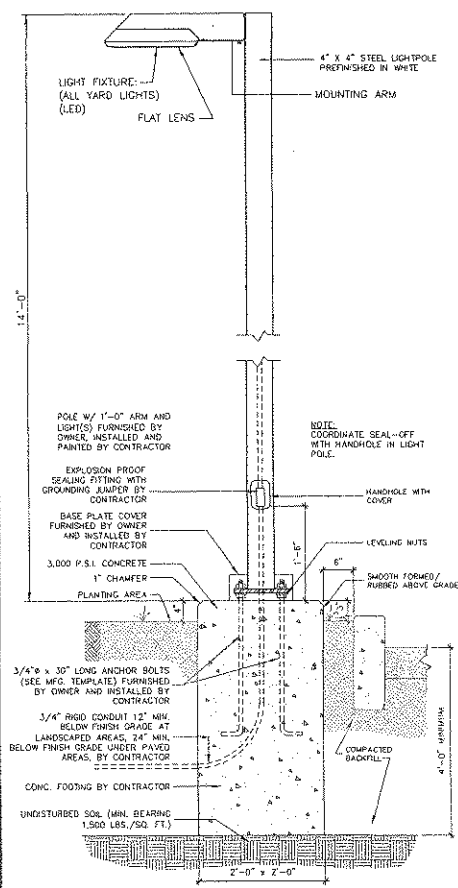
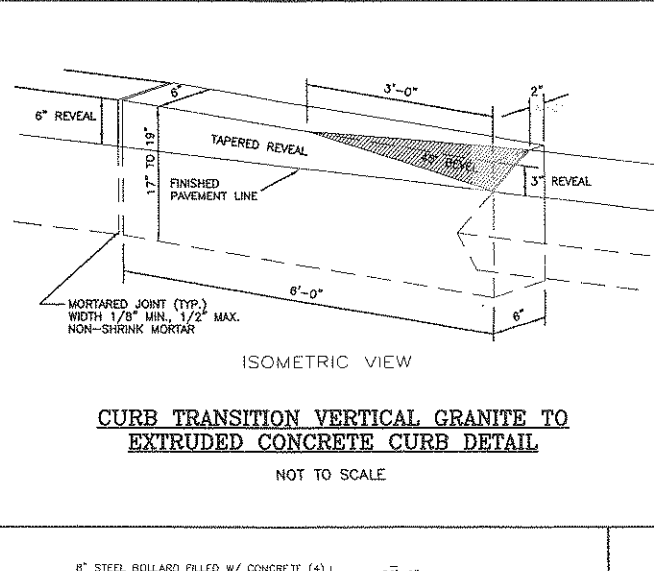
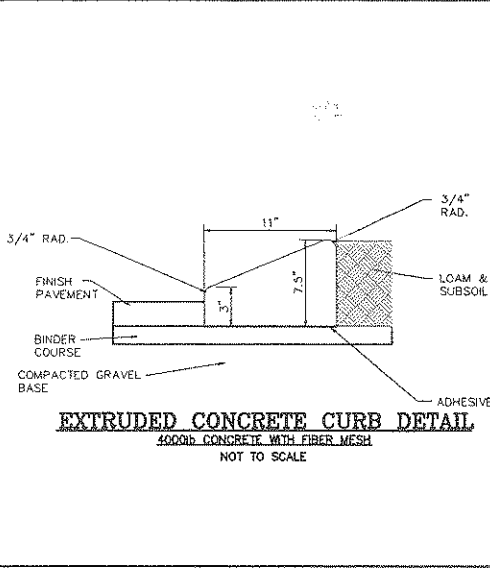
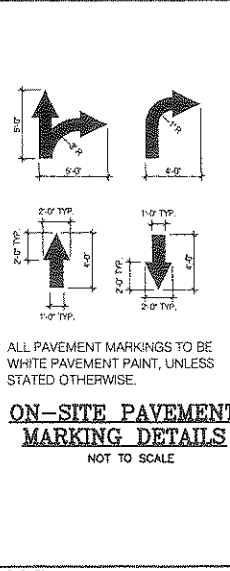
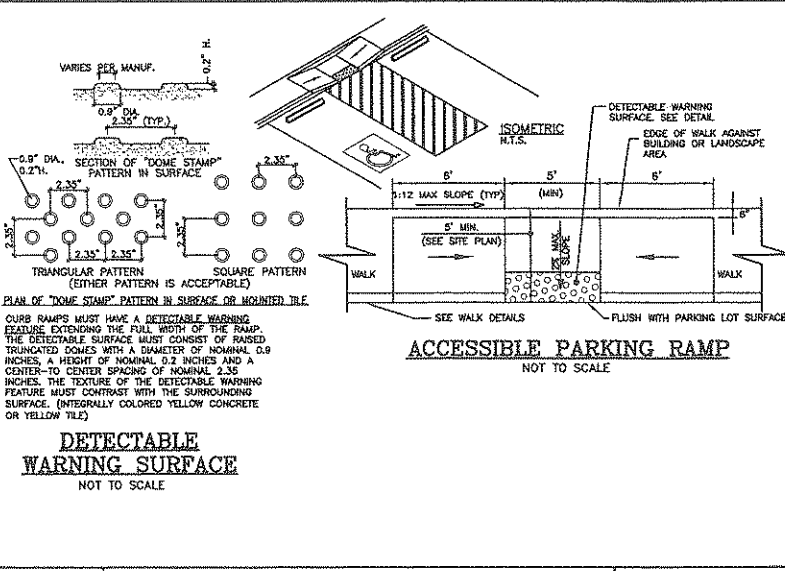
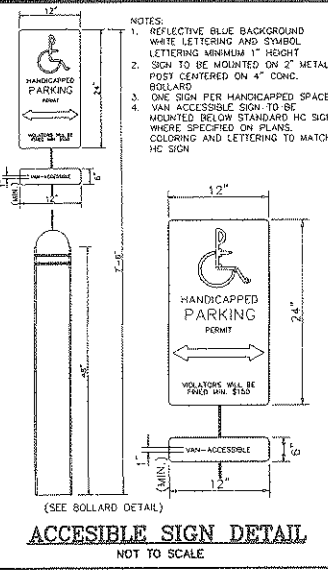
 CUMBERLAND FARMS INC.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

LANDSCAPE PLAN

SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 3047SP.dwg
DRAWN BY: CCC
CHECKED BY: CMT

MHF PROJECT NO. 304712 SHEET 8 OF 11

F:\Projects\DAO\304711\304711.dwg DET 1/15/13 1:38pm DSA



304711

PARKING LOT PAVEMENT DETAIL

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
3/19/13
DATE:



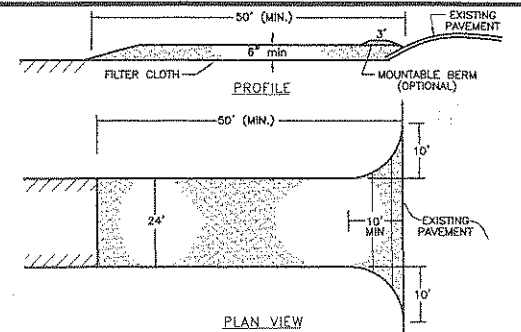
REVISIONS			33,136 SQUARE FEET 0.761 ACRES V# 0653 Store# 5508 Gas Station# 852811
DATE	REV. BY	DESCRIPTION	
8/22/12	CMT	MISC. REVISIONS	
10/10/12	CMT	REVS. PER COND. OF APPROVAL	
1/2/13	CMT	REV. HC RAMP DETAIL	

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

299 NORTH MAIN STREET
ROCHESTER, NH

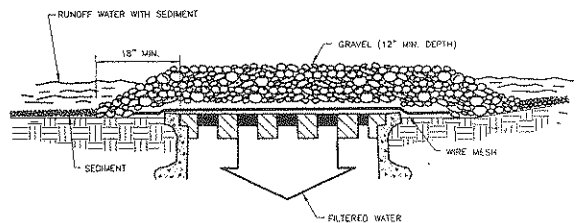
Cumberland Farms Inc.
100 CROSSING BLVD.
FRAMINGHAM, MA 01702

SCALE: 1" = 20'
DATE: JULY 27, 2012
FILE: 304711.dwg
DRAWN BY: DMP
CHECKED BY: CMT



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERGED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE CROPPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE PASSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT AND DEBRIS ONTO ADJACENT AREAS. THIS MAY REQUIRE REGULAR TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEELWASH IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

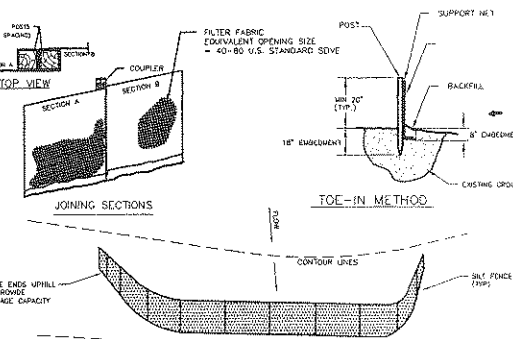
STABILIZED CONSTRUCTION
ENTRANCE DETAIL
NOT TO SCALE



CONSTRUCTION SEQUENCE:-

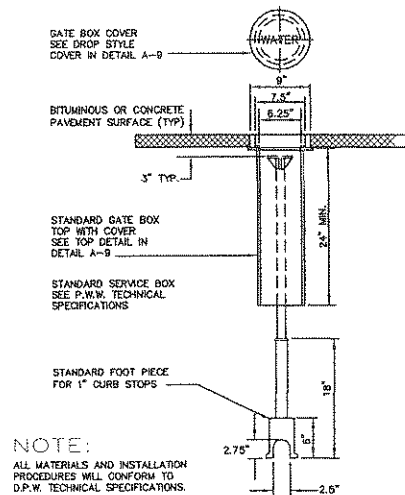
- 1) A WIRE MESH SHOULD BE PLACED OVER THE DRAIN INLET OR CURB OPENING SO THAT THE ENTIRE OPENING AND A MINIMUM OF 12 INCHES AROUND THE OPENING ARE COVERED BY THE MESH. THE MESH MAY BE ORDINARY HARDWARE CLOTH OR WIRE MESH WITH OPENINGS UP TO 1/2 INCH.
 - 2) THE WIRE MESH SHOULD BE COVERED WITH CLEAN COARSE AGGREGATE SUCH AS SEWER STONE TO A MINIMUM DEPTH OF 12 INCHES.
 - 3) THE COARSE AGGREGATE SHOULD EXTEND AT LEAST 18 INCHES ON ALL SIDES OF THE DRAIN OPENING.
- MAINTENANCE: ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM THE TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF 18 INCHES TO THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED FROM THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

ON-SITE INLET PROTECTION DETAIL
NOT TO SCALE

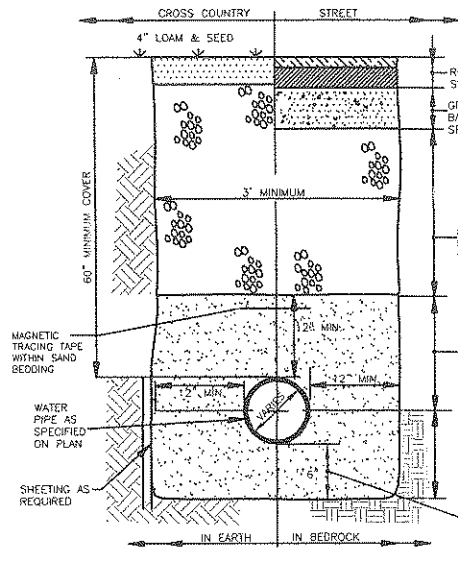


NOTES:

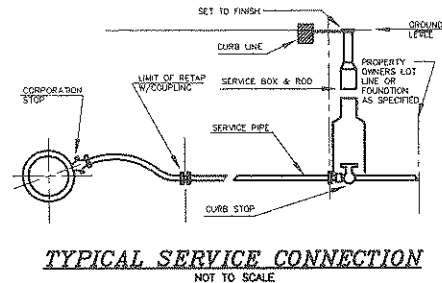
- 1) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES. FOLDED AND STAPLED.
- 2) MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. 3. ENDS OF THE FENCE SHALL BE PLACED UP CONTOUR OF THE FLOW TO TRAP SEDIMENT



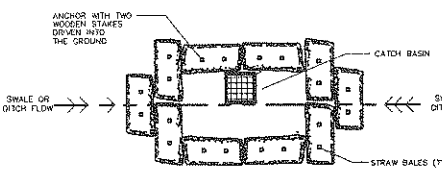
SERVICE BOX INSTALLATION
IN PAVEMENT
NOT TO SCALE



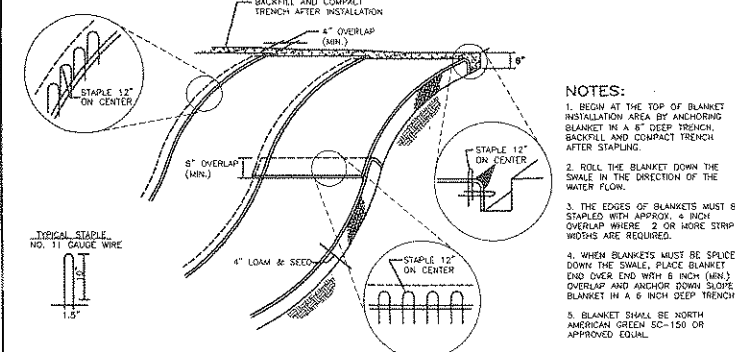
TYPICAL TRENCH SECTION
FOR WATER SERVICE
NOT TO SCALE



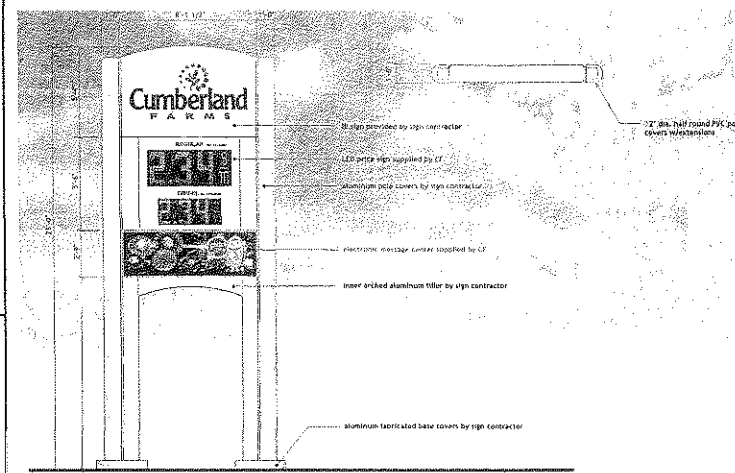
TYPICAL SERVICE CONNECTION
NOT TO SCALE



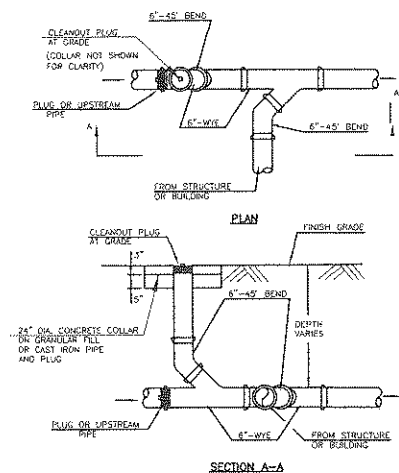
LOW POINT SEDIMENTATION
CONTROL BARRIER
NOT TO SCALE



BLANKET SLOPE PROTECTION FOR EROSION CONTROL

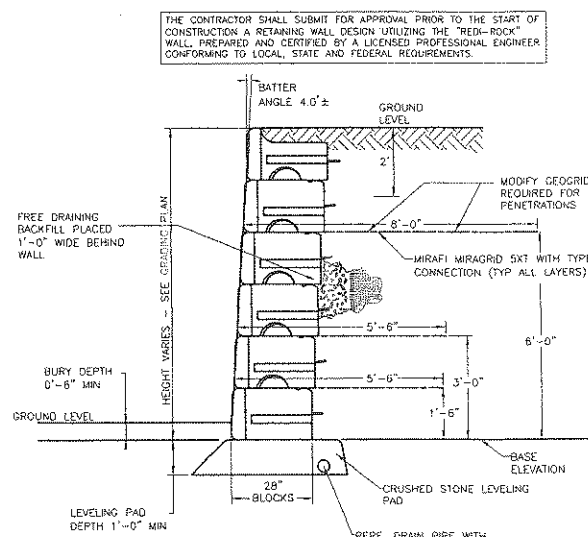


FREESTANDING SIGN DETAIL
NOT TO SCALE



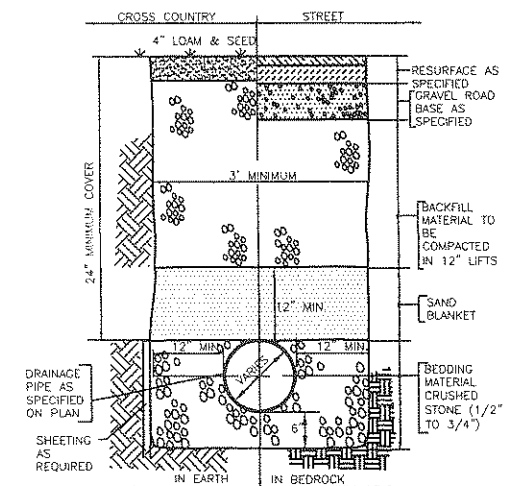
1. ALL PIPE AND FITTINGS SHALL CONFORM TO CITY OF NEW BRITAIN STANDARD SPECIFICATIONS
2. ALL PLUGS SHALL BE OF THE THREADED TYPE.
3. THIS DETAIL COULD ALSO BE USED FOR UNDERDRAIN CLEAN-OUT AS DIRECTED.

SEWER LATERAL CLEAN-OUT
NOT TO SCALE



- NOTE:
1. VERTICAL PLACEMENT FOR GEOGRID LAYERS IS MEASURED FROM THE BASE ELEVATION
 2. LENGTH OF GEOGRID IS MEASURED FROM THE FRONT FACE OF THE BLOCK
 3. 41" WIDE GEOCONNECTOR BLOCKS ARE ACCEPTABLE ALTERNATES FOR 28" WIDE BLOCKS.

TYPICAL RETAINING WALL SECTION
"REDI-ROCK"
NOT TO SCALE

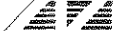


TYPICAL TRENCH SECTION FOR STORM DRAIN

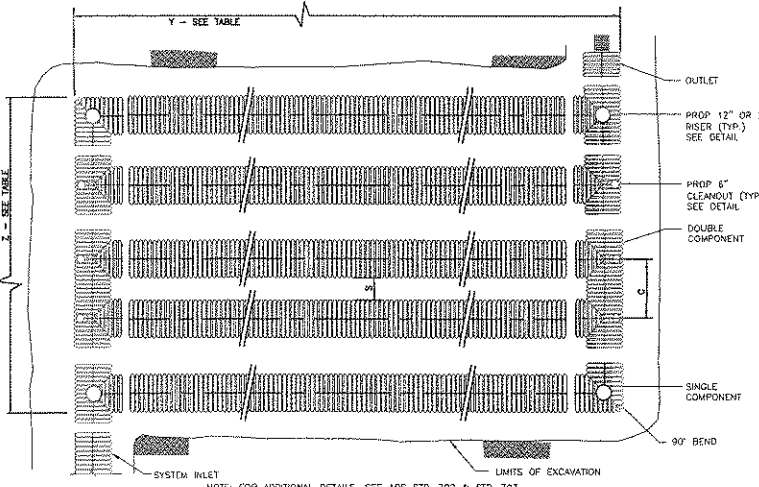
FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: [Signature] DATE: 3/19/12

[illegible]

	44 Siles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720
MHF Design Consultants, Inc.	ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com
299 NORTH MAIN STREET	
ROCHESTER, NH	
	CUMBERLAND FARMS INC. 100 CROSSING BLVD. FRAMINGHAM, MA 01702
SCALE: 1" = 20'	DATE: JULY 27, 2012
FILES0470ET2.dwg	DRAWN BY: DMP
CHECKED BY: GMT	DETAIL SHEET

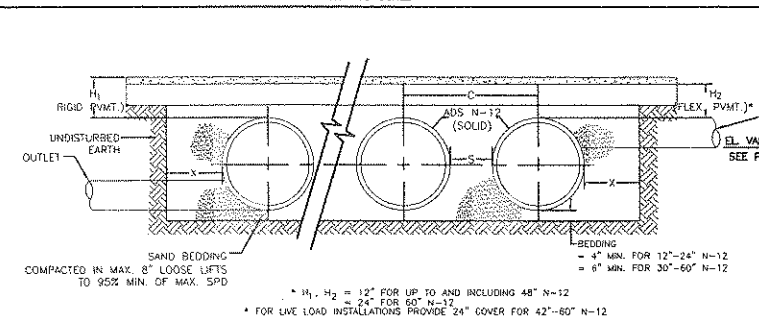
- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE, DUAL WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER. SUBSTITUTIONS AND SHOP DRAWINGS SHOULD BE APPROVED BY THE ENGINEER.
- 3) PARTS SPECIFICATIONS SHOWN ARE AS PROVIDED BY ADS, INC., OR APPROVED EQUAL. ANY CHANGES TO THESE SPECIFICATIONS SHOULD BE APPROVED BY DESIGN ENGINEER FOR PERFORMANCE.



UG DETENTION SYSTEM	LENGTH (Y)	WIDTH (Z)	SPACING (C) (O.C. TYP.)	PIPE SIZE (INCHES) SOLID	INV. PIPE ELEV. (A)	# PIPE ROWS
DETENTION SYS-1	80'	12'	53.1"	30"SOLID(WT)	229.00	3

* SEE TYPICAL CROSS SECTIONS BELOW
WT = WATERTIGHT JOINTS

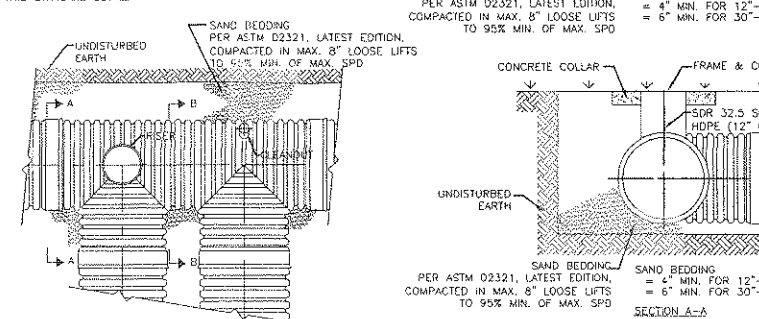
NOT TO SCALE



NOT TO SCALE

ADS STANDARD DETAILS DISCLAIMER

ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS STANDARD DETAIL TO DEMONSTRATE ADS' RECOMMENDED INSTALLATION OF ITS PRODUCTS FOR THE DEPICTED APPLICATION. IN ADDITION TO ADS' RECOMMENDATIONS, THERE MAY BE OTHER NATIONAL, STATE OR LOCAL SPECIFICATIONS THAT ARE PERTINENT TO THIS APPLICATION. ADS' STANDARD DETAIL IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS, AND ADS RECOMMENDS THAT THOSE REQUIREMENTS BE REVIEWED AND CONSULTED PRIOR TO THE INSTALLATION OF ADS' PRODUCTS. ADS HAS NOT AUTHORIZED, AND IT BEARS NO RESPONSIBILITY FOR, ANY REVISIONS, ALTERATIONS OR DEVIATIONS FROM THIS STANDARD DETAIL."

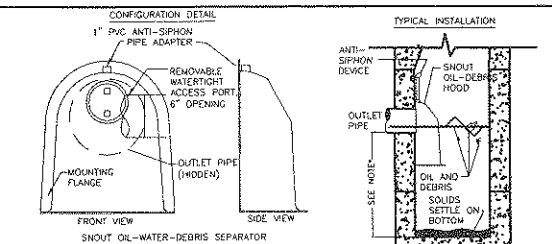


NOT TO SCALE

[illegible]

Notes:

- 1) Refer to ASTM D3231 for more complete soil descriptions.
- 2) Class I/II material has limited applications and can be difficult to place and compact; use ONLY with the approval of soil expert. Contact ASD for additional information regarding suitability of this backfill material.
- 3) N/A indicates that use of this material and/or compaction level is not recommended by ASTM D3231 for the backfill envelope.
- 4) When using open-graded material, additional precaution must be taken to reduce or eliminate the risk of migration of fines from adjacent material. Refer to ASTM D3231 for more complete information.



NOTES:
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC.
53 MT. ARCHER RD., LYME, CT 06371
(860) 434-0277. (860) 434-3195 FAX
TOLL FREE: (800) 504-8008

DR (888) 354-7585 WEB SITE: www.bstmp.com
OR PRE-APPROVED EQUAL

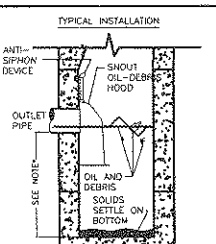
2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
3. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.

6. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES $\leq 12"$ ID.
6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE

- 8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE, WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION KIT)
- 9. IN-ALL-OTHER INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
 - A. INSTALLATION INSTRUCTIONS
 - B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
 - C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
 - D. 3/8" STAINLESS STEEL BOLTS
 - E. ANCHOR SHIELDS

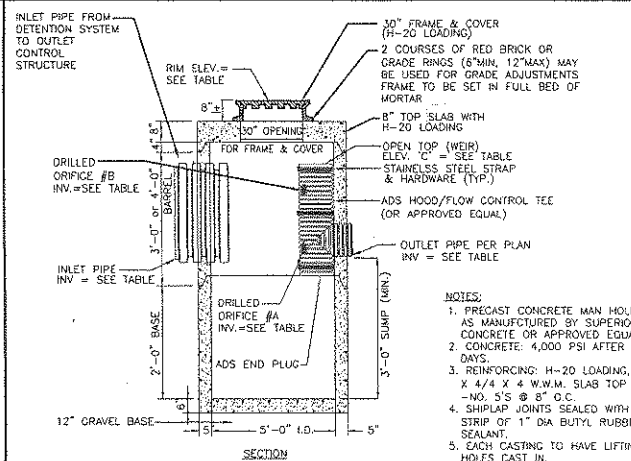
US Patent # 6,126,888

NOT TO SCALE



*NOTE
SUMP DEPTH OF 36" MIN. FOR <
OR= 12" DIAM. OUTLET. FOR OUTLETS
>OR= 15". DEPTH = 2.5-3X DIAM.

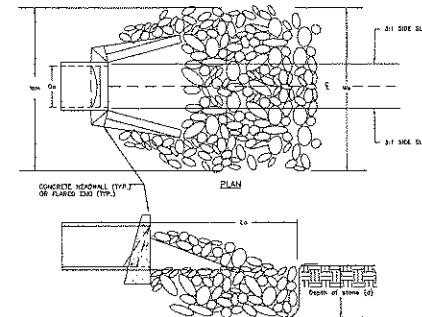
DRILLED HOLE	ANCHOR SHIELD	STAINLESS BOLT
EXPANSION CONE (NARROW END OUT)		
HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES		
DESCRIPTION OIL - DEBRIS HOOD SPECIFICATION AND INSTALLATION	DATE 08/08/00	SCALE NONE
	DRAWING NUMBER 10-98	



GCS	RIM	ORIFICE	SIZE (IN.)	ELEV.	IN.VIN (SIZE)	IN.VIN (ELEV)	IN.V.OUT (SIZE)	IN.V.OUT (ELEV)
#1	234.00	A	6" DIA.	228.00	24"	229.00	12"	229.00
		B	6" DIA.	230.00				
		C	12" DIA.	231.50				

PRECAST CONCRETE OUTLET CONTROL STRUCTURE
(GCS) FOR UNDERGROUND DETENTION SYSTEM

NOT TO SCALE



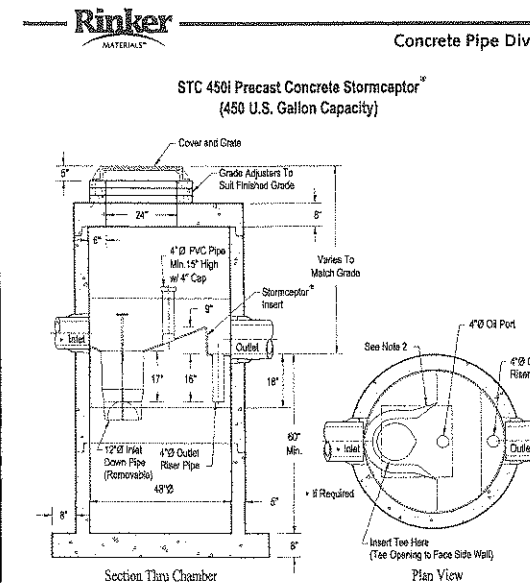
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT MAY CAUSE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

CONSTRUCTION NOTES:

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIPRAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OR RIPRAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARS DURING THE PLACEMENT OF THE ROCK OR RIPRAP. JOINTS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINTING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO LAY FLAT TOGETHER IN ONE OR MORE LAYERS AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF SIZES.
5. THE MEDIAN STONE DIAMETER FOR THE RIPRAP ARMOR IS 5 INCHES. FIFTY PERCENT BY WEIGHT OF THE RIPRAP ARMOR SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SHALL NOT EXCEED 12 INCHES.

OUTLET	Do	Co	Wm	We	d ₅₀	d	% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE FROM	TO
FES#1	6"	6"	1.5"	4'	3"	7"	100	4.5 INCHES	8.0 INCHES
							85	3.8 INCHES	5.4 INCHES
							50	3.0 INCHES	4.5 INCHES
							15	0.9 INCHES	1.5 INCHES

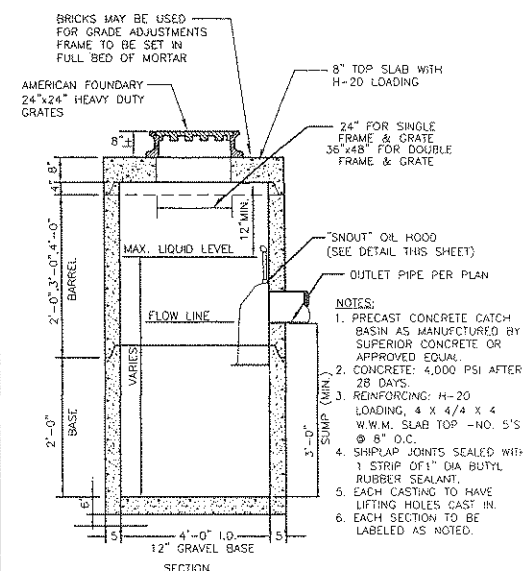
NOT TO SCALE



Notes:

1. The Use Of Flexible Connection Is Recommended At The Inlet and Outlet Where Applicable
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
3. The Stormceptor Systems is protected by one or more of the following U.S. Patents: #498514; #5498331, #5725760, #5753113, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

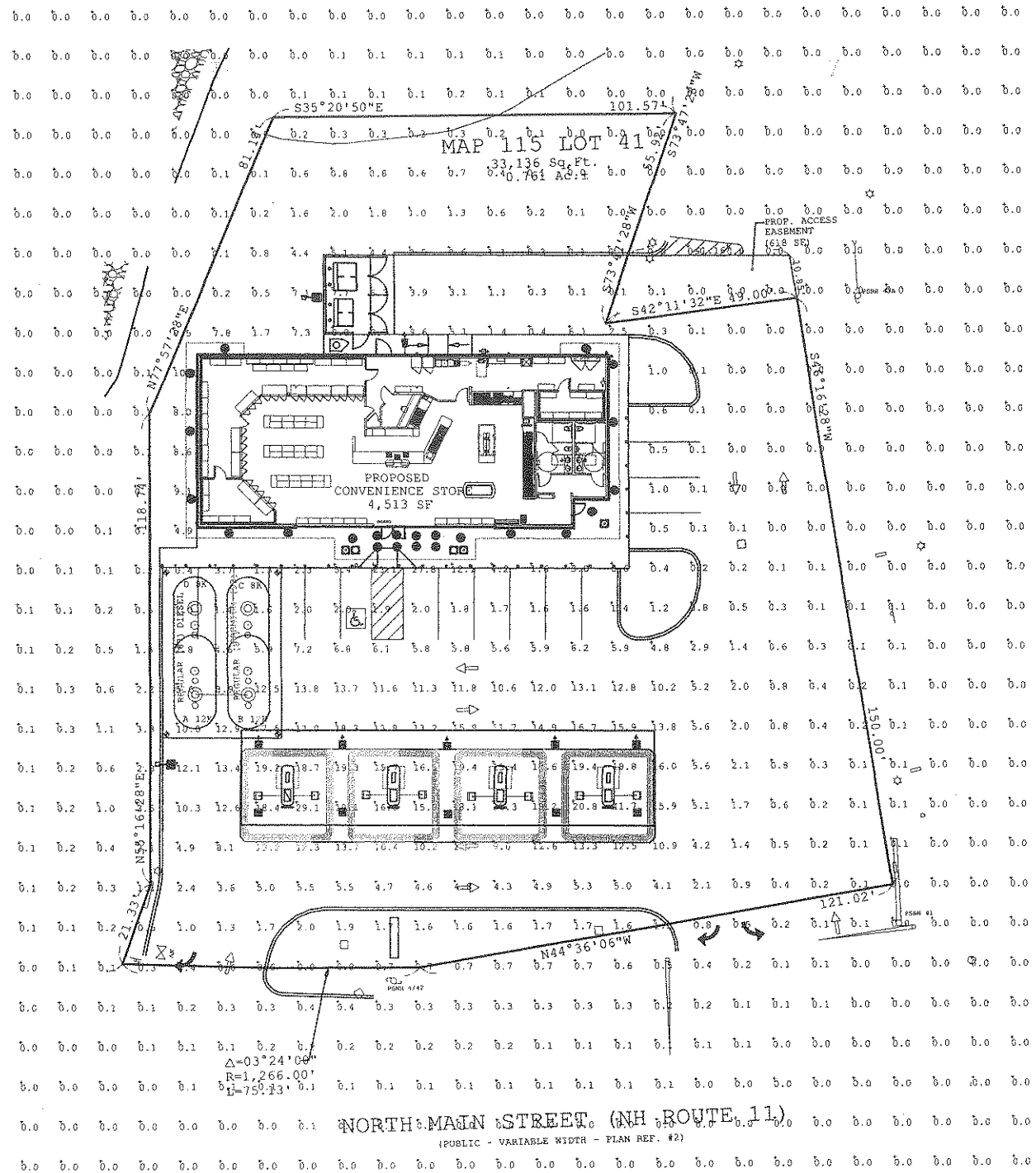
SEE DRAINAGE TABLE ON GRADING PLAN FOR LOCATIONS



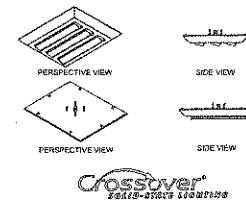
NOT TO SCALE

[illegible]

33,136 SQUARE FEET
0.761 ACRES
V# 0653
Store# 5508
Gas Station# 852811



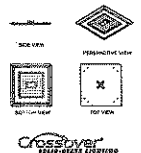
CRO3-FO
LED Crossover Focus Light



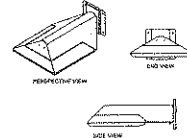
CRS-AC-LED-84
LED Crossover Gold Asymmetric Canopy Light



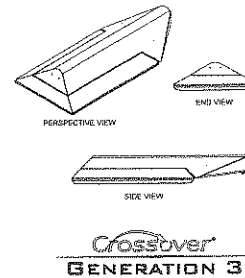
CRS-SC-LED-84
LED Crossover Gold Symmetric Canopy Light



XAWS3
LED Crossover Wall Light



XAM3
LED Crossover Area Light



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	2.07	41.7	0.0	N.A.	N.A.
DISPENSER VERTICAL READINGS_1	Illuminance	Fc	54.20	88.4	25.9	2.09	3.41
CANOPY SUMMARY	Illuminance	Fc	18.59	41.7	11.7	1.59	3.56
PARKING SUMMARY	Illuminance	Fc	4.03	13.8	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	8	A	SINGLE	CRO3-FO-LED-30-CW-UE	1.000	N.A.	2674	36.1
	5	B	SINGLE	CRS-SC-LED-84-SS-CW-UE	1.000	N.A.	10747	97
	5	C	SINGLE	CRS-AC-LED-84-SS-CW-UE	1.000	N.A.	10367	98
	2	D	SINGLE	XAM3-FT-LED-119-350-CW-UE-S-14' POLE + 2' BASE	1.000	N.A.	10028	138
	23	E	SINGLE	OM6LED27-R6LED40KWWCS (FIXTURE BY OTHER)	1.000	N.A.	1738	27
	1	G	SINGLE	XAWS3-FT-LED-63-350-CW-UE	1.000	N.A.	5201	75

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

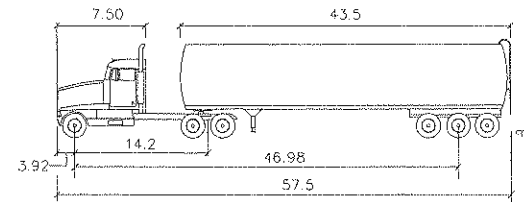
This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 2235.8

Lei INDUSTRIES™
LIGHTING PROPOSAL FOR
CUMBERLAND FARMS
NORTH MAIN
ROCHESTER, NH
SCALE: 1"=20'
DATE: 7/11/12
BY: JLS
SHEET 3 OF 3
LO- 112074

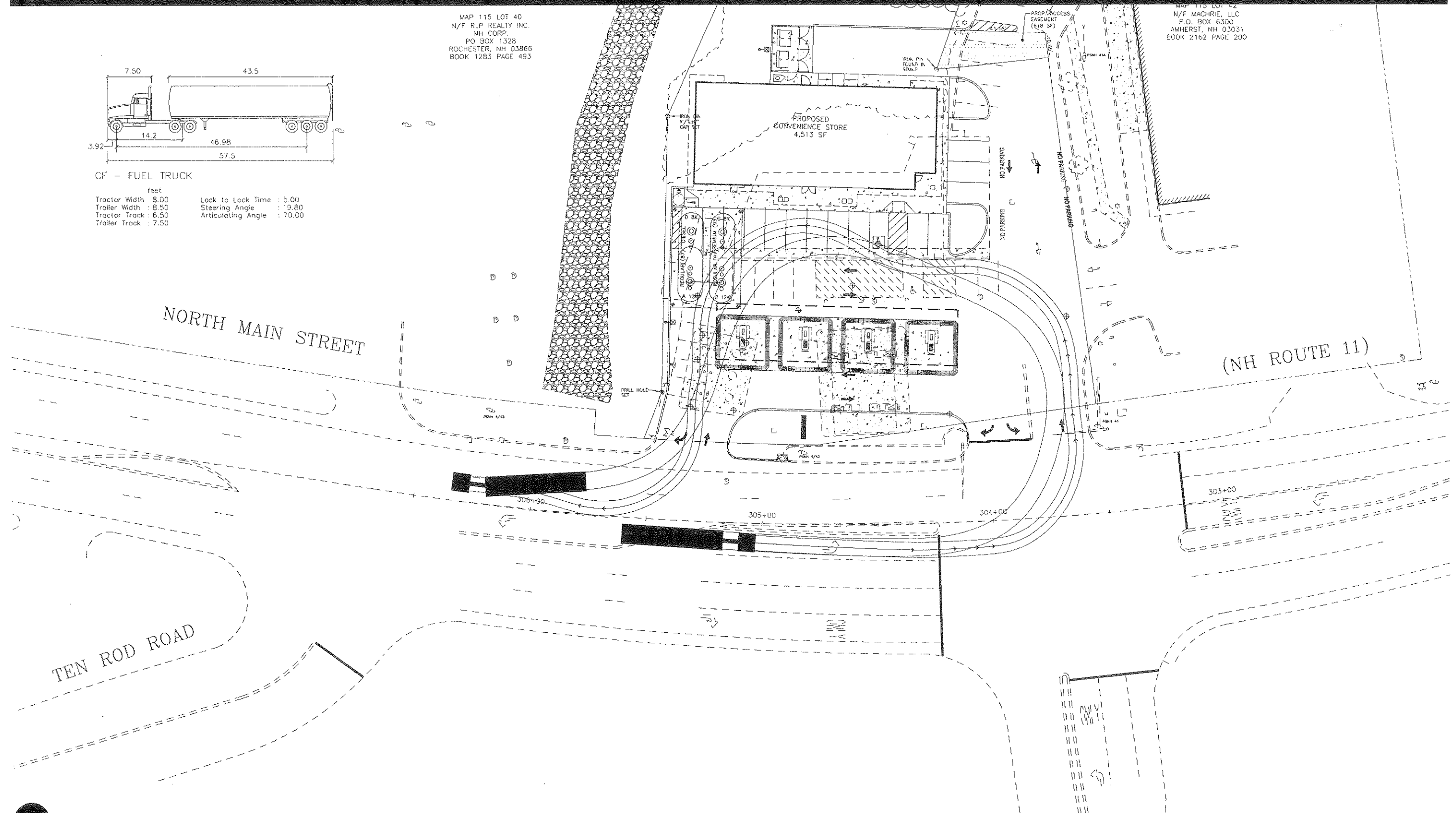
MAP 115 LOT 40
N/F RLP REALTY INC.
NH CORP.
PO BOX 1328
ROCHESTER, NH 03866
BOOK 1283 PAGE 493

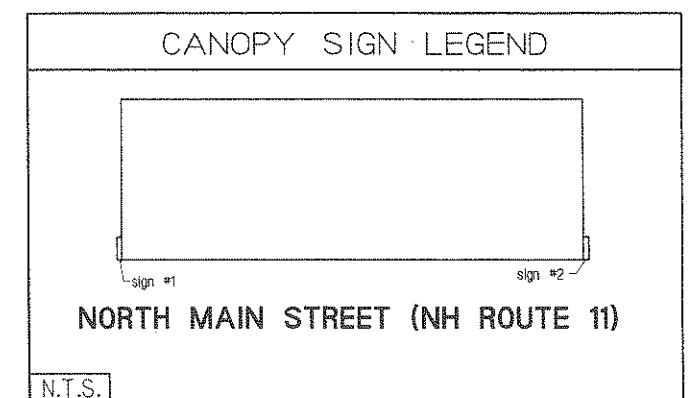
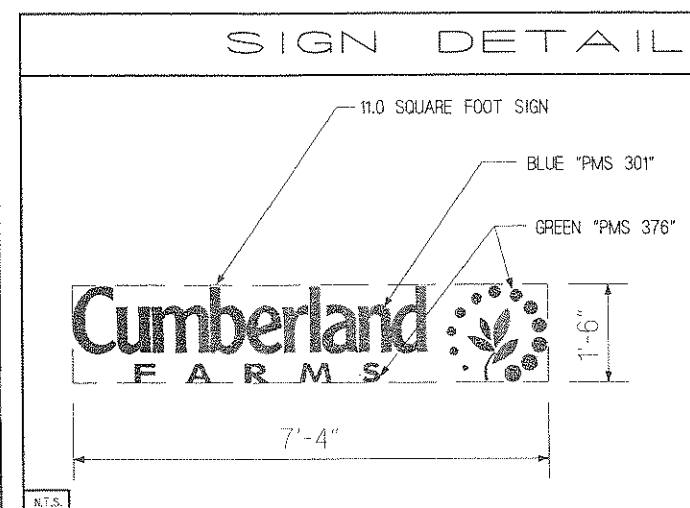
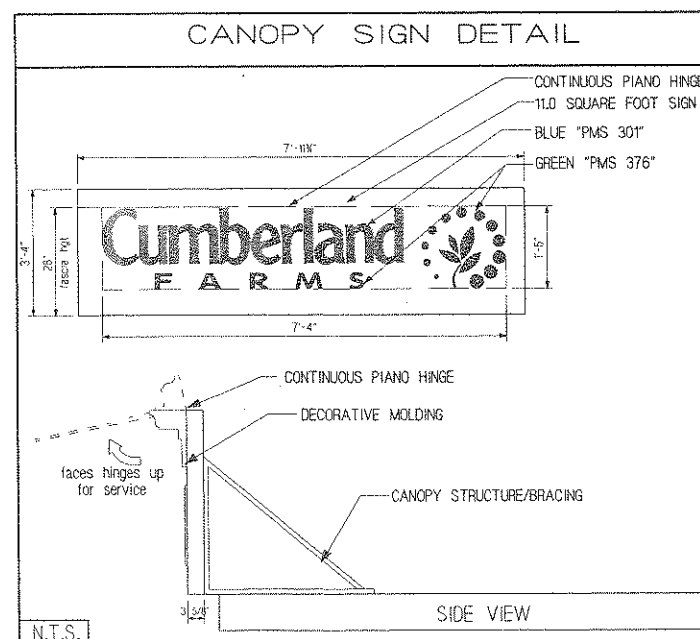
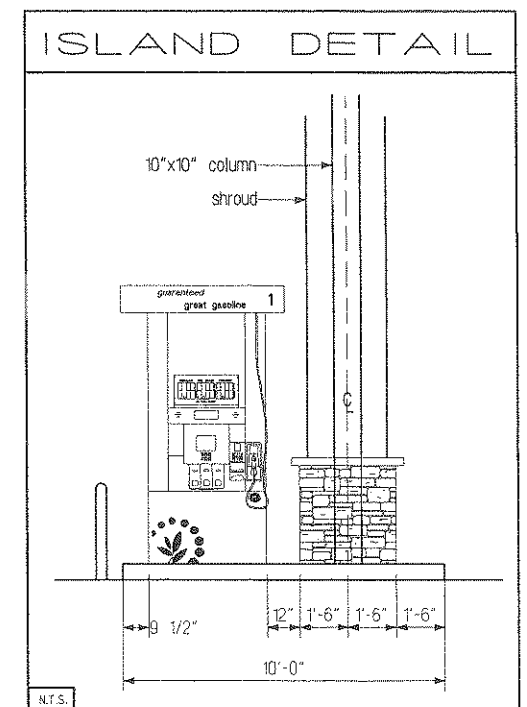
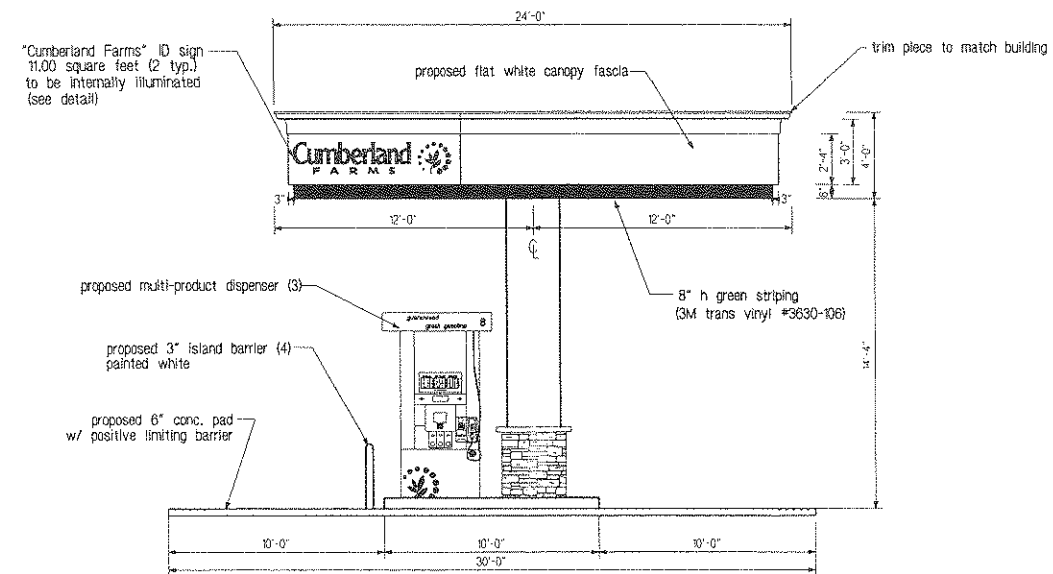
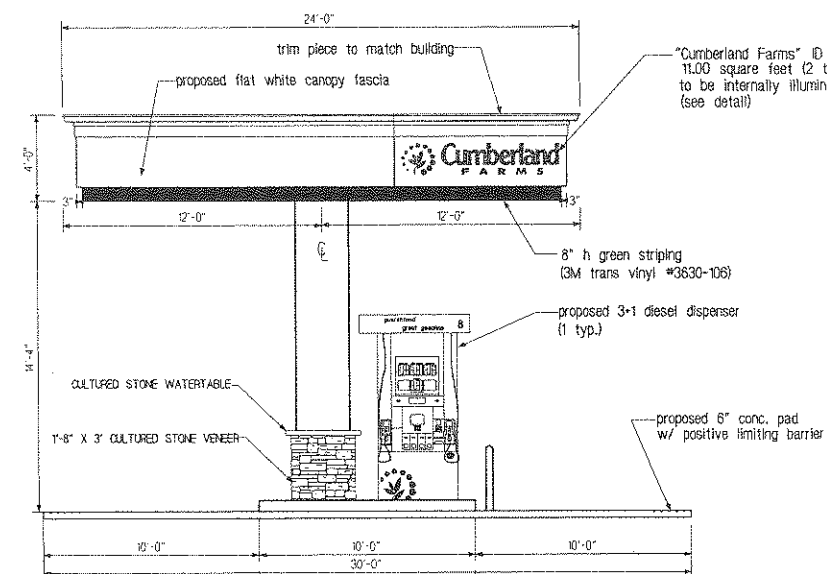
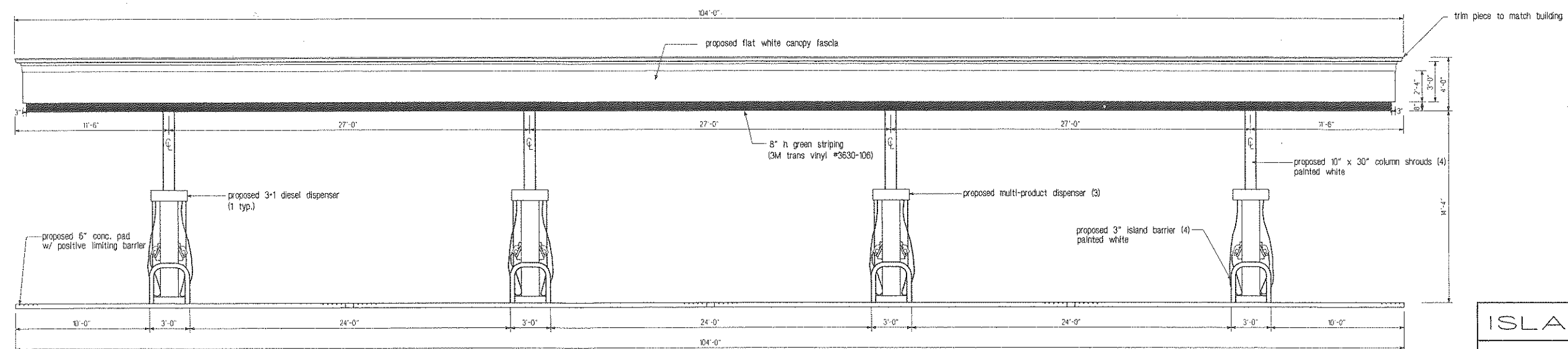
MAP 115 LOT 42
N/F MACHRIE, LLC
P.O. BOX 6300
AMHERST, NH 03031
BOOK 2162 PAGE 200



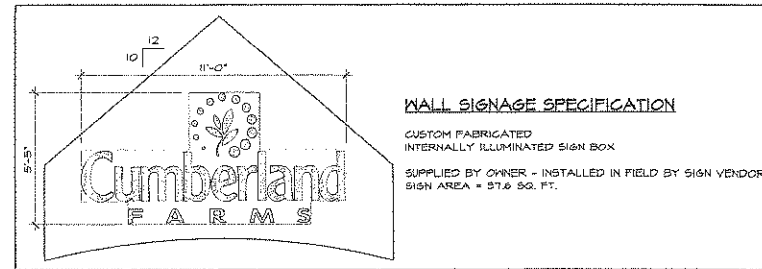
CF - FUEL TRUCK

feet
Tractor Width : 8.00 Lock to Lock Time : 5.00
Trailer Width : 8.50 Steering Angle : 19.80
Tractor Track : 6.50 Articulating Angle : 70.00
Trailer Track : 7.50





REVISIONS			V# 0653	299 & 301 NORTH MAIN STREET ROCHESTER, NEW HAMPSHIRE	
DATE	REV. BY	DESCRIPTION	Store# 5508	 CUMBERLAND FARMS, INC. 120 Crossing Boulevard Framingham, Massachusetts 01702 Cumberland F A R M S	SCALE: 1/4" = 1'-0"
7-27-12	RSP	SIGN DETAIL	Station# 852811		DATE: 5-25-12
					FILE: xcanopy/v0653
					DRAWN BY: RSP
					CHECKED BY:
				PROPOSED CANOPY ELEVATIONS	



3 FRONT WALL SIGNAGE DETAIL

EXTERIOR FINISH SPECIFICATIONS

SYNTHETIC WOOD FASCIA & TRIM:

TRIM & FASCIA BOARDS
AS MANUFACTURED BY CERTAINTED
FIBERGLASS, COLOR: WHITE (PT-5)
PAINT: WHITE (PT-5) ON ALL
EXPOSED SURFACES. TRIM
BOARDS TO BE 1/2" THICK, 4" WIDE
& 8' LONG. TRIM & FASCIA BOARDS
TO BE 1/2" THICK, 4" WIDE & 8' LONG.

FIBERGLASS COLUMN SHROUD:

PRE-MANUFACTURED FIBERGLASS
COLUMN SHROUD BY PACIFIC COLUMN
SHROUD, COLOR: WHITE (PT-5)
PAINT: WHITE (PT-5) ON ALL
EXPOSED SURFACES. TAPERED SMOOTH FINISH (WHITE)

GREEN STRIPE PAINT:

MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: RESILIENCE EXTERIOR
ACRYLIC LATEX PAINT (K49KST)
FINISH: SATIN

PRODUCT NUMBER:

FINISH: SATIN

FORMULA:

1X WHITE
2X GREEN
3X YELLOW

VINYL SIDING:

MANUFACTURED BY CERTAINTED
FIBERGLASS, COLOR: WHITE (PT-5)
PAINT: WHITE (PT-5) ON ALL
EXPOSED SURFACES. TRIM
BOARDS TO BE 1/2" THICK, 4" WIDE
& 8' LONG. TRIM & FASCIA BOARDS
TO BE 1/2" THICK, 4" WIDE & 8' LONG.

CULTURED STONE VENEER:

AS MANUFACTURED BY CROWN
CEMENT, COLOR: WHITE (PT-5)
PAINT: WHITE (PT-5) ON ALL
EXPOSED SURFACES. TRIM
BOARDS TO BE 1/2" THICK, 4" WIDE
& 8' LONG. TRIM & FASCIA BOARDS
TO BE 1/2" THICK, 4" WIDE & 8' LONG.

ARCHITECTURAL ASPHALT SHINGLES:

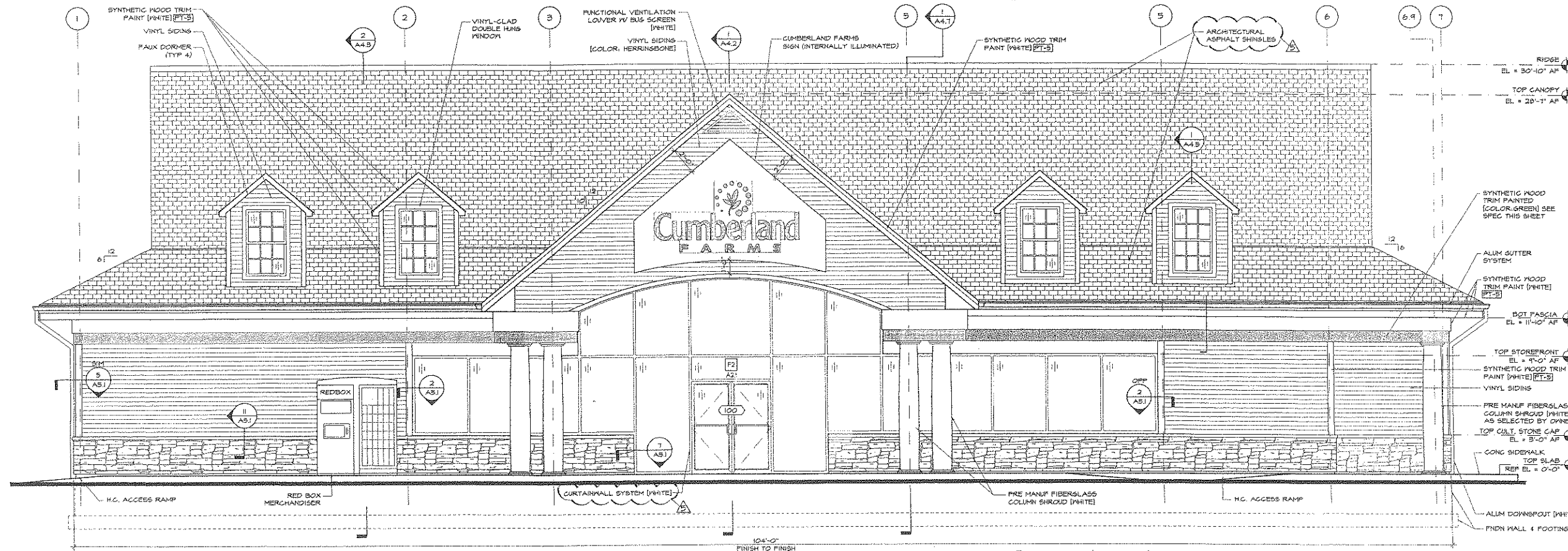
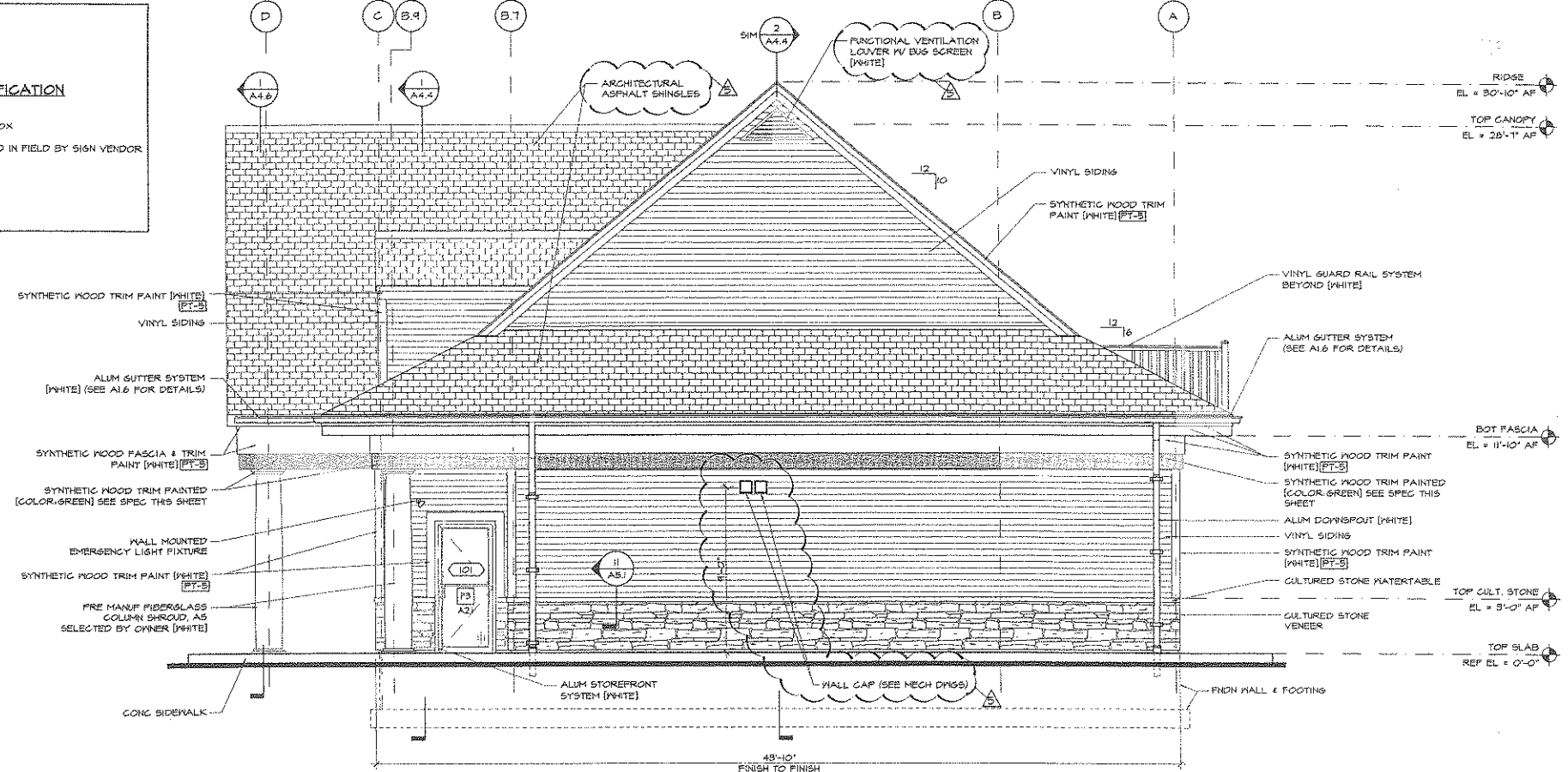
SEE A1.6

ALUM GUETER SYSTEM:

SEE A1.6

EXTERIOR ELEVATION NOTES

1) SEE A0.1 FOR SCHEDULE OF RESPONSIBILITIES

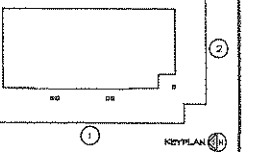


**AHARONIAN
& ASSOCIATES INC.
ARCHITECTS**

310 George Washington Highway
Suite 100
Smithfield, Rhode Island
02817
T 401-232-5010
F 401-232-5080
WWW.ARCH-ENG.COM

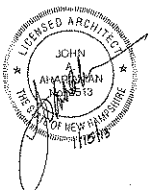
DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



REVISIONS

NUMBER	REMARKS	DATE
5	OWNER REVISIONS	1.15.13



FOR CONSTRUCTION

PROJECT TITLE

Cumberland Farms
100 Crossing Blvd, Framingham, Massachusetts
STORE # 5508
PROP # V0653
299 & 301 N. MAIN STREET
ROCHESTER, NH
Stafford County

DRAWING TITLE

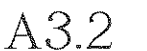
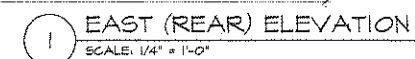
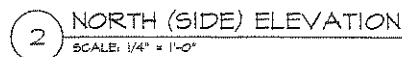
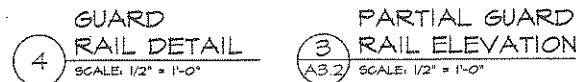
EXTERIOR ELEVATIONS

DATE OCT 4, 2012	PROJ NO 1285
DRAWN BY JJ	CHECKED BY DH/JW

DRAWING NUMBER

A3.1

- 1) REFER TO EXTERIOR FINISH SCHEDULE FOR VINYL RAILING SYSTEM MATERIAL SPECIFICATIONS.
- 2) PROVIDE (1) ROOF ACCESS GATE AS INDICATED IN ELEVATIONS WITH (2) STAINLESS STEEL ADJUSTABLE KNUSES, (4) STAINLESS STEEL GATE LATCH AND STAINLESS STEEL SCREWS AND ACCESSORIES.
- 3) MOUNT TOP GATE HINGE SO THAT TOP OF HINGE LINES UP WITH THE BOTTOM OF THE TOP RAIL, OF THE GATE. MOUNT BOTTOM GATE HINGE SO THAT THE BOTTOM OF THE HINGE LINES UP WITH THE TOP OF THE BOTTOM RAIL OF THE GATE.
- 4) PILE HOLES SHALL BE DRILLED IN ALL GATE SECTIONS AS REQUIRED TO ACCEPT SCREWS.



SPECIFICATIONS

BUILDING FIRE EXTINGUISHER

LARSON MODEL MP10, 10 LBS
MULTIPURPOSE DRY CHEMICAL UNIT FIRE
EXTINGUISHER WITH WALL MOUNTING
BRACKETS, 1L RATING 4A-80B:C, or
OTHER APPROVED EQUAL.

FIRE EXTINGUISHERS SHALL BE
INSTALLED IN ACCORDANCE WITH NFPA
13 AND MANUFACTURER'S INSTRUCTIONS.

FIRE EXTINGUISHERS SHALL BE
INSTALLED BY GENERAL CONTRACTOR
WITH FINAL PLACEMENT IS TO BE
COORDINATED IN THE FIELD BY THE
CONTRACTOR WITH THE LOCAL
AUTHORITY HAVING JURISDICTION.

NOTE:
REFER TO SITE DRAWINGS FOR QUANTITY,
PLACEMENT & DETAILS OF BOLLARDS.

LEGEND

XXX

DOOR NUMBER
SEE A2.1 FOR SCHEDULE
& DETAILS

FX

FRAME TYPE
SEE A2.1 FOR DETAILS

X

PARTITION TYPE
(SEE SHEET A1.0)

X-A-X

ELEVATION
NUMBER/SHEET

FS

FLOOR SINK
(SEE PLUMBING DWGS)

FD

FLOOR DRAIN
(SEE PLUMBING DWGS)

FCO

FLOOR CLEAN OUT
(SEE PLUMBING DWGS)

ID

INDIRECT DRAIN
(SEE PLUMBING DWGS)

FE

FIRE EXTINGUISHER



**AHARONIAN
& ASSOCIATES INC.**
ARCHITECTS

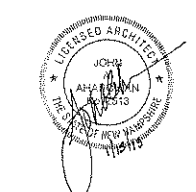
310 George Washington Highway
Suite 100
Smithfield, Rhode Island
02917
T 401-232-5810
F 401-232-5880
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND
SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL
SERVICE AND SHALL REMAIN THE PROPERTY OF THE
ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED,
IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR
PURPOSES OR BY ANY OTHER PARTIES THAN THOSE
PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE
EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

REVISIONS

NUMBER	REMARKS	DATE
2	OWNER REVISIONS	11.7.12
5	OWNER REVISIONS	1.15.13



FOR CONSTRUCTION

PROJECT TITLE

Cumberland Farms

100 Crossing Blvd, Framingham, Massachusetts

STORE # 5508
PROP # V0653

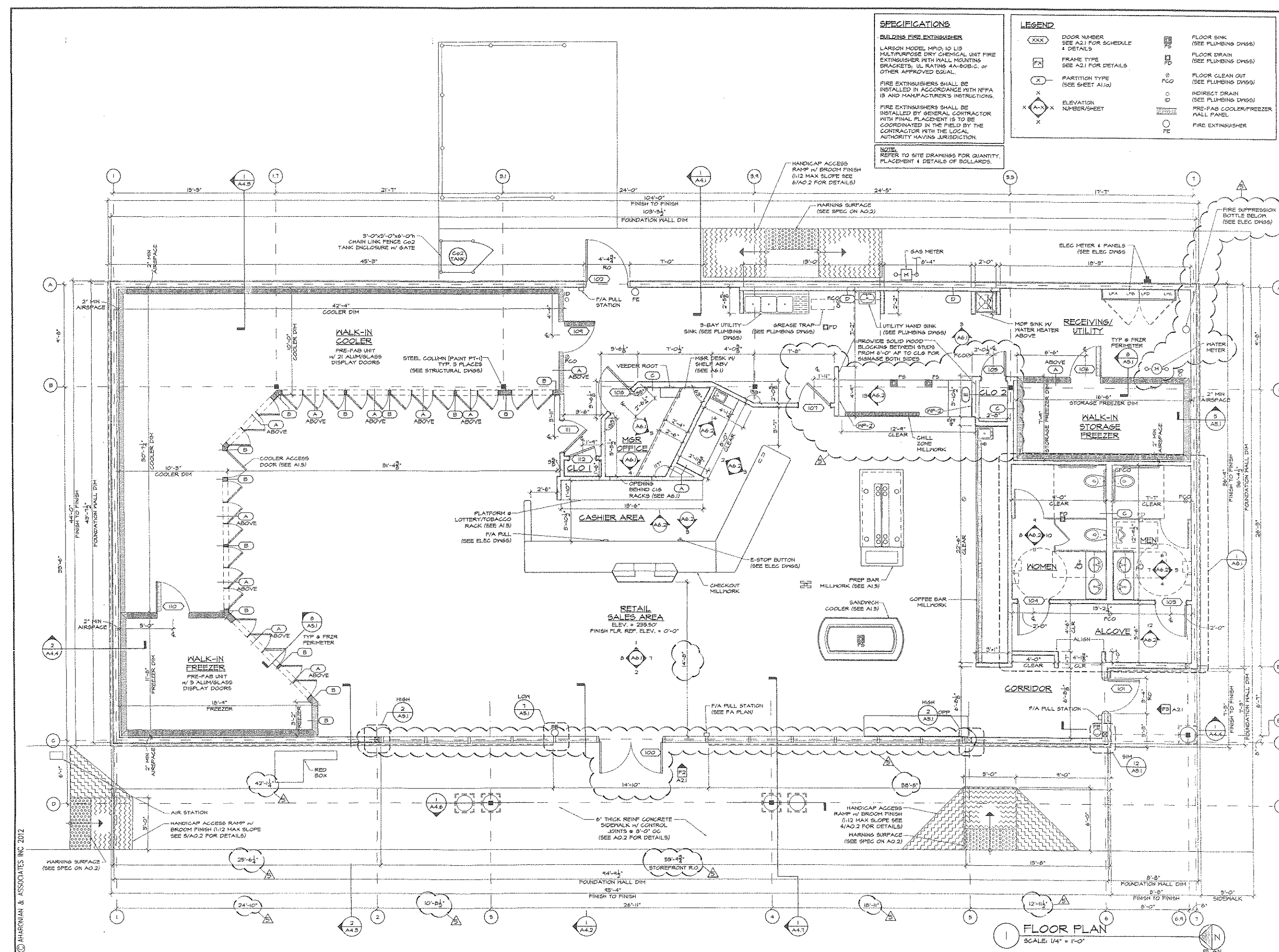
299 & 301 N. MAIN STREET

ROCHESTER, NH
Strafford County

DRAWING TITLE

FLOOR PLAN

DATE OCT 4, 2012	PROJ NO 1285
DRAWN BY MD/JJ	CHECKED BY DH/JM
DRAWING NUMBER A1.1	



© AHARONIAN & ASSOCIATES INC 2012



AHARONIAN
& ASSOCIATES INC.
ARCHITECTS

310 George Washington Highway
Suite 100
Smithfield, Rhode Island
02817
1 401-232-3010
1 401-232-5889
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE RESTRICTIONS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

REVISIONS

NUMBER	REMARKS	DATE
1	OWNER REV	5/31/12
2	OWNER REV	7/27/12

FOR REVIEW

PROJECT TITLE


**Cumberland
Farms**
100 Crossing Blvd, Framingham, Massachusetts
STORE # 5434
PROP # V1806
299 & 301 N. MAIN STREET
ROCHESTER, NH
Strafford County

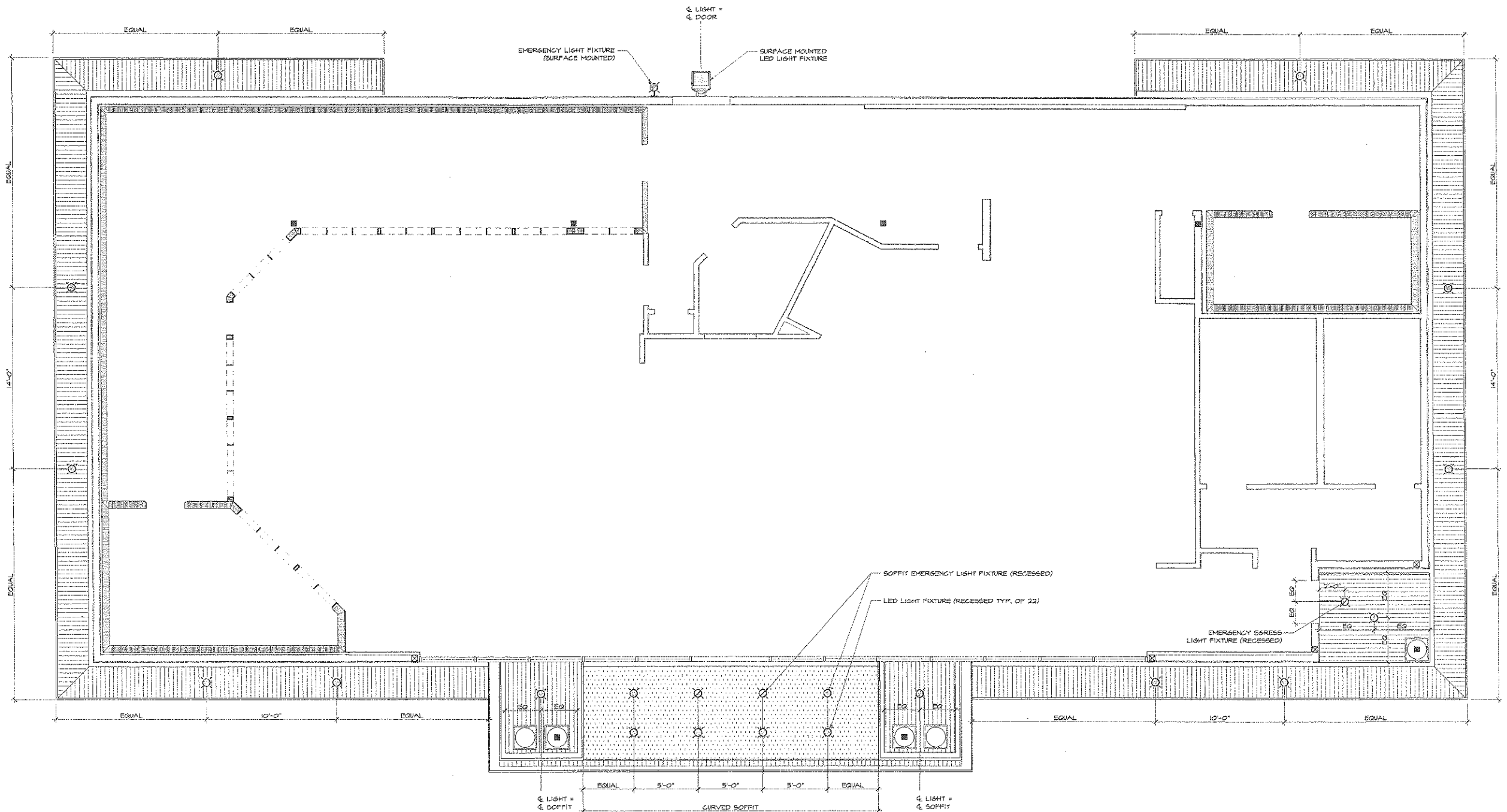
DRAWING TITLE

**EXTERIOR BUILDING
LIGHTING PLAN**

DATE MAY 1, 2012	PROJ NO 1205
DRAWN BY	CHECKED BY AZ

DRAWING NUMBER

L1.1



1 BUILDING LIGHTING PLAN
SCALE: 3/16" = 1'-0"





AHARONIAN
& ASSOCIATES INC.
ARCHITECTS

310 George Washington Highway
Suite 100
Smithfield, Rhode Island
0 2 9 1 7
T 401-232-5810
F 401-232-5880
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

REVISIONS

NUMBER	REMARKS	DATE
1	OWNER REV	5/31/12
2	OWNER REV	7/27/12

FOR REVIEW

PROJECT TITLE



100 Crossing Blvd, Framingham, Massachusetts

STORE # 5434

PROP # V1806

299 & 301 N. MAIN STREET

ROCHESTER, NH
Strafford County

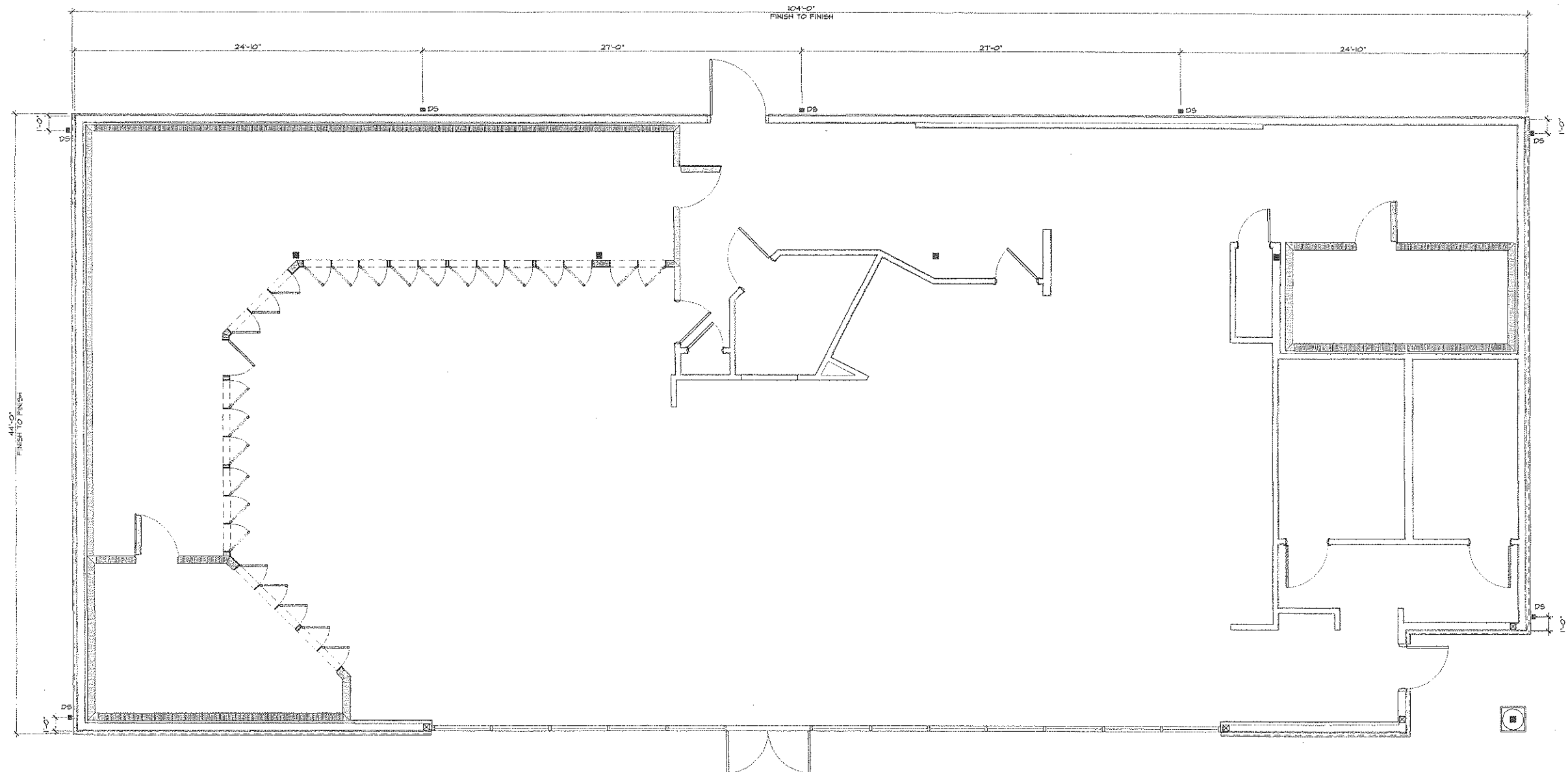
DRAWING TITLE

DOWNSPOUT
LOCATION PLAN

DATE MAY 1, 2012	PROJ NO 1285
DRAWN BY	CHECKED BY AZ

DRAWING NUMBER

DS1.1



1 DOWNSPOUT LOCATION PLAN
SCALE: 1/4" = 1'-0"
PLAN