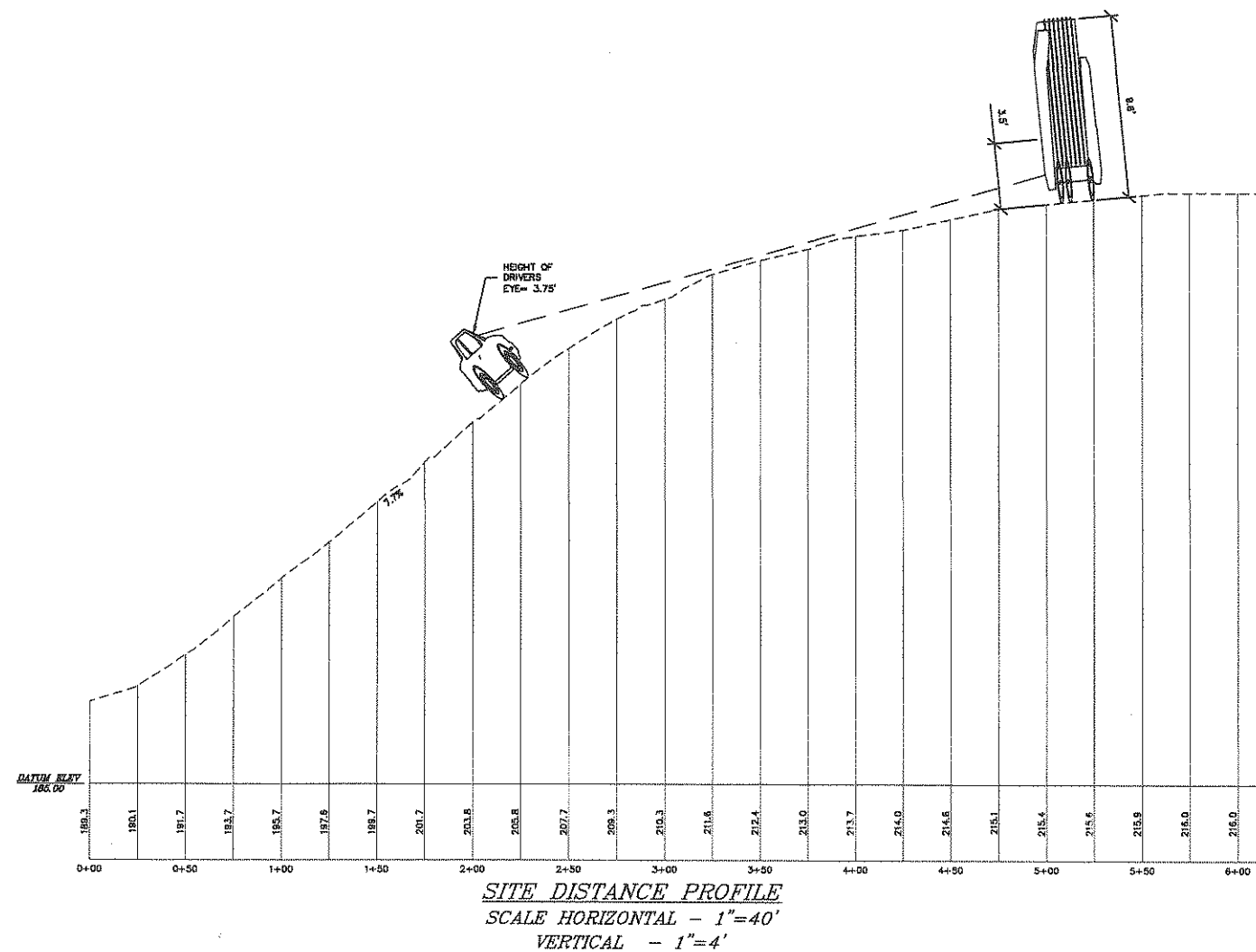
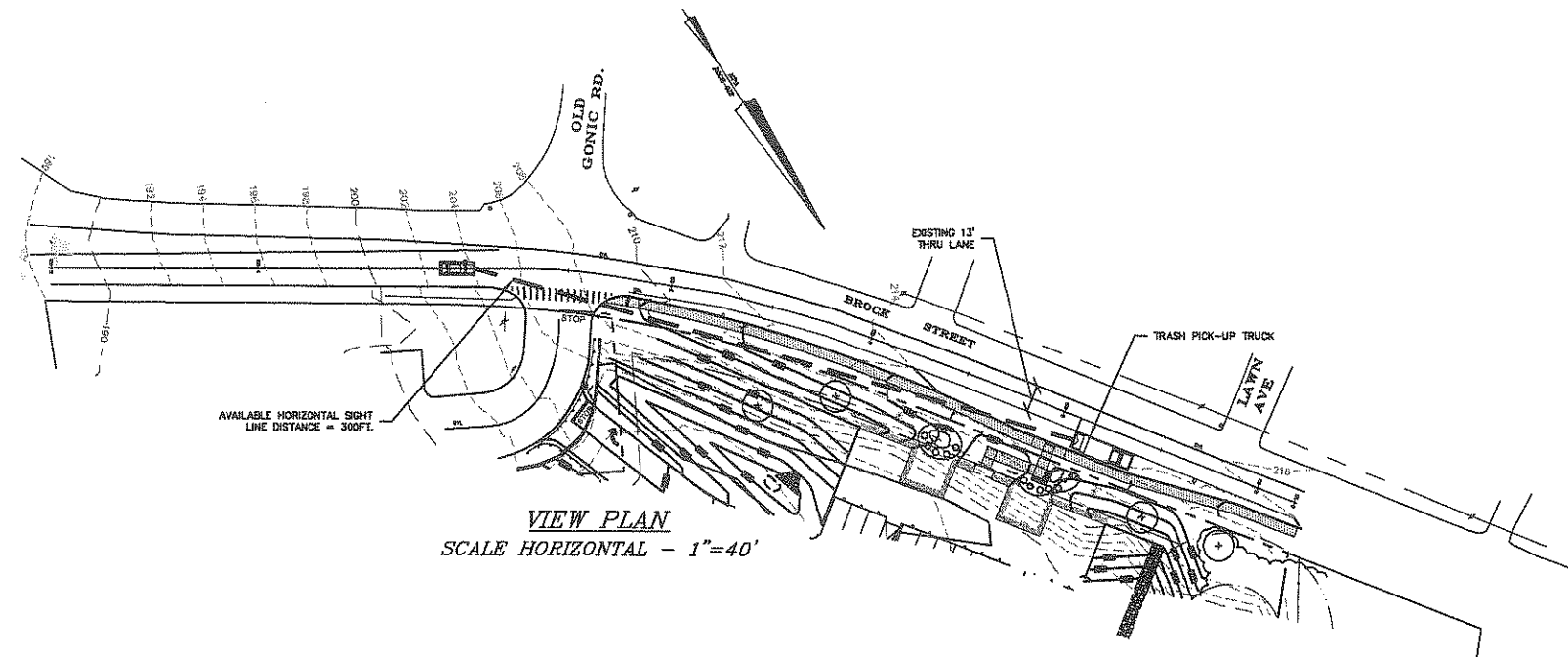




No.	DATE	BY	REVISION

BROCK STREET TRASH PICK-UP SIGHT DISTANCE ANALYSIS

MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867

GRAPHIC SCALE

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Dover, NH 603-749-0443

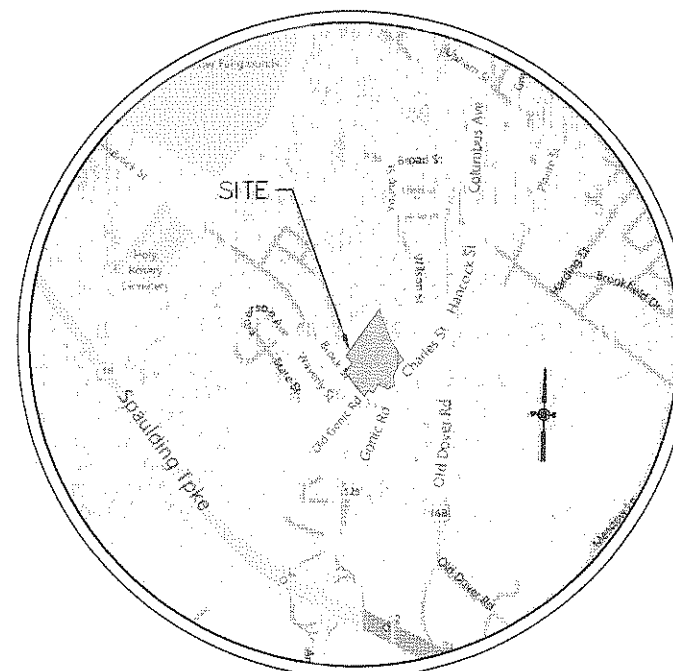
DESIGN: DCL
SCALE: AS SHOWN
DATE: 1-7-11
SHEET: 1 OF 1
PROJECT #09113

RESIDENTIAL SITE PLAN

MARSH VIEW HOUSING FOR THE ELDERLY TAX MAP 131, LOT 62-2 ROCHESTER HOUSING AUTHORITY ROCHESTER, NEW HAMPSHIRE NOVEMBER 17, 2010 REVISED: DECEMBER 10, 2010 REVISED: JANUARY 10, 2011

ABUTTERS LIST

TAX MAP	LOT NO.	NAME & ADDRESS
128	243	David P. & Diane L. Corrigan 19 Wilson Street Rochester, NH 03867-3441
131	7	McManus Route 125 LLC 112 Gates Street Portsmouth, NH 03801
131	45	Marilyn Eastman (fka Marilyn J. Cilley) 3 Old Conic Road Rochester, NH 03867-4416
131	46	Timothy E. & Jeannette I. Duntley 195 Brook Street Rochester, NH 03867-4407
131	47	Raymond & Muriel Truworthy 193 Brook Street Rochester, NH 03867-4407
131	48	Cynthia & Paul Couture 185 Brook Street Rochester, NH 03867
131	60	Jerome J. & Virginia W. Lachance 164 Brook Street Rochester, NH 03867
131	62	Primax Properties, LLC 1065 East Morehead Street, 4th Floor Charlotte, NC 28204
131	62-1	Norman P. & Stacia R. Vetter Rev. Trust Norman P. & Stacia R. Vetter, Trustees 190 Dry Hill Road Rochester, NH 03867
132	46	Jiffy Lube International Facility i Q M S 1398 P.O. Box 4369 Houston, TX 77210-4369
132	47	185 Charles Street LLC 14 Nature Lane Rochester, NH 03867



Location Map
scale 1"=1000'

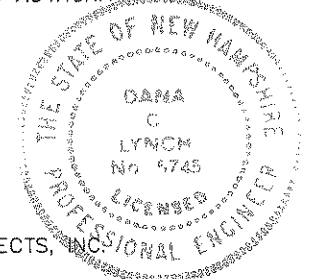
OWNERS OF RECORD/PREPARED FOR:
ROCHESTER FAMILY HOUSING, INC.
C/O ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867

CIVIL ENGINEER:
CIVILWORKS, INC.
P.O. BOX 1166
181 WATSON ROAD
DOVER, NH 03821-1166

ARCHITECT:
DAVIS GOUDREAU ARCHITECTS, INC.
959 ISLINGTON STREET
PORTSMOUTH, NH 03801

SURVEYOR:
MCENEANEY SURVEY ASSOC., INC.
P.O. BOX 681
DOVER, NH 03821-0681

WETLAND SCIENTIST:
N.H. SOIL CONSULTANTS/GZA GEOENVIRONMENTAL
202 KENT PLACE
NEWMARKET, NH 03857

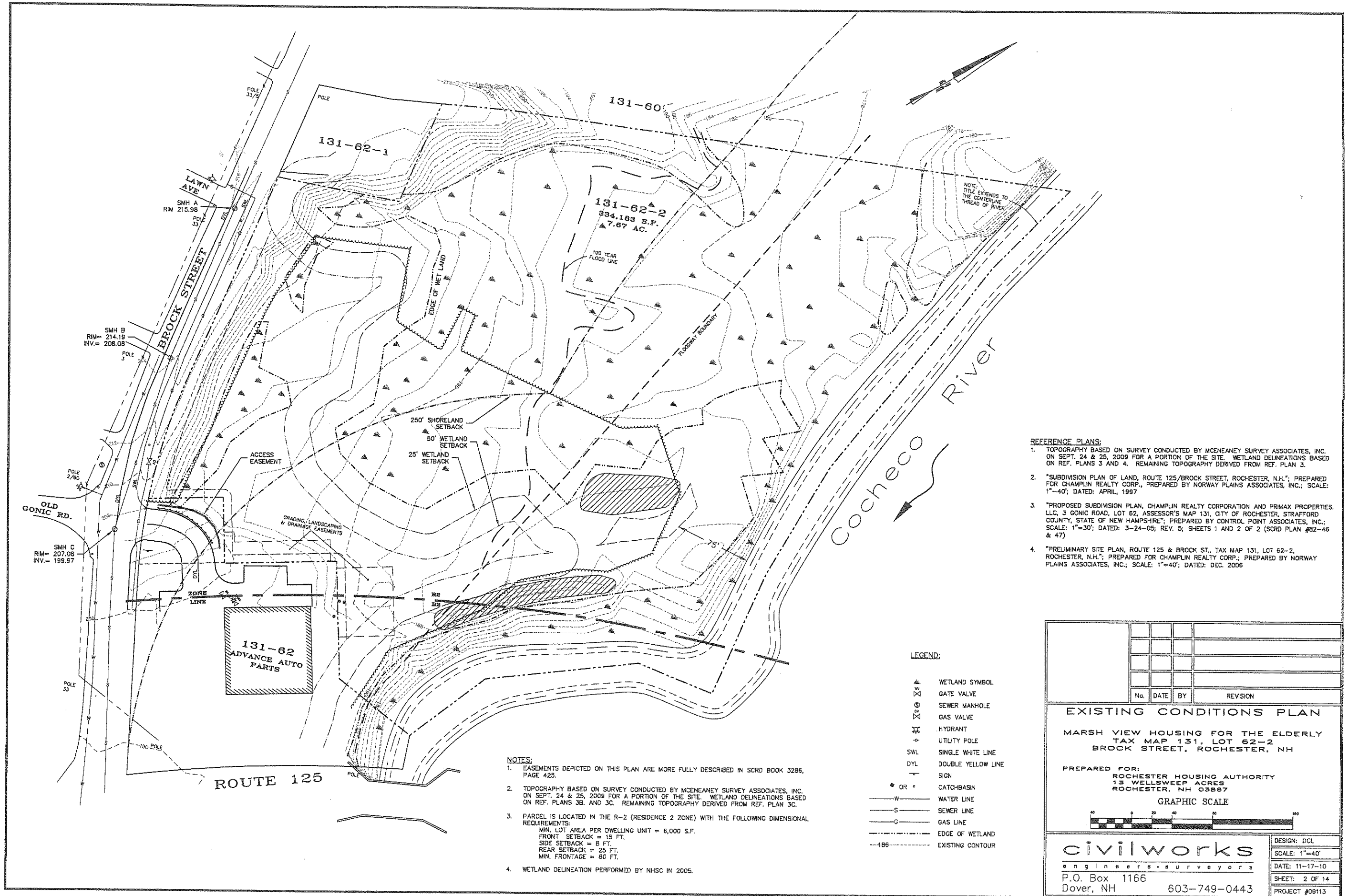


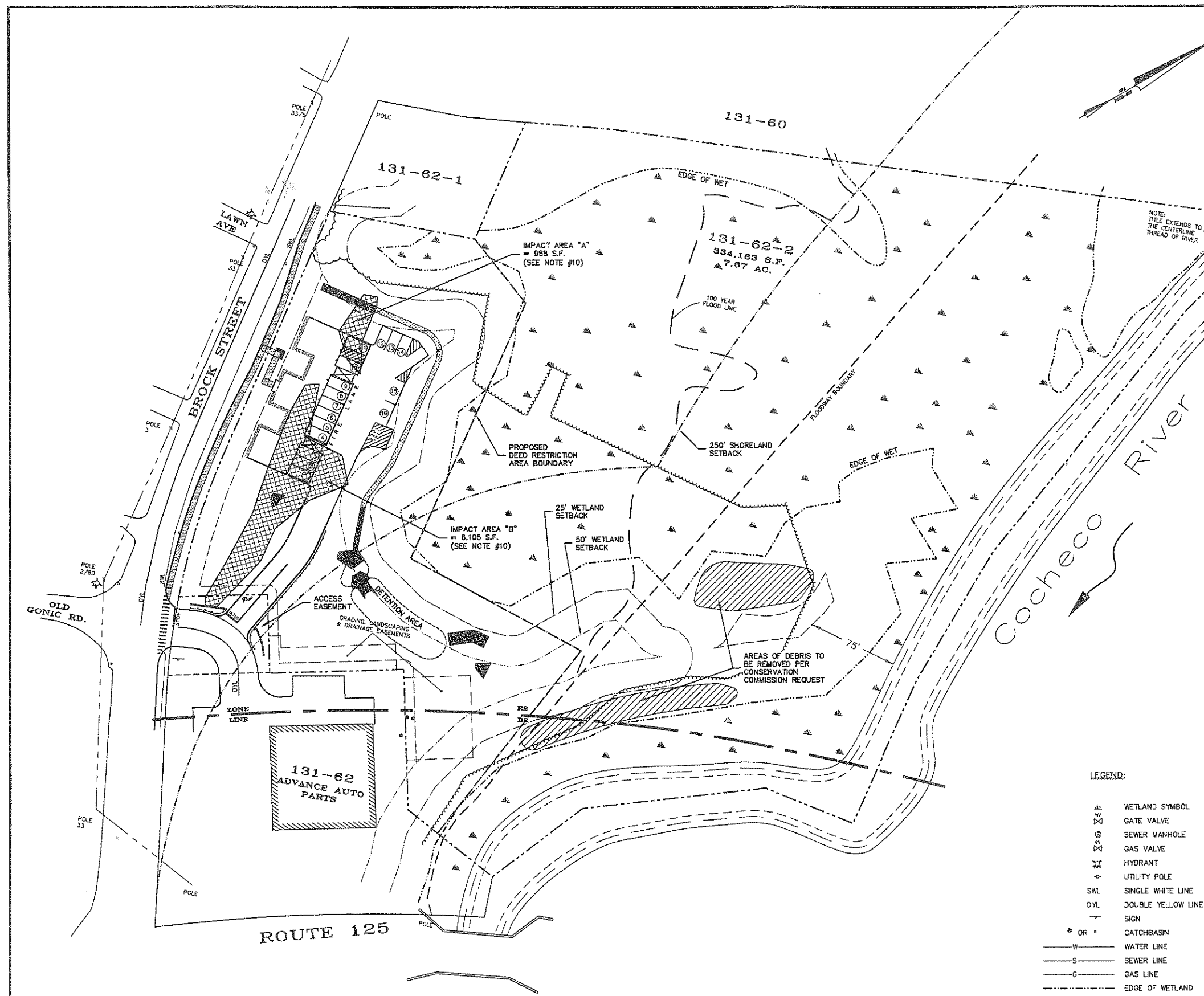
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SHEET NO.

1
2
3
4
5
6
7
8
9 - 14





- NOTES:
1. THIS PLAN IS INTENDED TO PRESENT A 12 UNIT ELDERLY RESIDENTIAL DEVELOPMENT OF THE SUBJECT PARCEL.
 2. OWNER OF RECORD:
ROCHESTER FAMILY HOUSING, INC.
C/O ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867
 3. REFERENCE PLANS:
A) "SUBDIVISION PLAN OF LAND, ROUTE 125/BROCK STREET, ROCHESTER, N.H."; PREPARED FOR CHAMPLIN REALTY CORP., PREPARED BY NORWAY PLAINS ASSOCIATES, INC.; SCALE: 1"=40'; DATED: APRIL, 1997
B) "PROPOSED SUBDIVISION PLAN, CHAMPLIN REALTY CORPORATION AND PRIMAX PROPERTIES, LLC, 3 GONIC ROAD, LOT 62, ASSESSOR'S MAP 131, CITY OF ROCHESTER, STRAFFORD COUNTY, STATE OF NEW HAMPSHIRE"; PREPARED BY CONTROL POINT ASSOCIATES, INC.; SCALE: 1"=30'; DATED: 3-24-05; REV. 5; SHEETS 1 AND 2 OF 2 (SORD PLAN #B2-48 & 47)
C) "PRELIMINARY SITE PLAN, ROUTE 125 & BROCK ST., TAX MAP 131, LOT 62-2, ROCHESTER, N.H."; PREPARED FOR CHAMPLIN REALTY CORP.; PREPARED BY NORWAY PLAINS ASSOCIATES, INC.; SCALE: 1"=40'; DATED: DEC. 2006
 4. EASEMENTS DEPICTED ON THIS PLAN ARE MORE FULLY DESCRIBED IN SORD BOOK 3288, PAGE 425.
 5. TOPOGRAPHY BASED ON SURVEY CONDUCTED BY MCNEANEY SURVEY ASSOCIATES, INC. ON SEPT. 24 & 25, 2008 FOR A PORTION OF THE SITE. WETLAND DELINEATIONS BASED ON REF. PLANS 3B, AND 3C. REMAINING TOPOGRAPHY DERIVED FROM REF. PLAN 3C.
 6. TOTAL PARCEL AREA = 7.67 ACRES, OR 334,183 S.F.
 7. PRELIMINARY PROPOSED LAND USE CALCULATIONS:
BUILDING 7,000 S.F. 2%
PARKING/PAYT. 8,000 S.F. 2.4%
LANDSCAPED 14,000 S.F. 4.2%
UNDISTURBED UPLANDS 83,183 S.F. 27.9%
UNDISTURBED WETLANDS 212,000 S.F. 63.5%
 8. PARCEL IS LOCATED IN THE R-2 (RESIDENCE 2 ZONE) WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA PER DWELLING UNIT = 8,000 S.F.
FRONT SETBACK = 15 FT.
SIDE SETBACK = 8 FT.
REAR SETBACK = 25 FT.
MIN. FRONTAGE = 60 FT.
 9. WETLAND DELINEATION PERFORMED BY NH SOIL CONSULTANTS / GZA GEOENVIRONMENTAL IN 2005.
 10. WETLAND IMPACT AREAS TO BE FILLED AS PART OF THE DEVELOPMENT OF THE SITE PURSUANT TO NHDES WETLANDS PERMIT #2010-01347
 11. THE AREA WITHIN THE "DEED RESTRICTION AREA" TO BE A PERPETUAL CONSERVATION EASEMENT.
 12. ZBA - SPECIAL EXCEPTION TO ALLOW ELDERLY HOUSING IN THE R-2 ZONE, CASE #2010-35, GRANTED DECEMBER 8, 2010.

LEGEND:

- WETLAND SYMBOL
- GATE VALVE
- SEWER MANHOLE
- GAS VALVE
- HYDRANT
- UTILITY POLE
- SINGLE WHITE LINE
- DOUBLE YELLOW LINE
- SIGN
- CATCHBASIN
- WATER LINE
- SEWER LINE
- GAS LINE
- EDGE OF WETLAND
- EXISTING CONTOUR

No.	DATE	BY	REVISION
2	11-17-11	DCL	REV PER CITY COMMENTS
1	11-10-10	DCL	REV PER TRG COMMENTS

OVERALL SITE PLAN

MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

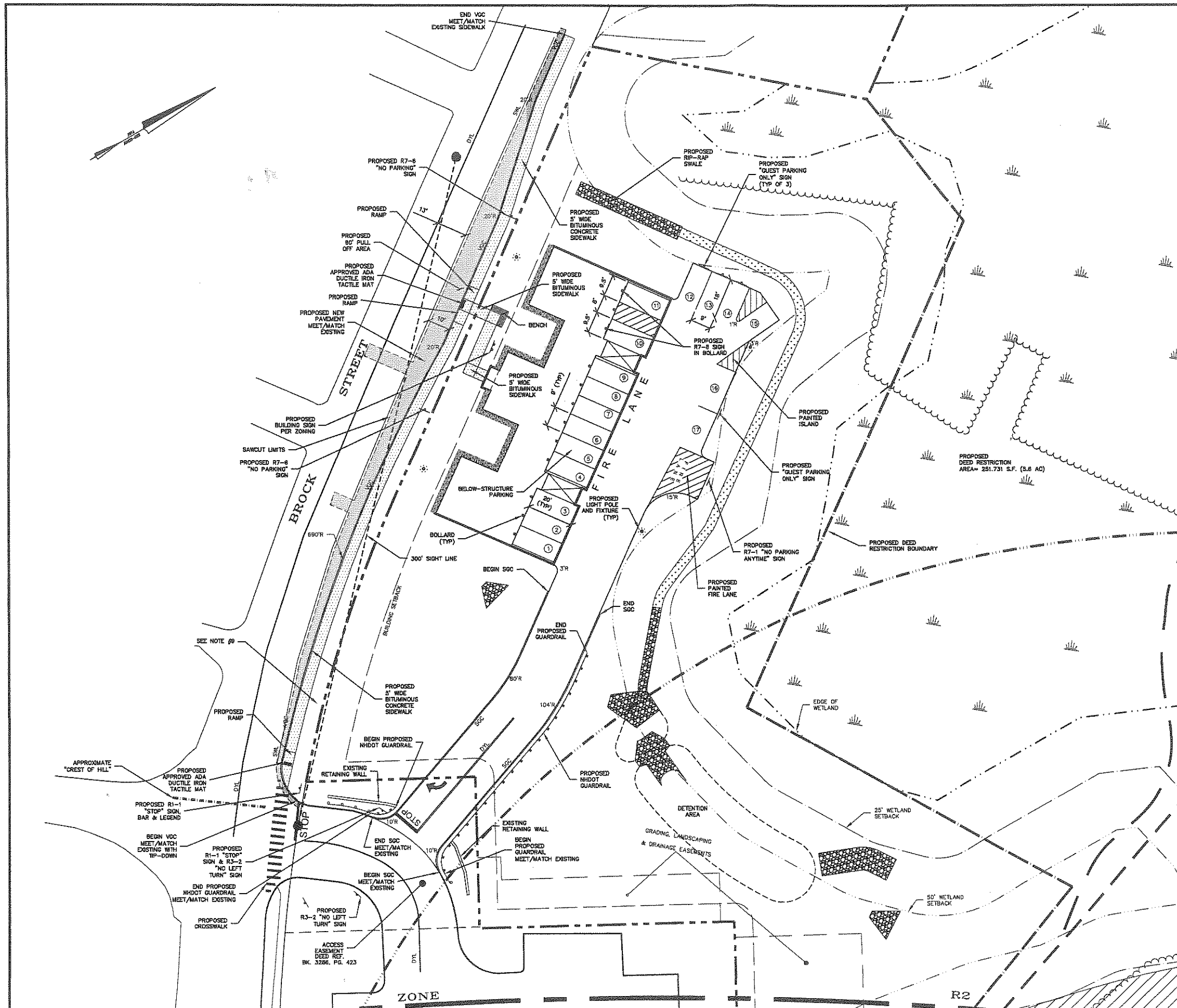
PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867

GRAPHIC SCALE

0 20 40 60 80 100

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Dover, NH 03820
603-749-0443

DESIGN: DCL
SCALE: 1"=40'
DATE: 11-17-10
SHEET: 3 OF 14
PROJECT #09113



- SITE NOTES:**
1. STRIPE PARKING AREAS AS SHOWN, INCLUDING HANDICAP SYMBOLS AND PAINTED ISLANDS. ALL MARKINGS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M-248-TYPE N.
 2. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS, AND THE AMERICAN WITH DISABILITIES ACT, LATEST EDITIONS.
 3. PAINTED ISLANDS SHALL BE 4 INCHES WIDE DIAGONAL LINES 3 FEET ON CENTER.
 4. ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT AREAS AS SHOWN.
 5. LAYOUT OF BUILDING CORNERS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AND SHALL BE BASED UPON THE ARCHITECT'S FINAL FOUNDATION PLAN.
 6. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT AT THE TIME OF THE TOPOGRAPHIC SURVEY PERFORMED. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY AND STATE CODES.
 8. ALL TEMPORARY LOAM STOCKPILES SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES.
 9. AREA TO BE MAINTAINED AND KEPT CLEAR OF GROWTH TALLER THAN 12" TO MAINTAIN SIGHT LINE.

- LEGEND:**
- * PROPOSED LIGHT POLE
 - WETLAND SYMBOL
 - TREELINE
 - ② PARKING STALL NUMBER
 - VGC VERTICAL GRANITE CURB
 - SGC SLOPED GRANITE CURB
 - SWL SINGLE WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - SIGN
 - PROPOSED RIP RAP
 - PROPOSED SWALE
 - PROPOSED SIDE WALK

2	1-10-11	DCL	REV PER CITY COMMENTS
1	1-10-10	DCL	PER PER TRG COMMENTS
No.	DATE	BY	REVISION

SITE PLAN

MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

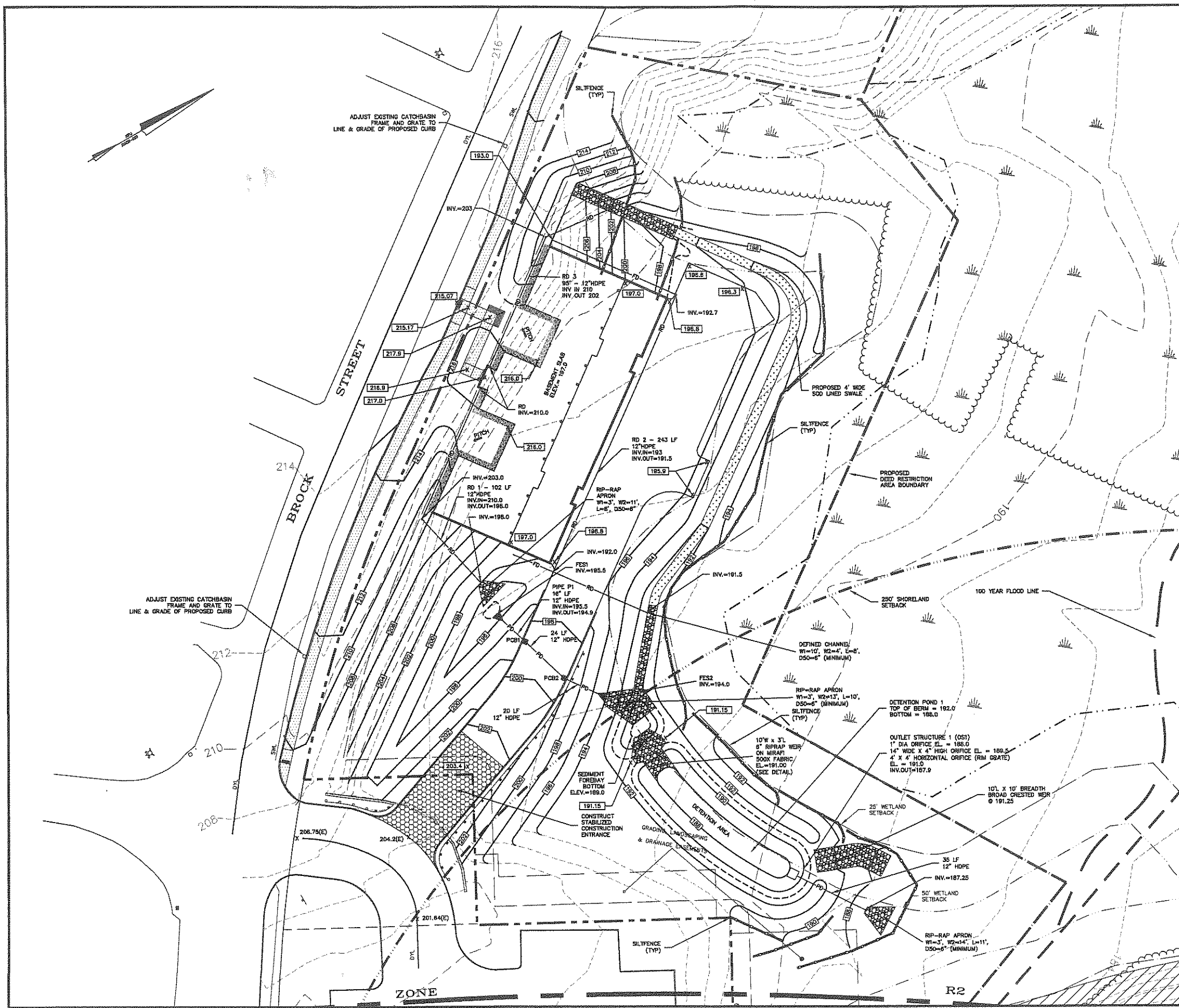
PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03667

GRAPHIC SCALE

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DESIGN: DCL
SCALE: 1"=20'
DATE: 11-17-10
SHEET: 4 OF 14
PROJECT #09113



- NOTES:**
1. CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEERING CONSULTANT APPROVED BY THE OWNER, TO CONDUCT COMPACTION TESTING AND FILL GRADATION MONITORING PER THE ABOVE REFERENCED "STANDARD SPECIFICATIONS".
 2. SEE DETAIL SHEETS FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.
 3. ALL DRAINAGE PIPES SHALL BE HDPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
 4. BUILDING SHALL BE CONSTRUCTED WITH FOUNDATION DRAINS PER STRUCTURAL DRAWINGS. SEE THIS PLAN FOR OUTLET LOCATION & ELEVATION.
 5. ROOF DRAINS SHOWN SHALL BE 12" HDPE UNLESS OTHERWISE NOTED.
 6. THE CITY OF ROCHESTER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES DURING CONSTRUCTION.

DRAINAGE STRUCTURES

PCB1
RIM 198.9
INV IN=194.9
INV OUT=194.8

PCB2
RIM 199.40
INV IN=194.55
INV OUT=194.45

- LEGEND:**
- WETLAND SYMBOL
 - GATE VALVE
 - SEWER MANHOLE
 - GAS VALVE
 - HYDRANT
 - UTILITY POLE
 - SWL SINGLE WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - SIGN
 - CATCHBASIN
 - WATER LINE
 - SEWER LINE
 - GAS LINE
 - EDGE OF WETLAND
 - EXISTING CONTOUR
 - PROPOSED ROOF DRAIN
 - PROPOSED DRAIN LINE

No.	DATE	BY	REVISION
2	11-10-11	DCL	REV PER CITY COMMENTS
1	11-10-10	DCL	PER PER TRG COMMENTS

GRADING, DRAINAGE & EROSION CONTROL PLAN
MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

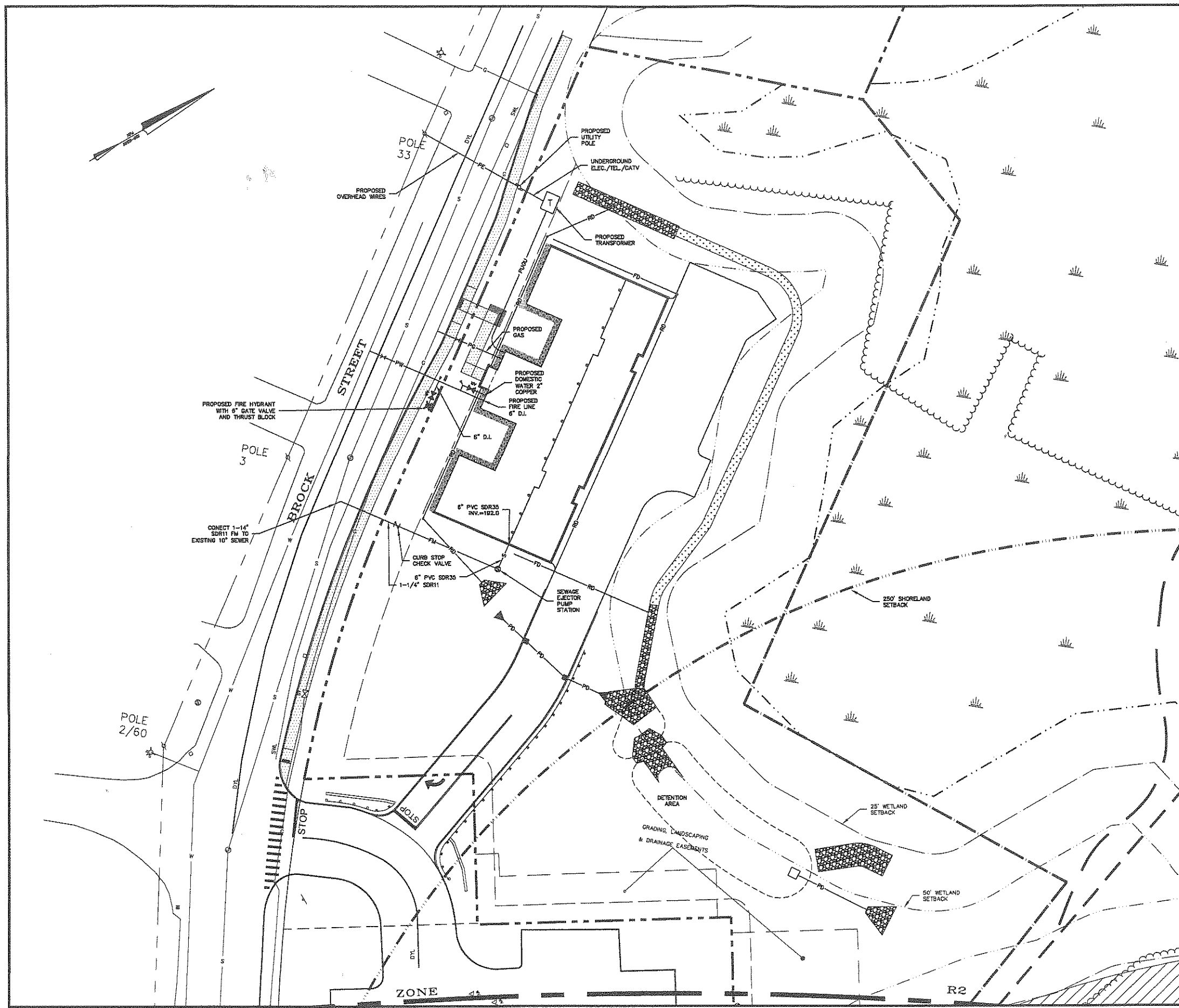
PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
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GRAPHIC SCALE

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DESIGN: DCL
SCALE: 1"=20'
DATE: 11-17-10
SHEET: 5 OF 14
PROJECT #09113



- NOTES:**
1. THE PROJECT SITE IS SERVED BY MUNICIPAL SEWER AND WATER SERVICES.
 2. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DISSAFE AT 1-888-388-7233.
 3. ALL PROPOSED UTILITY SERVICES SHALL BE UNDERGROUND WITHIN THE SITE.
 4. UNDERGROUND ELECTRIC, TELEPHONE, AND CABLE TV CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH PSNH, VERIZON AND COMCAST STANDARDS.
 5. PROPOSED INSTALLATION OF UNDERGROUND CONDUITS FOR TELEPHONE, ELECTRIC AND ELECTRICAL TRANSFORMER PAD AND GAS SERVICE SHALL BE COORDINATED WITH THE RESPECTIVE UTILITIES.
 6. PROPOSED UTILITIES THAT INTERSECT PROPOSED DRAINAGE PIPES SHALL BE INSTALLED BENEATH THE DRAINAGE PIPE WITH A MINIMUM VERTICAL SEPARATION OF 1 FOOT.
 7. ESTIMATED SEWER/WATER PEAK FLOWS:
REF NHDES ENV-WQ 1008.03, TABLE 1008-1
12 SENIOR (55 YRS OR OLDER) DWELLING UNITS
x 125 GPD/2 BEDROOM (ACTUAL = 1 BDRM/UNIT)
1,500 GAL./DAY

LEGEND	
	SD PROPOSED DRAIN LINE
	OR EXISTING SIGN
	PROPOSED TREELINE
	BUILDING SETBACK LINE
	PARKING SETBACK LINE
	EXISTING TREELINE
	EDGE OF WETLAND
	PW PROPOSED WATER LINE
	PS PROPOSED SEWER LINE
	PG PROPOSED GAS LINE
	PUG&T&C PROPOSED GAS LINE
	FD PROPOSED FOUNDATION DRAIN
	RD PROPOSED ROOF DRAIN

2	1-10-11	DCL	REV PER CITY COMMENTS
1	1-10-10	DCL	PER PER TRG COMMENTS
No.	DATE	BY	REVISION

UTILITY PLAN

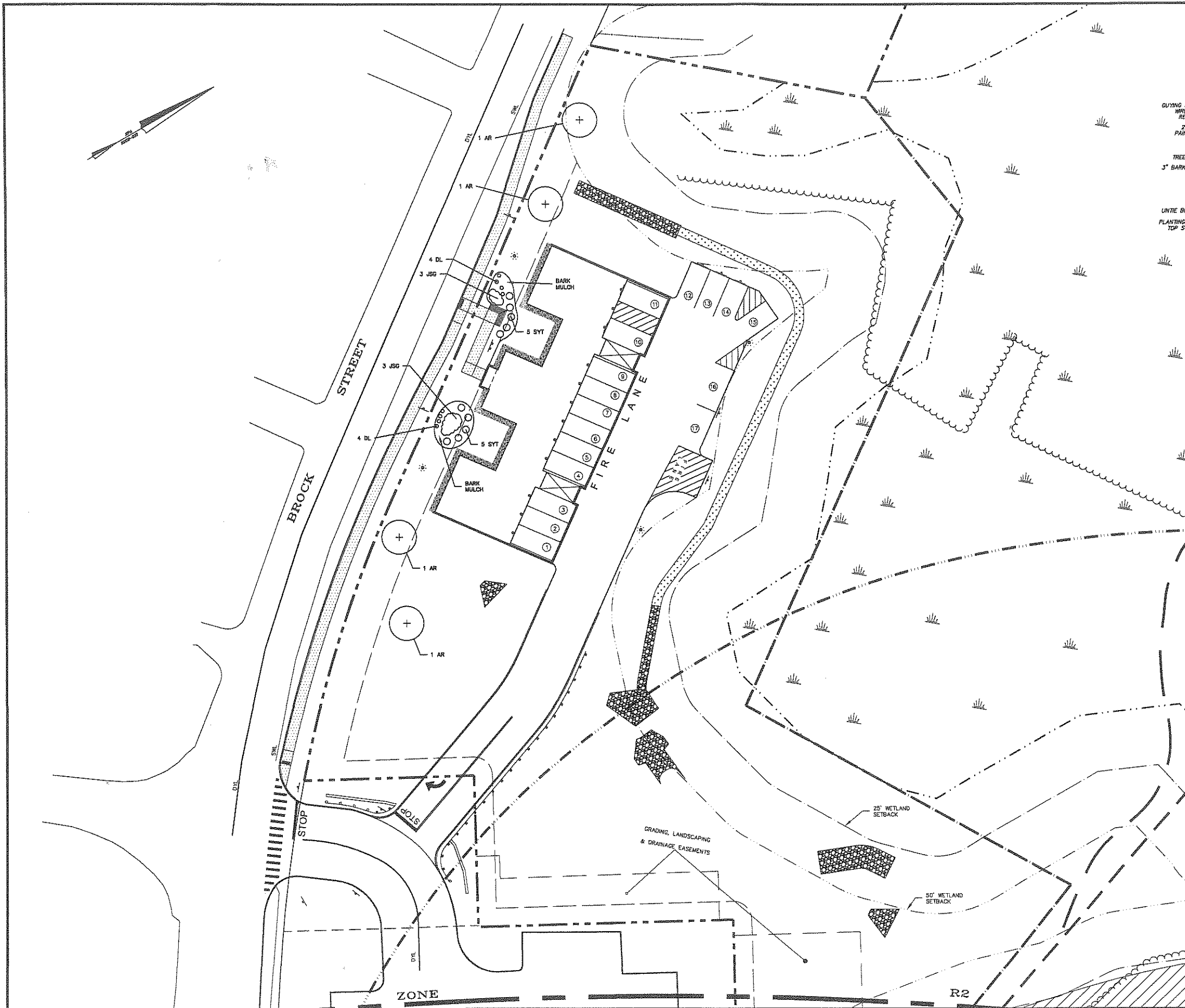
MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867

GRAPHIC SCALE

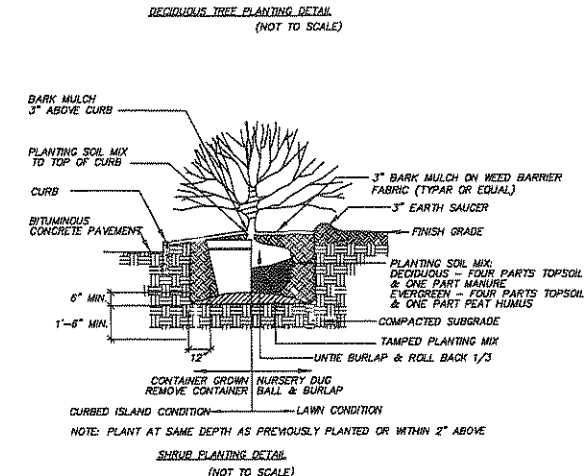
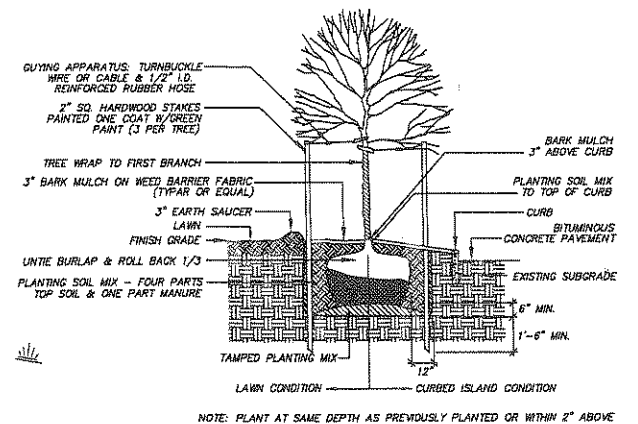
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603-749-0443

DESIGN: DCL
SCALE: 1"=20'
DATE: 11-17-10
SHEET: 6 OF 14
PROJECT #09113



PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME
4	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
10	SYT	SYRINGA 'TINKERBELLE'	TINKERBELLE LILAC
6	JSG	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER
10	DL	-	DAYLILY MIX



NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AND LISTED THEREON. ALL PLANTS SHALL BE NURSERY-GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. PLANTS SHALL CONFORM TO THE BOTANICAL NAMES AND STANDARDS OF SIZE, CULTURE AND QUALITY FOR THE HIGHEST GRADES AND STANDARDS AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD OF NURSERY STOCK, AMERICAN STANDARDS INSTITUTE, INC. 230 SOUTHERN BUILDING, WASHINGTON, D.C. 20005

2	1-10-11	DCL	REV PER CITY COMMENTS
1	12-10-10	DCL	PER PER TRG COMMENTS
No.	DATE	BY	REVISION

LANDSCAPING PLAN

MARSH VIEW HOUSING FOR THE ELDERLY
TAX MAP 131, LOT 62-2
BROCK STREET, ROCHESTER, NH

PREPARED FOR:
ROCHESTER HOUSING AUTHORITY
13 WELLSWEEP ACRES
ROCHESTER, NH 03867

GRAPHIC SCALE

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Dover, NH 03820
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DESIGN: DCL
SCALE: 1"=20'
DATE: 11-17-10
SHEET 8 OF 14
PROJECT #09113