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MAR 11 2014

Planning Dept.

NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: March 11, 2014

Is a conditional use needed? Yes: X No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 216; Lot #'(s): 11; Zoning district: Granite Ridge

Property address/location: Farmington Road (Route 11) Rochester, NH 03868

Name of project (if applicable): Granite Ridge Marketplace

Size of site: 86 acres; overlay zoning district(s)? Conservation overlay district

Property owner

Name (include name of individual): Route 11 Investments, Inc. (Mark Stevens)

Mailing address: P.O. Box 432 Stratham, NH 03885

Telephone #: (603) 778-7637

Email: MStevens@pipersproperty.com

Applicant/developer (if different from property owner)

Name (include name of individual): Waterstone Retail, Inc. (Doug Richardson)

Mailing address: 145 Rosemary Street, Suite B Needham, MA 02494

Telephone #: (781) 559-3301

Email: drichardson@waterstoneretail.com

Engineer/designer

Name (include name of individual): Tighe & Bond (Kenneth A. Mavrogeorge, P.E.)

Mailing address: 177 Corporate Ave. Portsmouth, NH 03801

Telephone #: (603) 433-8818

Fax #: (603) 433-8988

Email address: kamavrogeorge@tighebond.com Professional license #: 13326

Proposed activity (check all that apply)

New building(s): X Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 216 Lot: 11 Zone Granite Ridge)

Describe proposed activity/use: Commercial space with associated site improvements including drainage, landscaping, utilities, and a new frontage road consistent with the City of Rochester Master Plan.

Describe existing conditions/use (vacant land?): Gravel Excavation

Utility information

City water? yes X no ____; How far is City water from the site? City water is within Route 11 right-of-way at property frontage

City sewer? yes X no ____; How far is City sewer from the site? City sewer is within Route 11 right-of-way at property frontage.

If City water, what are the estimated total daily needs? 78,225 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ____ no X

If City sewer, do you plan to discharge anything other than domestic waste? yes ____ no X

Where will stormwater be discharged? Unnamed Wetland

Building information

Type of building(s): Commercial

Building height: 35 feet Finished floor elevation: 280.5'; 275'; 272.5'

Other information

parking spaces: existing: 0 total proposed 1570; Are there pertinent covenants? No

Number of cubic yards of earth being removed from the site: _____

Number of existing employees: 0; number of proposed employees total: _____

Check any that are proposed: variance X; special exception ____; conditional use X

Wetlands: Is any fill proposed? No; area to be filled: _____; buffer impact? X

(Continued Nonresidential Site Plan application Tax Map: 216 Lot: 11 Zone Granite Ridge)

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	30,000	0.80172%
	8,800	0.23517%
	100,760	2.69270%
	7,500	0.20043%
	29,000	0.77499%
	29,000	0.77499%
	2,000	0.05345%
	15,000	0.40086%
	3,500	0.09353%
	7,500	0.20043%
	4,500	0.12026%
Parking and vehicle circulation	928,193	24.8049%
Planted/landscaped areas (excluding drainage)	425,840	11.3801%
Natural/undisturbed areas (excluding wetlands)	1,345,316	35.9521%
Wetlands	712,338	19.0364%
Other – drainage structures, outside storage, etc.	92,725	2.47797%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

(Continued Nonresidential Site Plan application Tax Map: 216 Lot: 11 Zone Granite Ridge)

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: 4-9-14

Signature of applicant/developer: _____

Date: 3/7/14

Signature of agent: _____

Date: 3/7/14

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: 3-7-14

**GRANITE RIDGE MARKETPLACE
FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NEW HAMPSHIRE
MARCH 11, 2014**

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We respectfully request waivers from the following Site Plan Regulations:

Site Plan Regulations

Section 5 – Landscaping

(D) Front and Side Landscaping Buffers

Due to the location of the large stormwater wet pond and two entrance drives, there is insufficient room to meet the landscaping requirements of Sections 5.D.8.b, 5.D.8.e, and 5.D.8.f. We have provided 29 trees in lieu of the 32 required.

(E) Parking Lots

Due to the presence of ledge roughly 2 feet below the parking lot grade, excessive ledge excavation would be required to plant trees as required by Sections 5.E.5, 5.E.8, 5.E.9, and 5.E.11. We have substituted shrubs and perennials in lieu of the required trees.

Section 6 - Lighting

(E) Standards

- (6) The pole mounted lights in the main parking field are proposed to be 30 feet in lieu of the required 25 ft in order to minimize the number of light poles on the property and minimize excessive excavation of ledge while maintaining proper light coverage.

Section 11 - Pedestrian, Bicycle, and Transit Facilities

(A) Sidewalks

- (6) The two bituminous concrete sidewalks located in the landscaped islands in the main parking field are proposed to be 4 feet in lieu of the required 5 feet wide to provide additional space for landscaping. All other sidewalks proposed on the site are in conformance with this regulation.
- (12) The proposed crosswalks connecting the ADA accessible parking spaces to the proposed buildings are proposed to be striped with white traffic paint in lieu of the required textured pavement alternatives. The intent of the design is to provide a more uniform surface for wheelchairs to navigate. All other crosswalks, not located near ADA accessible parking spaces are proposed to be stamped asphalt crosswalks.

Section 15 - Utilities

(D) Electrical Utilities

- (1) The proposed electrical and communications services for the main shopping center are proposed to be aboveground instead of underground as required. This will provide for greater accessibility for future upgrades and maintenance while minimizing excessive ledge excavation. These services are proposed to run along the southern property line, adjacent to the existing PSNH transmission lines, towards the rear of the building to avoid visual impacts to

the main shopping center. Individual services from the proposed overhead wires to the main shopping center are proposed to be located underground. All other proposed electrical and communication services onsite, including those within the proposed City right-of-way are proposed to be underground.

Rochester Zoning Ordinance

Section 42.9 Off-Street Parking and Loading

The total number of proposed parking spaces is 1317 in lieu of the required 1790 and less than the 1536 shown during the preliminary conceptual review. The number of spaces were reduced in order to address comments received in a letter from the Technical Review Group dated February 19th. The TRG members supported the reduction in parking as a way to reduce impervious surfaces and address safety concerns. Green spaces created by the reduction of parking spaces, have been designed as potential infiltration areas for stormwater runoff.

Section 50 – Stormwater Management and Erosion Control

Section 50.8 - Design Standards

(a) Temporary/Construction Stormwater Management Design

(4)(C) The reduction of post-development stormwater runoff volume is not achievable on-site due to the presence of ledge, poor draining soils and high groundwater.

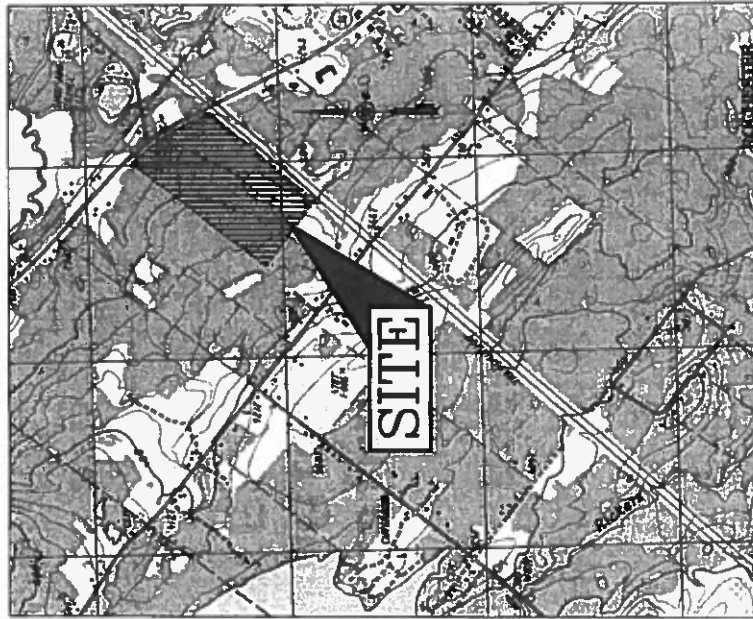
The proposed development area has recently been disturbed as part of a large excavation project which has resulted in cuts up to 30 feet below the existing grade, exposing the underlying ledge/bedrock conditions.

Therefore, to be conservative, we have not accounted for any infiltration in our drainage analysis. However, we have provided a rain garden, and twelve (12) infiltration/rain garden areas which may provide a level of infiltration or recharge if ledge conditions are more favorable than assumed.

GRANITE RIDGE MARKETPLACE FARMINGTON ROAD (ROUTE 11) ROCHESTER, NEW HAMPSHIRE

SITE PLANS MARCH 11, 2014

SHEET TITLE	REVISED
C-1 OVERALL EXISTING CONDITIONS PLAN	3/11/2014
C-1A EXISTING CONDITIONS AND DEMOLITION PLAN	3/11/2014
C-1B EXISTING CONDITIONS AND DEMOLITION PLAN	3/11/2014
C-1C EXISTING CONDITIONS AND DEMOLITION PLAN	3/11/2014
C-2 OVERALL SITE PLAN	3/11/2014
C-2A SITE PLAN	3/11/2014
C-2B SITE PLAN	3/11/2014
C-2C SITE PLAN	3/11/2014
C-3 OVERALL GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/11/2014
C-3A GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/11/2014
C-3B GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/11/2014
C-3C GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/11/2014
C-3D GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/11/2014
C-4 OVERALL UTILITY PLAN	3/11/2014
C-4A UTILITY PLAN	3/11/2014
C-4B UTILITY PLAN	3/11/2014
C-4C UTILITY PLAN	3/11/2014
C-5 OVERALL LANDSCAPE PLAN	3/11/2014
C-5A LANDSCAPE PLAN	3/11/2014
C-5B LANDSCAPE PLAN	3/11/2014
C-5C LANDSCAPE PLAN	3/11/2014
C-6 EROSION CONTROL NOTES & DETAILS SHEET	3/11/2014
C-7 DETAILS SHEET	3/11/2014
C-8 DETAILS SHEET	3/11/2014
C-9 DETAILS SHEET	3/11/2014
C-10 DETAILS SHEET	3/11/2014
C-11 DETAILS SHEET	3/11/2014
C-12 DETAILS SHEET	3/11/2014
C-13 DETAILS SHEET	3/11/2014
C-14 DETAILS SHEET	3/11/2014
C-15 FIRE TRUCK TURNING PLAN	3/11/2014
C-16 WB-47 TRUCK TURNING PLAN	3/11/2014
C-17 PHOTOMETRICS PLAN	3/11/2014
A-1 SITE ELEMENTS	3/11/2014
A-2 SITE ELEMENTS	3/11/2014
A-3 SITE ELEMENTS	3/11/2014



SCALE: 1"=1,000'

MAR 11 2014

Owner:
Route 11 Investments, Inc.
P.O. Box 432
Stratham, NH 03885

Applicant:
Waterstone Retail
Building B
Needham, MA 02494

Prepared By:

Tighe & Bond
Consulting Engineers
177 Corporate Drive
Portsmouth, NH 03801



FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____ DATE: _____

FOR MORE INFORMATION ABOUT THESE SITE PLANS CONTACT:
TIGHE & BOND AT (603) 433-8818

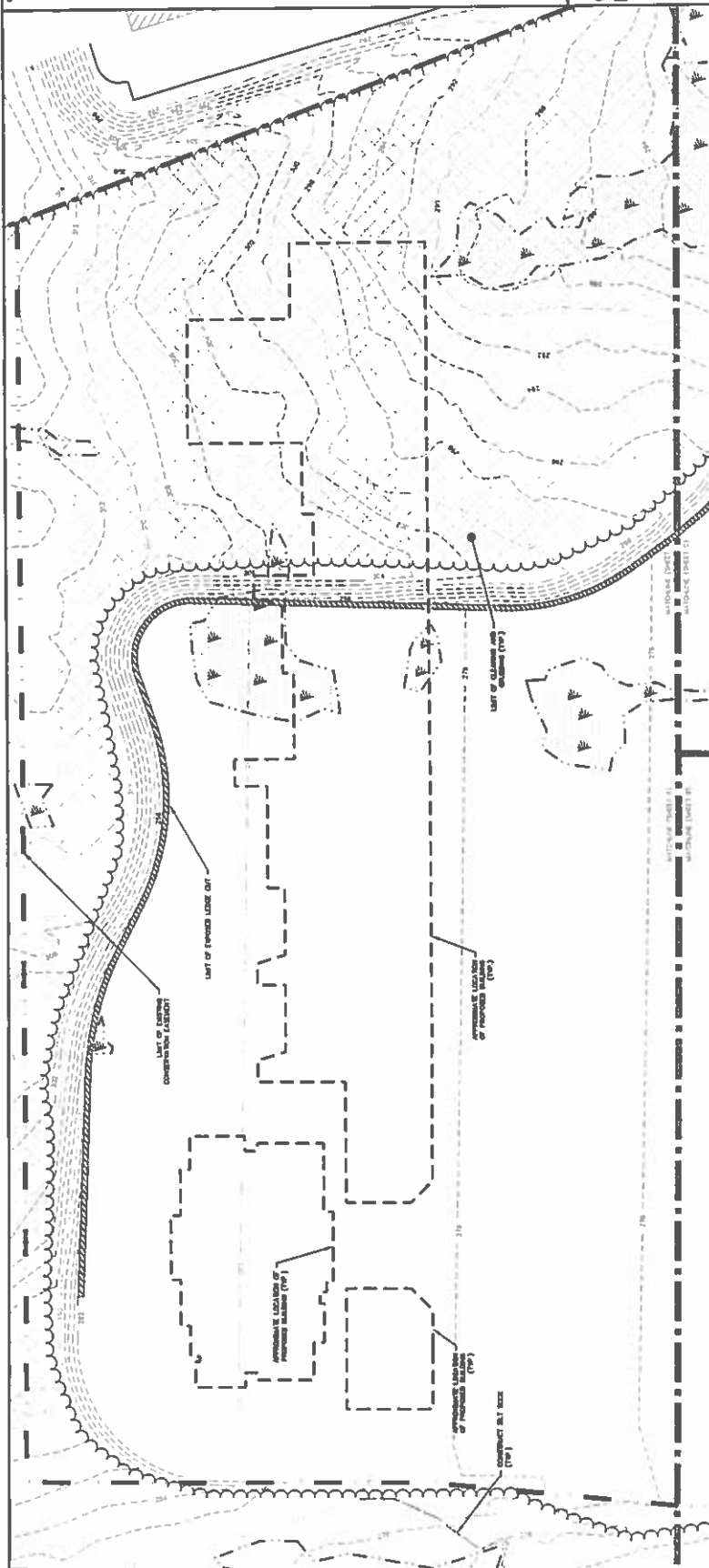
**Granite Ridge
Marketplace**Farmington Road
(Route 11)

Rochester, NH

March 11, 2014

PROJECT NO	10-010-8
FILE	2-24-82
DESIGNED BY	MD
CHECKED	AMG
APPROVED BY	QAM

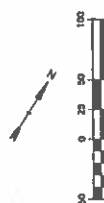
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C-1A



NEW FROM NORTON

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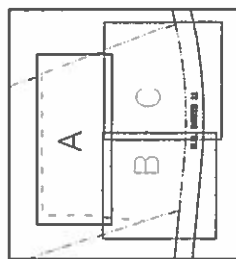
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ORDER AND APPROPRIATE UTILITY COMPANY TO BE NOTIFIED IN ADVANCE OF ANY WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ORDER AND APPROPRIATE UTILITY COMPANY TO BE NOTIFIED IN ADVANCE OF ANY WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ORDER AND APPROPRIATE UTILITY COMPANY TO BE NOTIFIED IN ADVANCE OF ANY WORK TO BE PERFORMED.



Technical

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right
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bottom
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left

SEE SHEET C-1 FOR REFERENCE PLANS,



SCALE: 1" = 500'

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

234

_____ 10 014107

1000

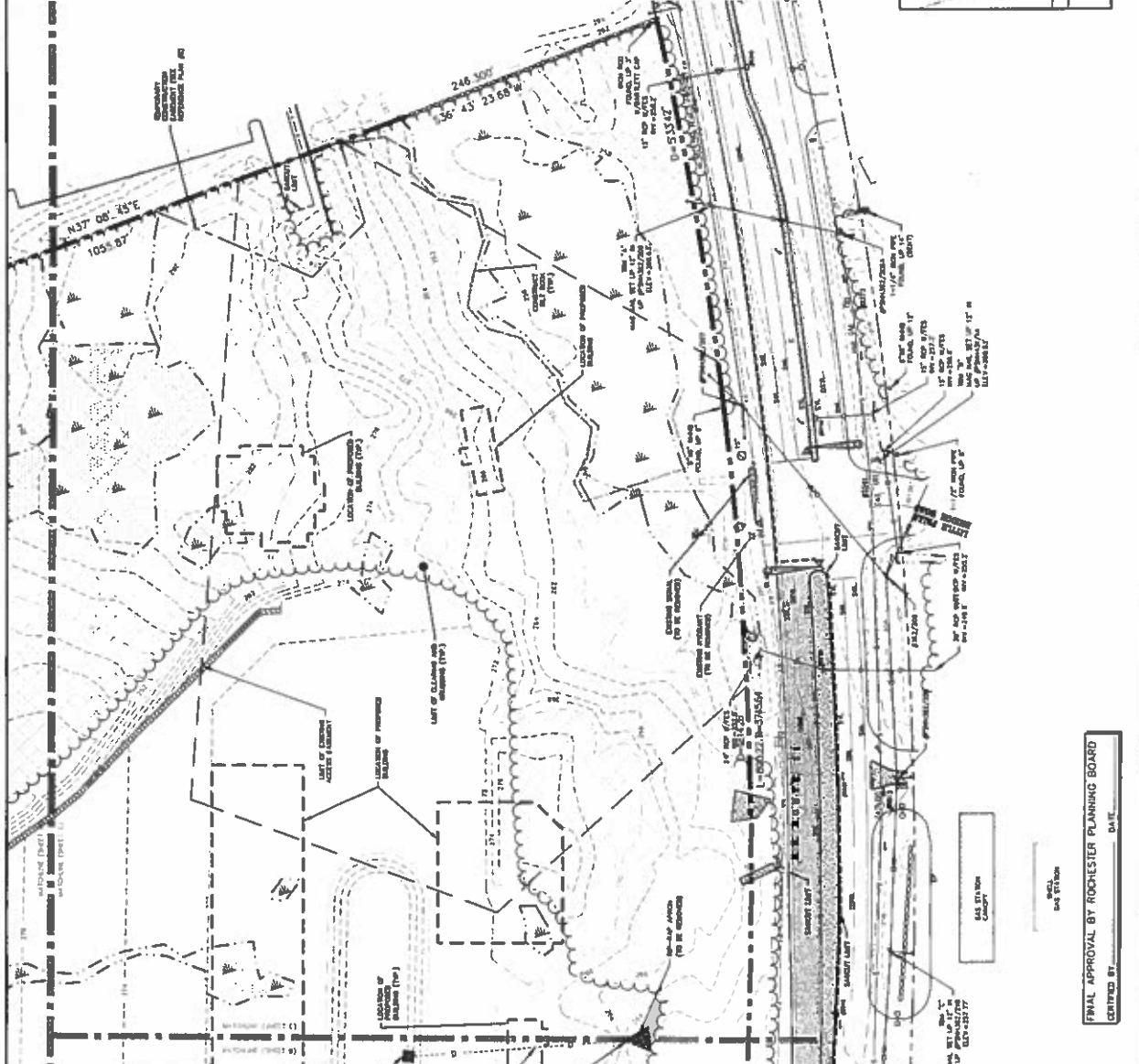
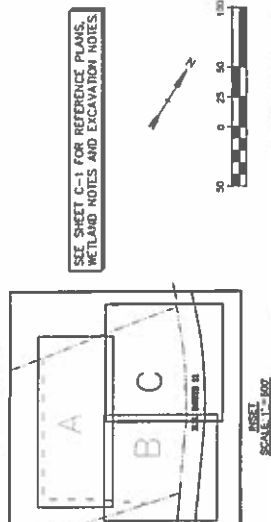
March 11, 2014

PROJECT NO.	R 0100-2
SUBJECT	REPAIRS TO DWG
DATE	SEP
BY	WJD
APPROVED BY	CHW

EXISTING CONDITIONS
AND DEMOLITION PLAN

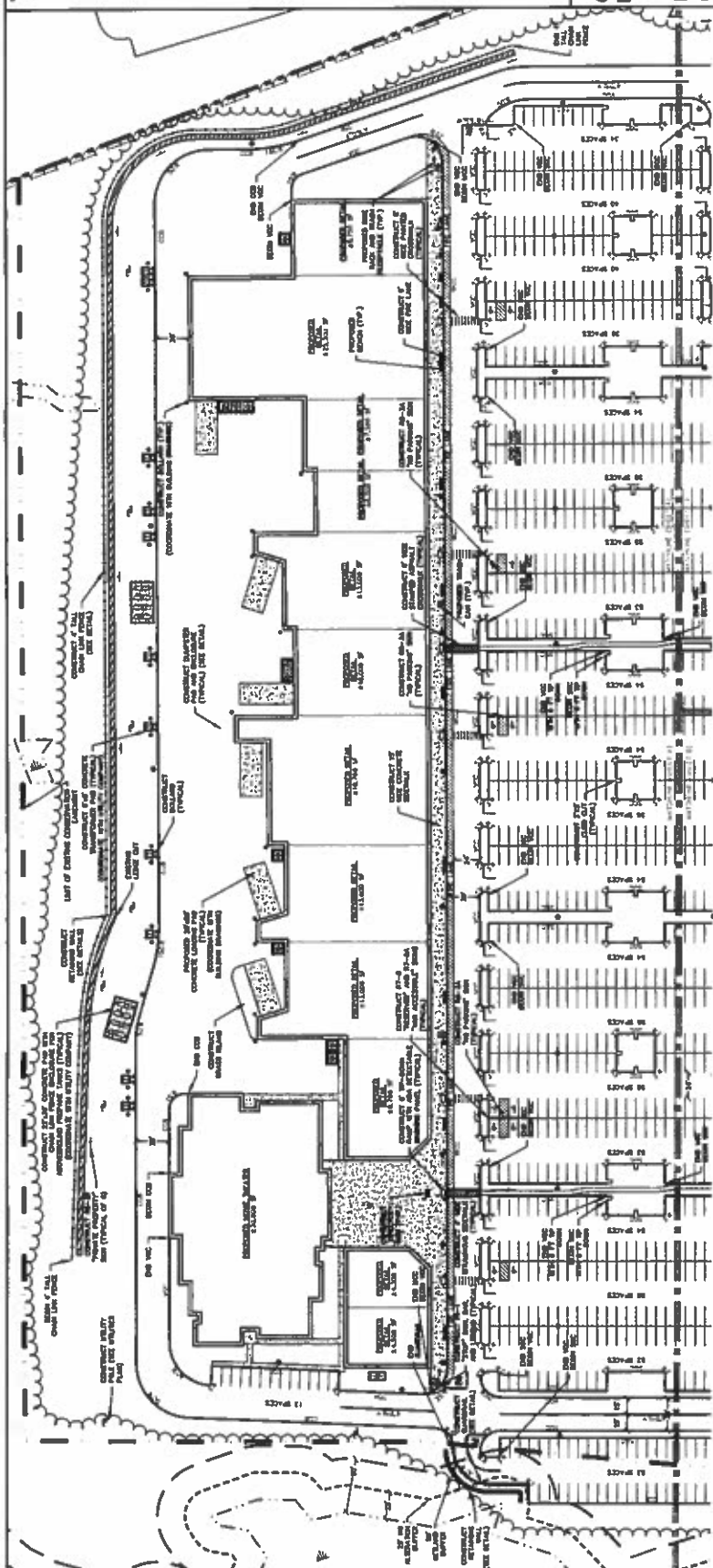
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C-1C

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FINAL APPROVAL BY ROCHESTER PLANNING BOARD

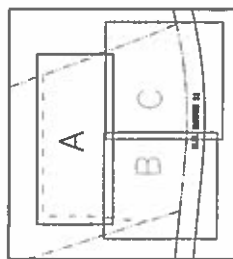
CERTIFIED BY _____ **DATE** _____



SITE NOTES

- [illegible]

SEE SHEET C-2 FOR SITE DATA BLOCK
AND PARKING CALCULATIONS



MS&T
A.E. 500

FINAL APPROVAL BY ROCHESTER PLANNING BOARD



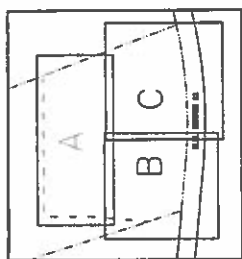
Granite Ridge
Marketplace

Farmington Road
(Route 11)

Rochester, NH

March 11, 2014

A	Project Name	
B	Project No.	
C	Project Date	
D	Project Location	
E	Project Status	
F	Project Manager	
G	Project Engineer	
H	Project Designer	
I	Project Checker	
J	Project Approver	
K	Project Reviewer	
L	Project Auditor	
M	Project Signatory	
N	Project Seal	
O	Project Stamp	
P	Project Signature	
Q	Project Initials	
R	Project Markings	
S	Project Annotations	
T	Project Comments	
U	Project Notes	
V	Project Details	
W	Project Specifications	
X	Project Requirements	
Y	Project Constraints	
Z	Project Objectives	
AA	Project Goals	
AB	Project Outcomes	
AC	Project Impacts	
AD	Project Benefits	
AE	Project Risks	
AF	Project Challenges	
AG	Project Opportunities	
AH	Project Threats	
AI	Project Vulnerabilities	
AJ	Project Weaknesses	
AK	Project Strengths	
AL	Project Assets	
AM	Project Liabilities	
AN	Project Equity	
AO	Project Debt	
AP	Project Cash Flow	
AQ	Project Income Statement	
AR	Project Balance Sheet	
AS	Project Profit and Loss	
AT	Project Tax Return	
AU	Project Financial Statements	
AV	Project Budget	
AW	Project Forecast	
AX	Project Analysis	
AY	Project Evaluation	
AZ	Project Assessment	
BA	Project Audit	
BB	Project Inspection	
BC	Project Monitoring	
BD	Project Control	
BE	Project Reporting	
BF	Project Communication	
BG	Project Collaboration	
BH	Project Teamwork	
BI	Project Synergy	
BJ	Project Cohesion	
BK	Project Unity	
BL	Project Solidarity	
BM	Project Fellowship	
BN	Project Companionship	
BO	Project Camaraderie	
BP	Project Fraternity	
BQ	Project Brotherhood	
BR	Project Sisterhood	
BS	Project Kinship	
BT	Project Family	
BU	Project Community	
BV	Project Society	
BW	Project Nation	
BX	Project World	
BY	Project Universe	
BZ	Project Cosmos	
CA	Project Galaxy	
CB	Project Nebula	
CC	Project Star	
CD	Project Planet	
CE	Project Moon	
CF	Project Comet	
CG	Project Asteroid	
CH	Project Meteor	
CI	Project Supernova	
CJ	Project Black Hole	
CK	Project White Dwarf	
CL	Project Red Giant	
CM	Project Blue Dwarf	
CN	Project Yellow Dwarf	
CO	Project Orange Dwarf	
CP	Project Green Dwarf	
CQ	Project Purple Dwarf	
CR	Project Brown Dwarf	
CS	Project Grey Dwarf	
CT	Project Silver Dwarf	
CU	Project Gold Dwarf	
CV	Project Platinum Dwarf	
CW	Project Diamond Dwarf	
CX	Project Ruby Dwarf	
CY	Project Sapphire Dwarf	
CZ	Project Emerald Dwarf	
DA	Project Topaz Dwarf	
DB	Project Amethyst Dwarf	
DC	Project Garnet Dwarf	
DD	Project Peridot Dwarf	
DE	Project Spinel Dwarf	
DF	Project Zircon Dwarf	
DG	Project Quartz Dwarf	
DH	Project Obsidian Dwarf	
DI	Project Jade Dwarf	
DJ	Project Onyx Dwarf	
DK	Project Jasper Dwarf	
DL	Project Agate Dwarf	
DM	Project Malachite Dwarf	
DN	Project Turquoise Dwarf	
DO	Project Opal Dwarf	
DP	Project Pearl Dwarf	
DQ	Project Gemstone Dwarf	
DR	Project Crystal Dwarf	
DS	Project Mineral Dwarf	
DT	Project Rock Dwarf	
DU	Project Soil Dwarf	
DV	Project Sand Dwarf	
DW	Project Dust Dwarf	
DX	Project Ash Dwarf	
DY	Project Smoke Dwarf	
DZ	Project Fog Dwarf	
EA	Project Mist Dwarf	
EB	Project Cloud Dwarf	
EC	Project Rain Dwarf	
ED	Project Snow Dwarf	
EE	Project Hail Dwarf	
EF	Project Sleet Dwarf	
EG	Project Freeze Dwarf	
EH	Project Thaw Dwarf	
EI	Project Melt Dwarf	
EJ	Project Liquid Dwarf	
EK	Project Vapor Dwarf	
EL	Project Gas Dwarf	
EM	Project Plasma Dwarf	
EN	Project Fire Dwarf	
EO	Project Heat Dwarf	
EP	Project Cold Dwarf	
EQ	Project Warm Dwarf	
ER	Project Cool Dwarf	
ES	Project Hot Dwarf	
ET	Project Warm Dwarf	
EU	Project Cold Dwarf	
EV	Project Hot Dwarf	
EW	Project Warm Dwarf	
EX	Project Cold Dwarf	
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EZ	Project Warm Dwarf	
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FB	Project Hot Dwarf	
FC	Project Warm Dwarf	
FD	Project Cold Dwarf	
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FG	Project Cold Dwarf	
FH	Project Hot Dwarf	
FI	Project Warm Dwarf	
FJ	Project Cold Dwarf	
FK	Project Hot Dwarf	
FL	Project Warm Dwarf	
FM	Project Cold Dwarf	
FN	Project Hot Dwarf	
FO	Project Warm Dwarf	
FP	Project Cold Dwarf	
FQ	Project Hot Dwarf	
FR	Project Warm Dwarf	
FS	Project Cold Dwarf	
FT	Project Hot Dwarf	
FU	Project Warm Dwarf	
FV	Project Cold Dwarf	
FW	Project Hot Dwarf	
FX	Project Warm Dwarf	
F		


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- 1400 2000 3000 4000 5000 6000 7000 8000 9000 10000 11000 12000 13000 14000 15000 16000 17000 18000 19000 20000 21000 22000 23000 24000 25000 26000 27000 28000 29000 30000 31000 32000 33000 34000 35000 36000 37000 38000 39000 40000 41000 42000 43000 44000 45000 46000 47000 48000 49000 50000 51000 52000 53000 54000 55000 56000 57000 58000 59000 60000 61000 62000 63000 64000 65000 66000 67000 68000 69000 70000 71000 72000 73000 74000 75000 76000 77000 78000 79000 80000 81000 82000 83000 84000 85000 86000 87000 88000 89000 90000 91000 92000 93000 94000 95000 96000 97000 98000 99000 100000 101000 102000 103000 104000 105000 106000 107000 108000 109000 110000 111000 112000 113000 114000 115000 116000 117000 118000 119000 120000 121000 122000 123000 124000 125000 126000 127000 128000 129000 130000 131000 132000 133000 134000 135000 136000 137000 138000 139000 140000 141000 142000 143000 144000 145000 146000 147000 148000 149000 150000 151000 152000 153000 154000 155000 156000 157000 158000 159000 160000 161000 162000 163000 164000 165000 166000 167000 168000 169000 170000 171000 172000 173000 174000 175000 176000 177000 178000 179000 180000 181000 182000 183000 184000 185000 186000 187000 188000 189000 190000 191000 192000 193000 194000 195000 196000 197000 198000 199000 200000 201000 202000 203000 204000 205000 206000 207000 208000 209000 210000 211000 212000 213000 214000 215000 216000 217000 218000 219000 220000 221000 222000 223000 224000 225000 226000 227000 228000 229000 230000 231000 232000 233000 234000 235000 236000 237000 238000 239000 240000 241000 242000 243000 244000 245000 246000 247000 248000 249000 250000 251000 252000 253000 254000 255000 256000 257000 258000 259000 260000 261000 262000 263000 264000 265000 266000 267000 268000 269000 270000 271000 272000 273000 274000 275000 276000 277000 278000 279000 280000 281000 282000 283000 284000 285000 286000 287000 288000 289000 290000 291000 292000 293000 294000 295000 296000 297000 298000 299000 300000 301000 302000 303000 304000 305000 306000 307000 308000 309000 310000 311000 312000 313000 314000 315000 316000 317000 318000 319000 320000 321000 322000 323000 324000 325000 326000 327000 328000 329000 330000 331000 332000 333000 334000 335000 336000 337000 338000 339000 340000 341000 342000 343000 344000 345000 346000 347000 348000 349000 350000 351000 352000 353000 354000 355000 356000 357000 358000 359000 360000 361000 362000 363000 364000 365000 366000 367000 368000 369000 370000 371000 372000 373000 374000 375000 376000 377000 378000 379000 380000 381000 382000 383000 384000 385000 386000 387000 388000 389000 390000 391000 392000 393000 394000 395000 396000 397000 398000 399000 400000 401000 402000 403000 404000 405000 406000 407000 408000 409000 410000 411000 412000 413000 414000 415000 416000 417000 418000 419000 420000 421000 422000 423000 424000 425000 426000 427000 428000 429000 430000 431000 432000 433000 434000 435000 436000 437000 438000 439000 440000 441000 442000 443000 444000 445000 446000 447000 448000 449000 450000 451000 452000 453000 454000 455000 456000 457000 458000 459000 460000 461000 462000 463000 464000 465000 466000 467000 468000 469000 470000 471000 472000 473000 474000 475000 476000 477000 478000 479000 480000 481000 482000 483000 484000 485000 486000 487000 488000 489000 490000 491000 492000 493000 494000 495000 496000 497000 498000 499000 500000 501000 502000 503000 504000 505000 506000 507000 508000 509000 510000 511000 512000 513000 514000 515000 516000 517000 518000 519000 520000 521000 522000 523000 524000 525000 526000 527000 528000 529000 530000 531000 532000 533000 534000 535000 536000 537000 538000 539000 540000 541000 542000 543000 544000 545000 546000 547000 548000 549000 550000 551000 552000 553000 554000 555000 556000 557000 558000 559000 560000 561000 562000 563000 564000 565000 566000 567000 568000 569000 570000 571000 572000 573000 574000 575000 576000 577000 578000 579000 580000 581000 582000 583000 584000 585000 586000 587000 588000 589000 590000 591000 592000 593000 594000 595000 596000 597000 598000 599000 600000

SITE NOTES:

- [illegible]

SEE SHEET C-2 FOR SITE DATA BLOCK
AND PARKING CALCULATIONS



FINAL APPROVAL BY ROCHESTER PLANNING BOARD



Granite Ridge Marketplace

Farmington Road
(Route 11)
Rochester, NH

March 11, 2014

6. Planning Subelement	
MAN	ORG
PROJECT NO	0-0285-3
DATE BY	000
DE-CLASS	CLASS
APPROVED BY	0000

OVERALL GRADING, DRAINAGE,
AND EROSION CONTROL PLAN

NAME AS SHOHAN

3

- | SALES BY MONTH | | TOTAL | |
|----------------|--------------|--------------|--------------|
| January | 100 | 100 | 100 |
| February | 150 | 150 | 150 |
| March | 200 | 200 | 200 |
| April | 250 | 250 | 250 |
| May | 300 | 300 | 300 |
| June | 350 | 350 | 350 |
| July | 400 | 400 | 400 |
| August | 450 | 450 | 450 |
| September | 500 | 500 | 500 |
| October | 550 | 550 | 550 |
| November | 600 | 600 | 600 |
| December | 650 | 650 | 650 |
| TOTAL | 4,500 | 4,500 | 4,500 |

BRIDGES AND DRAINAGE NOTES

- [illegible]

DISCUSSION, CONCLUSIONS, NOTES



SEE SHEETS C-3A, C-3B, AND C-3C FOR MORE DETAILED INFORMATION AND SHEET C-3D FOR EXISTING AND PROPOSED DRAINAGE STRUCTURE TABLES

DESIGNED BY _____ DATE _____

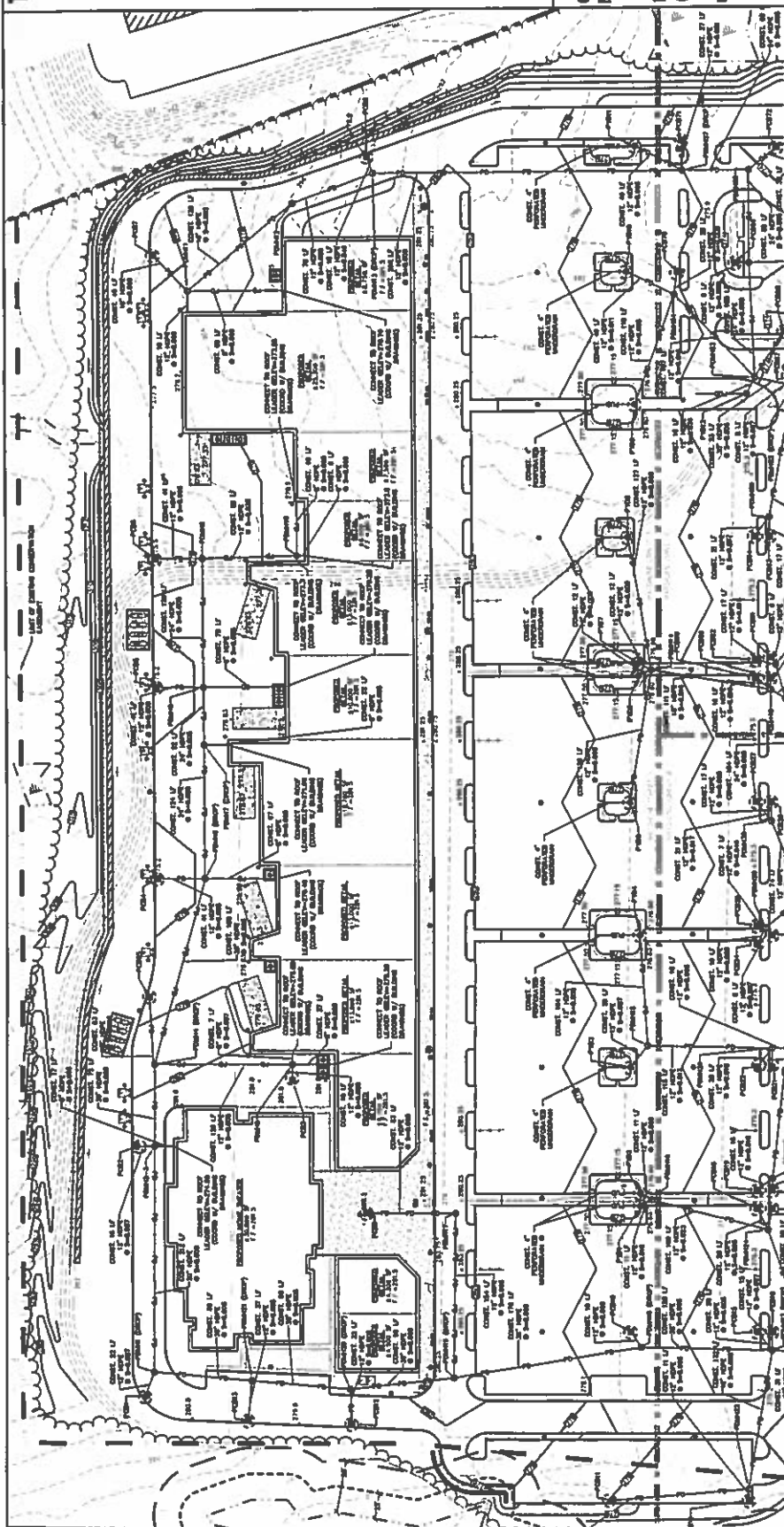


**Granite Ridge
Marketplace**
Farmington Road
(Route 11)
Rochester, NH

March 11, 2014

[illegible]

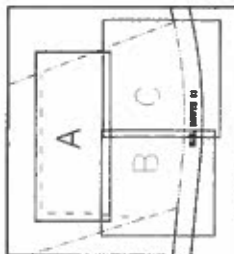
SCALE AS SHOWN
C-3A



SEE SHEET C-3 FOR GRADING,
DRAINAGE AND EROSION CONTROL
NOTES. SEE SHEET C-30 FOR
EXISTING AND PROPOSED
DRAINAGE STRUCTURE TABLES.

15.000

- [illegible]



INSET
SCALE 1" = 500'

OFFICIAL APPROVAL BY ROCHESTER PLANNING BOARD

200

Date _____



Granite Ridge Marketplace

Farmington Road
(Route 11)
Rochester, NH

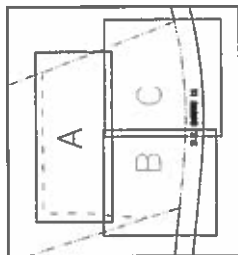
March 19, 2014

[illegible]

GRADING, DRAINAGE, AND
EROSION CONTROL PLAN

NAME: AS SHOHAN

8

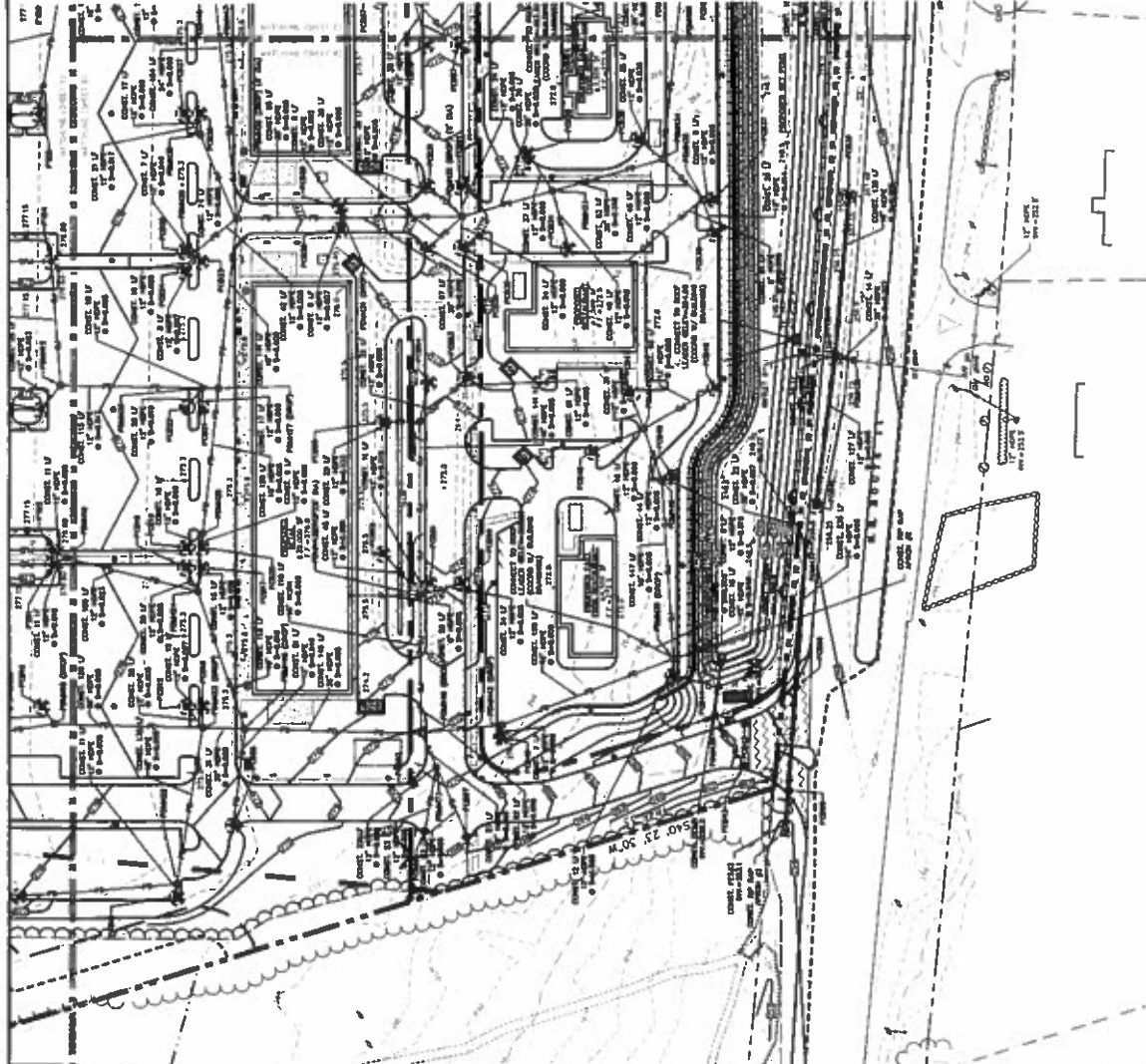


DATE: 11-30-2005
TIME: 11:38AM

Webb

- [illegible]

SEE SHEET C-3 FOR GRADING,
DRAINAGE AND EROSION CONTROL
NOTES. SEE SHEET C-30 FOR
EXISTING AND PROPOSED
DRAINAGE STRUCTURE TABLES.



FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

DATE _____

DATE _____



Granite Ridge Marketplace

Farmington Road
(Route 11)
Rochester, NH

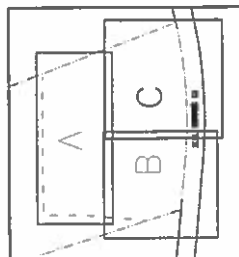
March 11, 2014

A	Billing Subsystem
Line	Stop Charges
PROJECTIONS	MATERIALS
CHECKED BY	DATE
SUBMITTED BY	DATE

CRACKING DRAINAGE AND
EROSION CONTROL PLAN

NAME AS SHOWN

C-3C



INSET
SCALE 1" = 500'

[illegible]

SEE SHEET C-3 FOR GRADING,
DRAINAGE AND EROSION CONTROL
NOTES. SEE SHEET C-3D FOR
EXISTING AND PROPOSED
DRAINAGE STRUCTURE TABLES.



FEIAL APPROVAL BY ROCHESTER PLANNING BOARD

COMPLETION BY _____ DAY



**Granite Ridge
Marketplace**

**Farmington Road
(Route 11)
Rochester, NH**

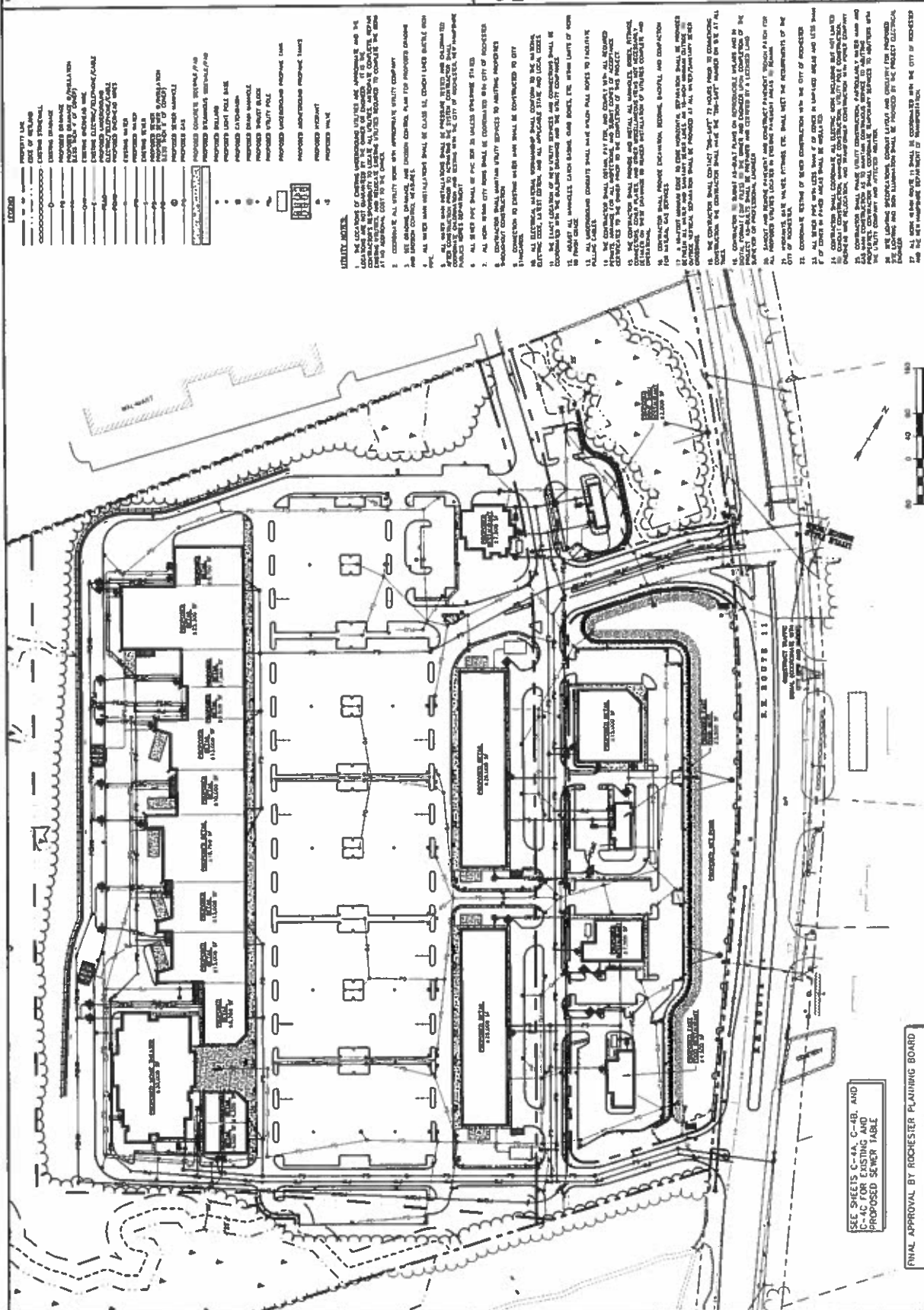
March 11, 2014

PROJECT NO.	14-0003
DATE	8/20/13
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

OVERALL UTILITIES PLAN

SCALE: AS SHOWN

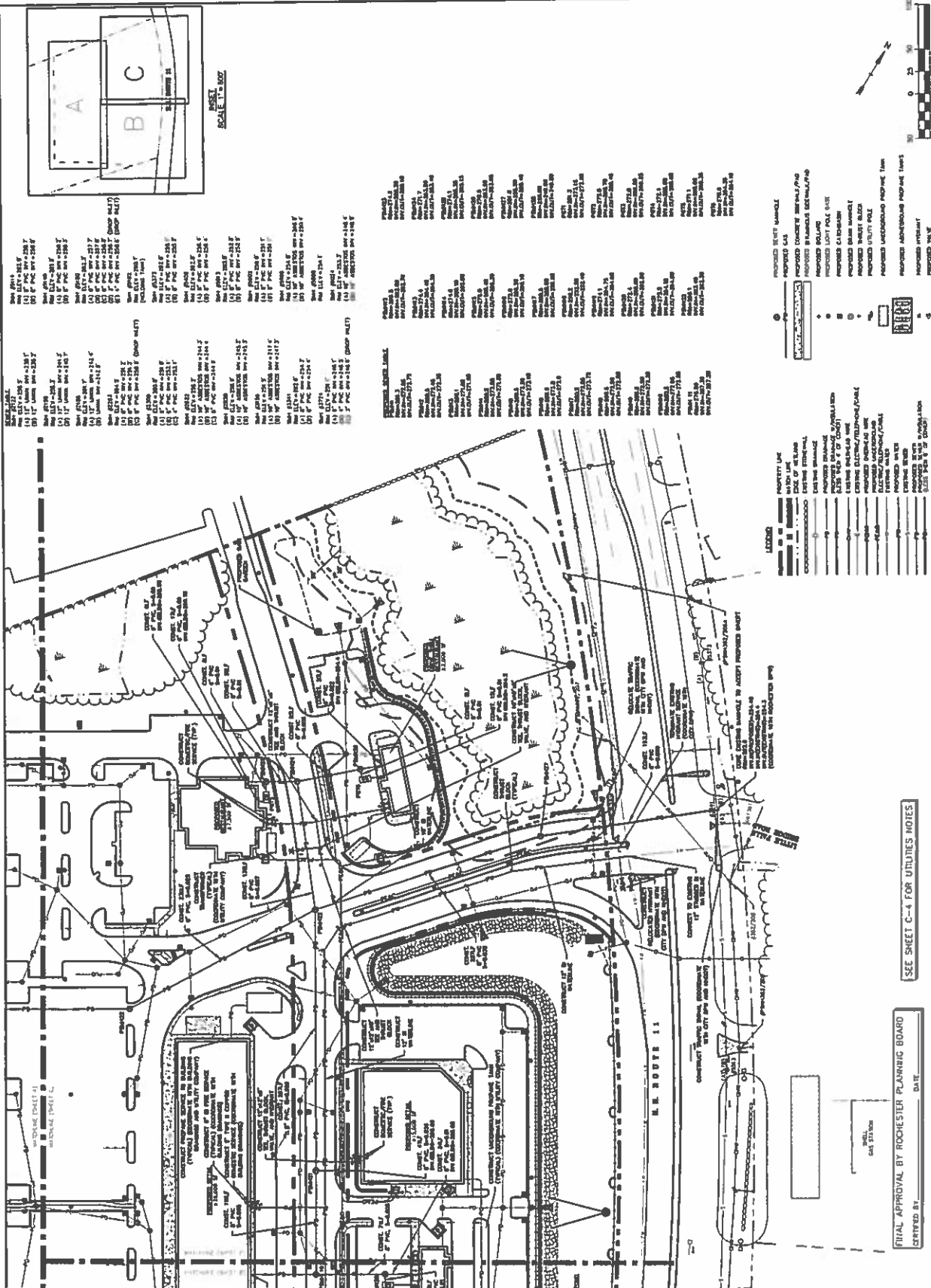
C-4



SEE SHEETS C-4A, C-4B, AND
C-4C FOR SETTING
PROPOSED SENSER TABLE

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____ DATE: _____

May 11, 2014

[illegible]

SEE SHEET C-4 FOR VOLUMES NOTES.

INITIAL APPROVAL BY ROCHESTER PLANNING BOARD

[illegible]

[illegible]Granite Ridge
Marketplace

**Farmington Road
(Route 11)**

Rochester, NH

May 11, 2014

A	PROJECT NAME
UNIT	NO.
PROJECT NO.	DATE
PUR.	BY
CHECKED BY	DATE
APPROVED BY	DATE

OVERALL LANDSCAPE PLAN

AS 5300000

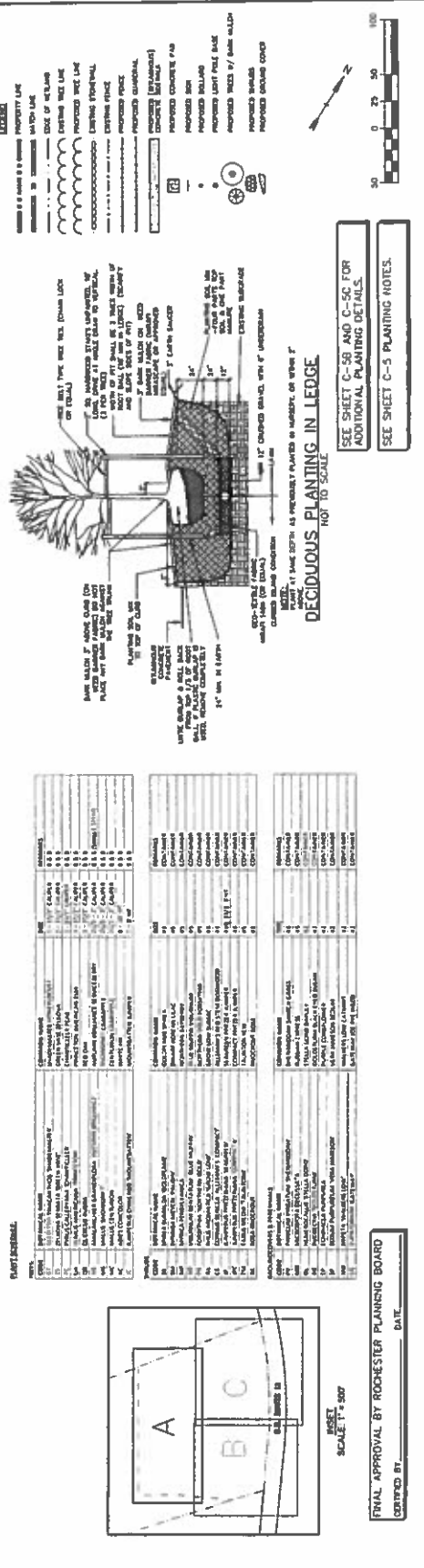
5

SEE SHEET C-5A, C-5B AND C-5C
FOR PLANT SCHEDULE AND QUANTITY.

SEE SHEET C-5A, C-5B AND C-5C
FOR PLANTING DETAILS

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

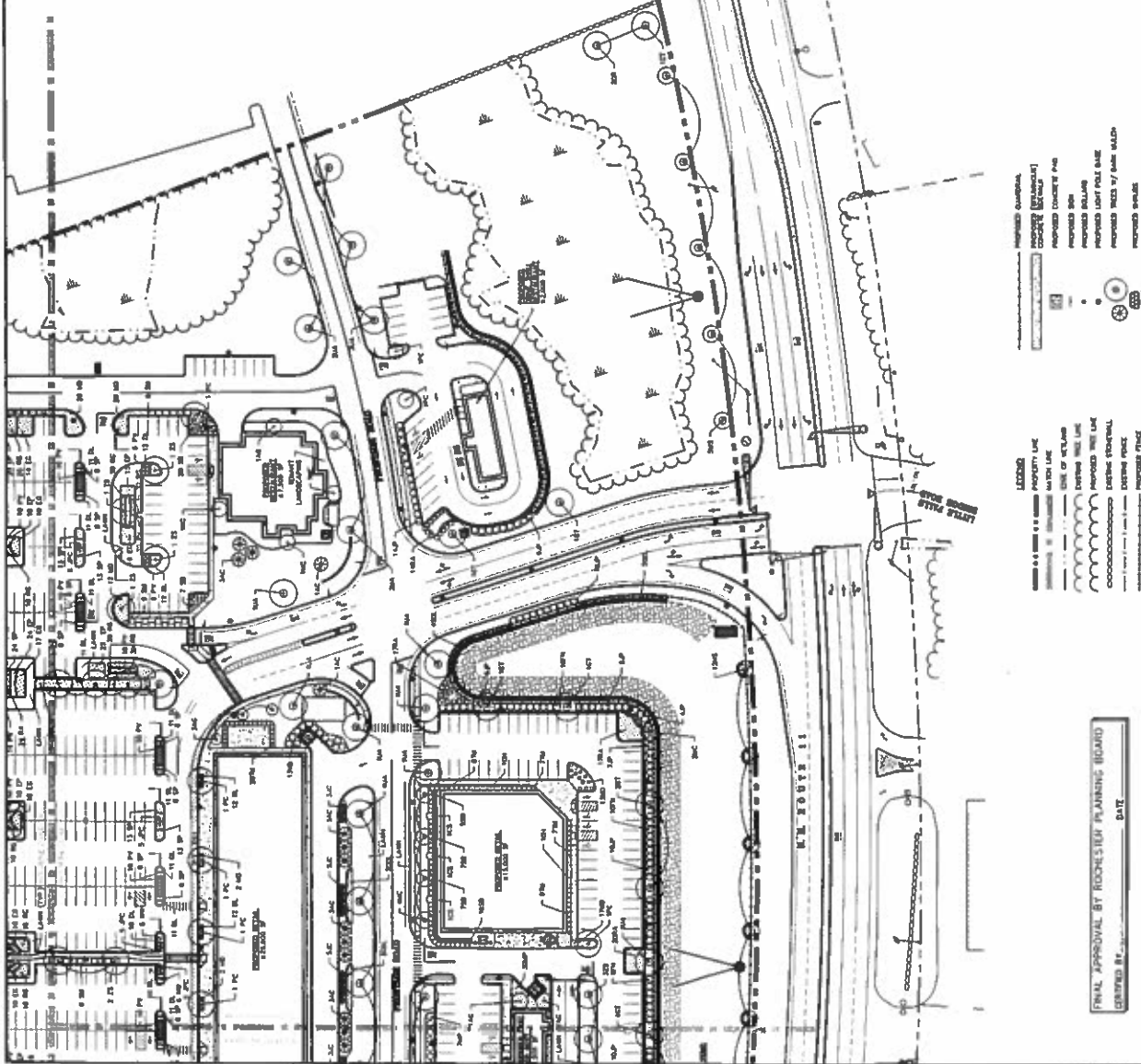
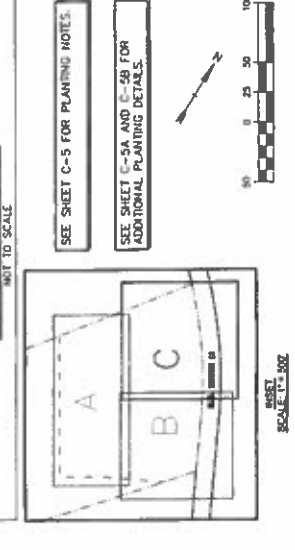
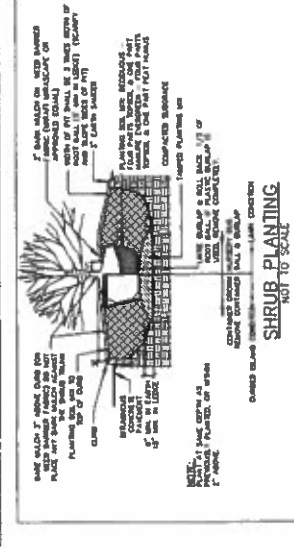
March 11, 2016							
A	Jrading Runways	Suite #	Project Manager	NATIM-J			
F/L/E	PROJECT NO.			MAY-7 SITE DIAG			
DRAWN BY	CHECKED			RPH	GMM		
APPROVED BY	CHECKED			OALD			
					LANDSCAPE PLAN		
					SCALE AS SHOWN		
					C-5A		



PLANT SCHEDULE

NO.	PLANT NAME	QUANTITY	REMARKS
1	1" B&B	1	1" B&B
2	2" B&B	1	2" B&B
3	3" B&B	1	3" B&B
4	4" B&B	1	4" B&B
5	5" B&B	1	5" B&B
6	6" B&B	1	6" B&B
7	7" B&B	1	7" B&B
8	8" B&B	1	8" B&B
9	9" B&B	1	9" B&B
10	10" B&B	1	10" B&B
11	11" B&B	1	11" B&B
12	12" B&B	1	12" B&B
13	13" B&B	1	13" B&B
14	14" B&B	1	14" B&B
15	15" B&B	1	15" B&B
16	16" B&B	1	16" B&B
17	17" B&B	1	17" B&B
18	18" B&B	1	18" B&B
19	19" B&B	1	19" B&B
20	20" B&B	1	20" B&B
21	21" B&B	1	21" B&B
22	22" B&B	1	22" B&B
23	23" B&B	1	23" B&B
24	24" B&B	1	24" B&B
25	25" B&B	1	25" B&B
26	26" B&B	1	26" B&B
27	27" B&B	1	27" B&B
28	28" B&B	1	28" B&B
29	29" B&B	1	29" B&B
30	30" B&B	1	30" B&B
31	31" B&B	1	31" B&B
32	32" B&B	1	32" B&B
33	33" B&B	1	33" B&B
34	34" B&B	1	34" B&B
35	35" B&B	1	35" B&B
36	36" B&B	1	36" B&B
37	37" B&B	1	37" B&B
38	38" B&B	1	38" B&B
39	39" B&B	1	39" B&B
40	40" B&B	1	40" B&B
41	41" B&B	1	41" B&B
42	42" B&B	1	42" B&B
43	43" B&B	1	43" B&B
44	44" B&B	1	44" B&B
45	45" B&B	1	45" B&B
46	46" B&B	1	46" B&B
47	47" B&B	1	47" B&B
48	48" B&B	1	48" B&B
49	49" B&B	1	49" B&B
50	50" B&B	1	50" B&B
51	51" B&B	1	51" B&B
52	52" B&B	1	52" B&B
53	53" B&B	1	53" B&B
54	54" B&B	1	54" B&B
55	55" B&B	1	55" B&B
56	56" B&B	1	56" B&B
57	57" B&B	1	57" B&B
58	58" B&B	1	58" B&B
59	59" B&B	1	59" B&B
60	60" B&B	1	60" B&B
61	61" B&B	1	61" B&B
62	62" B&B	1	62" B&B
63	63" B&B	1	63" B&B
64	64" B&B	1	64" B&B
65	65" B&B	1	65" B&B
66	66" B&B	1	66" B&B
67	67" B&B	1	67" B&B
68	68" B&B	1	68" B&B
69	69" B&B	1	69" B&B
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72	72" B&B	1	72" B&B
73	73" B&B	1	73" B&B
74	74" B&B	1	74" B&B
75	75" B&B	1	75" B&B
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77	77" B&B	1	77" B&B
78	78" B&B	1	78" B&B
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91	91" B&B	1	91" B&B
92	92" B&B	1	92" B&B
93	93" B&B	1	93" B&B
94	94" B&B	1	94" B&B
95	95" B&B	1	95" B&B
96	96" B&B	1	96" B&B
97	97" B&B	1	97" B&B
98	98" B&B	1	98" B&B
99	99" B&B	1	99" B&B
100	100" B&B	1	100" B&B

NO.	PLANT NAME	QUANTITY	REMARKS
1	1" B&B	1	1" B&B
2	2" B&B	1	2" B&B
3	3" B&B	1	3" B&B
4	4" B&B	1	4" B&B
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Granite Ridge Marketplace
Farmington Road (Route 11)
Rochester, NH

March 11, 2014	
PROJECT NO.	14-001
DATE	March 11, 2014
DESIGNED BY	AS SHOWN
CHECKED BY	AS SHOWN
APPROVED BY	AS SHOWN
SCALE	C-5C

LANDSCAPE PLAN
AS SHOWN
C-5C

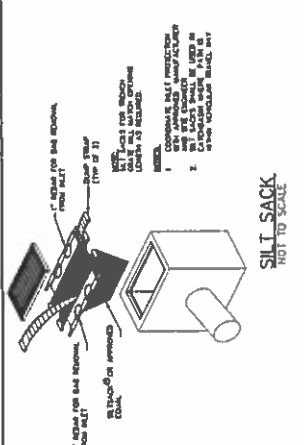


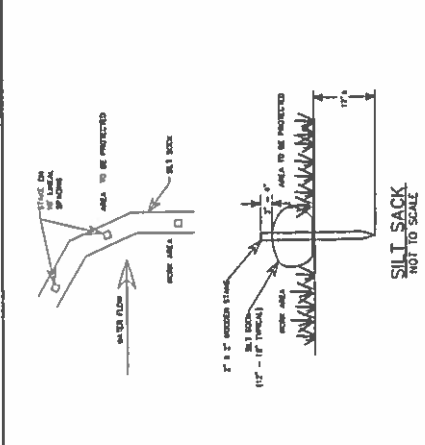
**Granite Ridge
Marketplace**
Farmington Road
(Route 11)
Rochester, NH

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[illegible][illegible]



1. The following information was obtained from the records of the FBI, New York City, dated 10/10/68, regarding the activities of the "Black Liberation Army" (BLA) in the New York City area:
2. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
3. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
4. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
5. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
6. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
7. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
8. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
9. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.
10. The BLA is a group of individuals who are active in the New York City area and are active in the New York City area.

[illegible]

196 2E4 0102/01/1 2140
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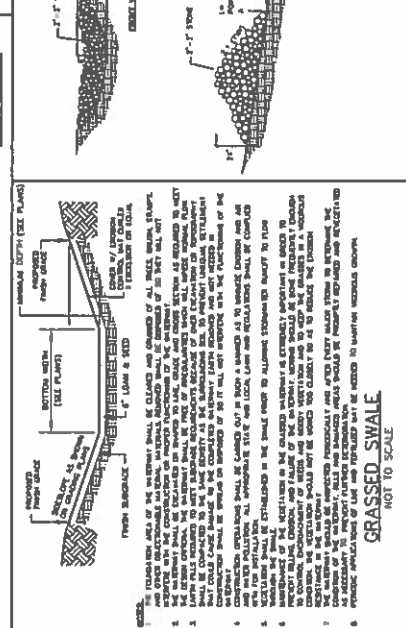
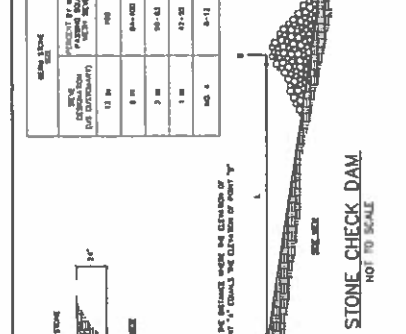
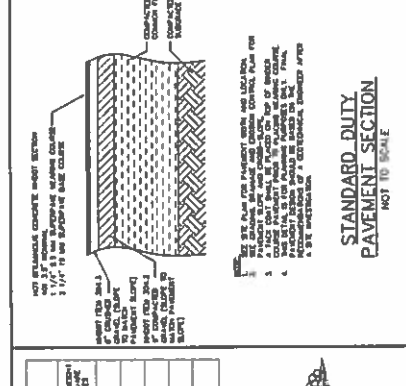
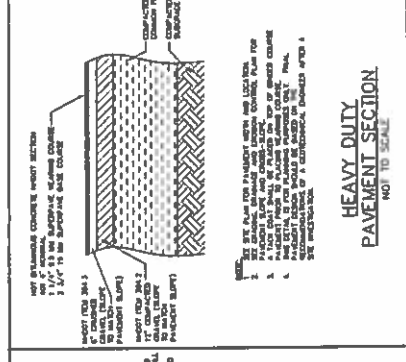
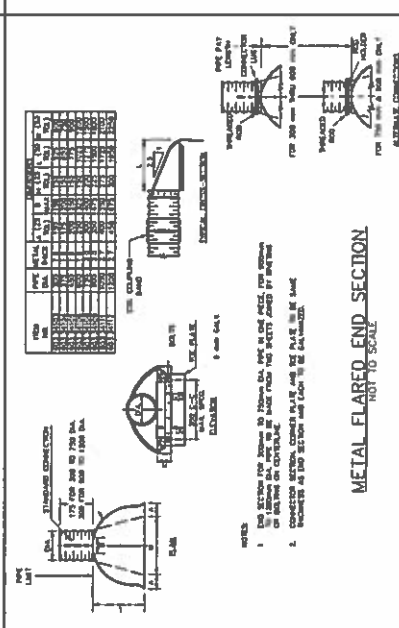
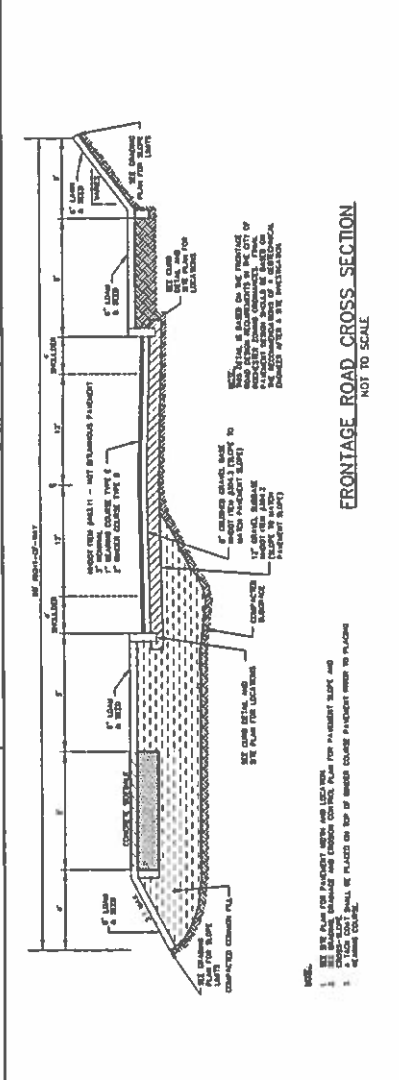
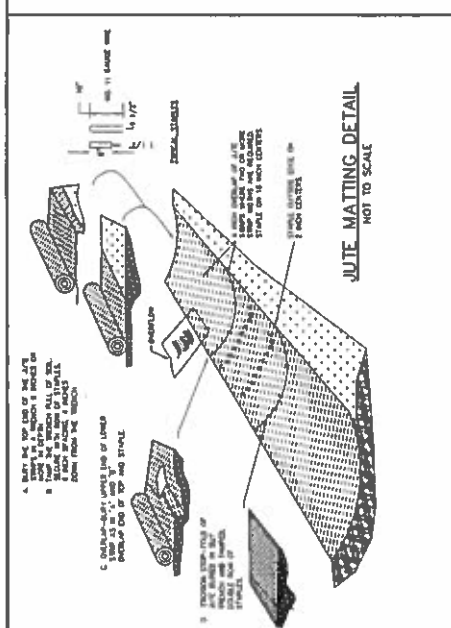
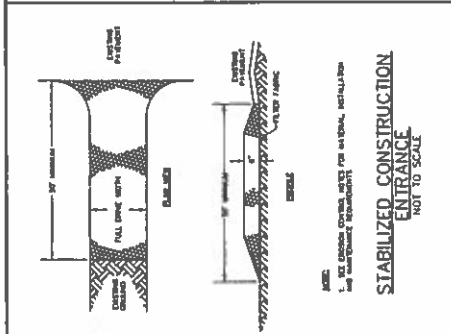
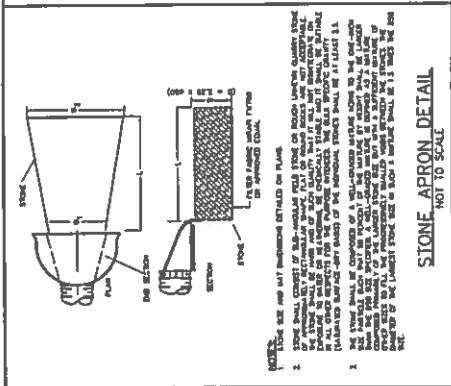
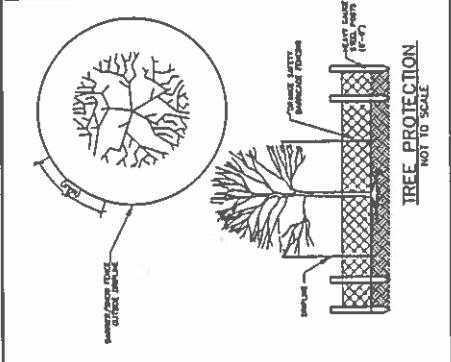
**Granite Ridge
Marketplace**

**Farmington Road
(Route 11)
Rochester, NH**

March 11, 2014

PROJECT NO. 1000000000
SHEET NO. 1000000000
DATE 10/01/13
DRAWN BY 1000000000
CHECKED BY 1000000000
APPROVED BY 1000000000

DETAILS SHEET
SCALE AS SHOWN
C-7



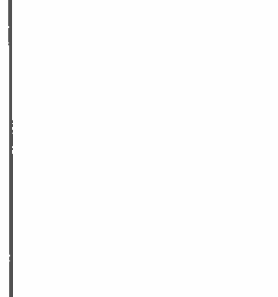
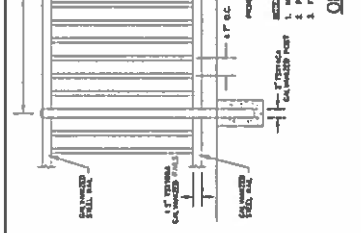
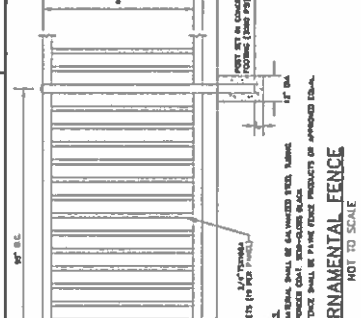
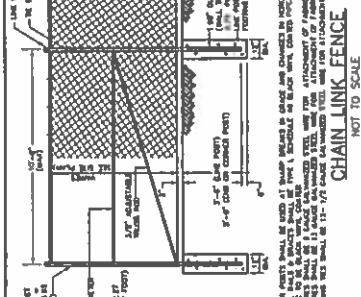
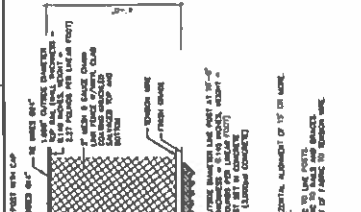
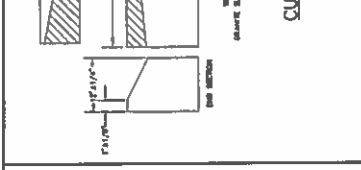
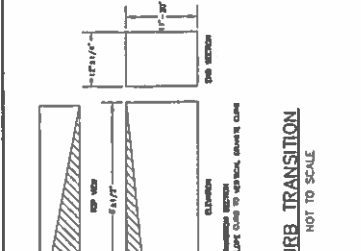
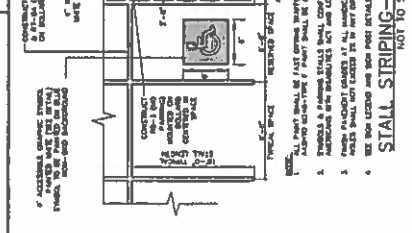
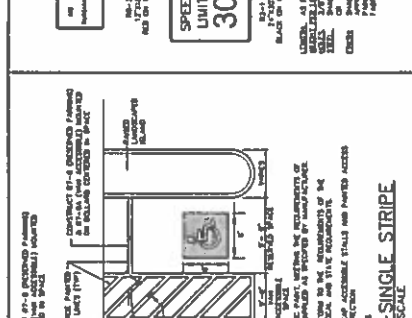
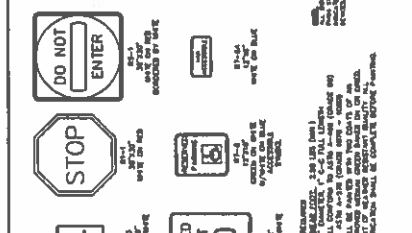
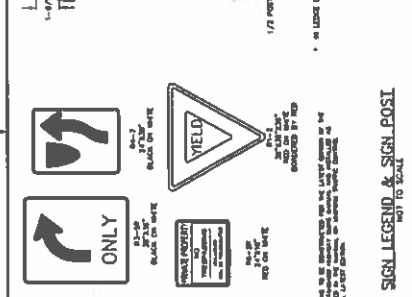
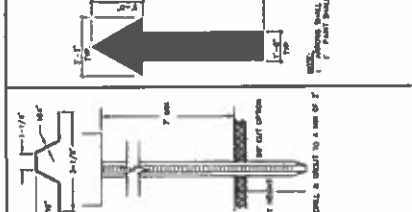
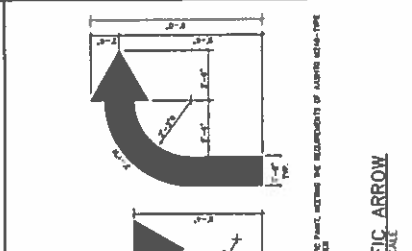
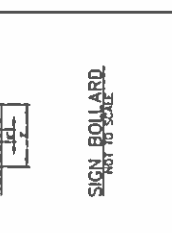
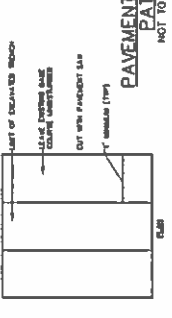
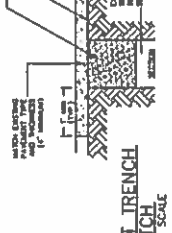
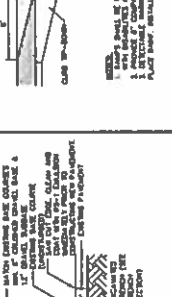
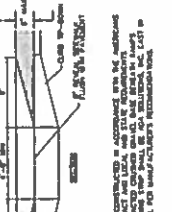
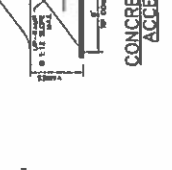
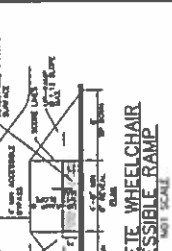
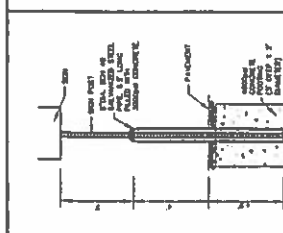
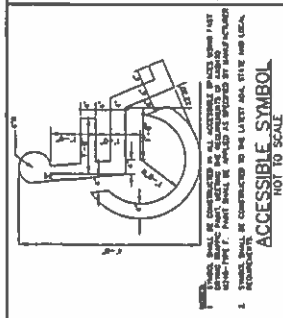
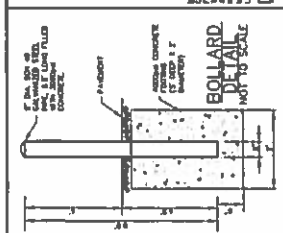
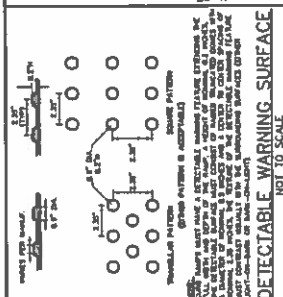
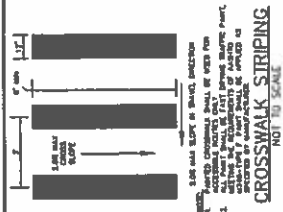
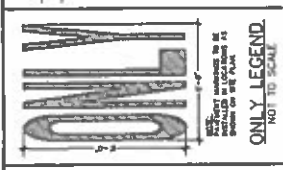
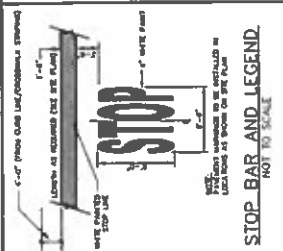


Granite Ridge Marketplace
Farmington Road
(Route 11)
Rochester, NH

March 11, 2014

PROJECT NO.	2013-001
PROJECT NAME	Granite Ridge Marketplace
DATE	3/11/14
DESIGNED BY	TE
CHECKED BY	TE
APPROVED BY	TE

DETAILS SHEET	AS SHOWN
SCALE	AS SHOWN
C-8	





Granite Ridge Marketplace

Farmington Road (Route 11)

Rochester, NH

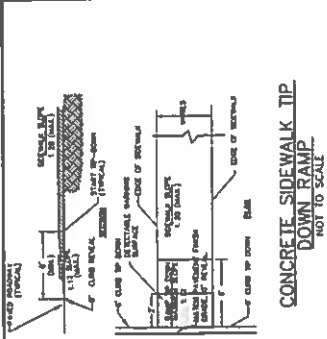
March 11, 2014

1. PROJECT LOCATION	ROUTE 11
2. PROJECT NO.	11-001
3. SHEET NO.	11-001-01
4. SHEET TOTALS	11-001-01
5. DRAWN BY	REB
6. CHECKED BY	REB
7. APPROVED BY	REB

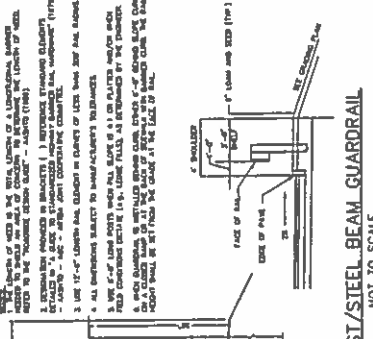
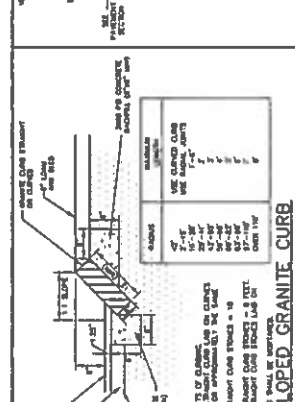
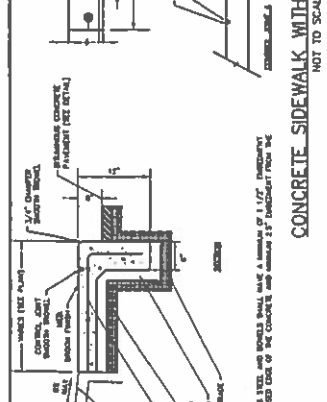
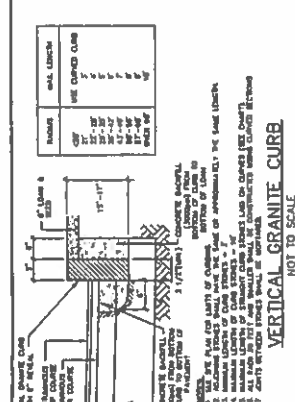
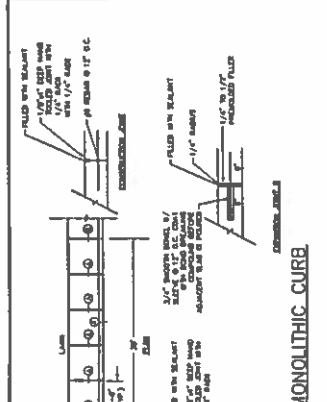
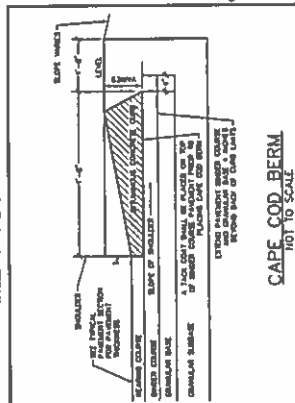
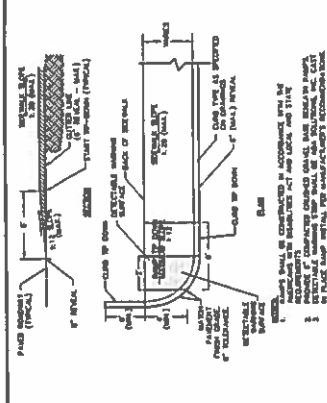
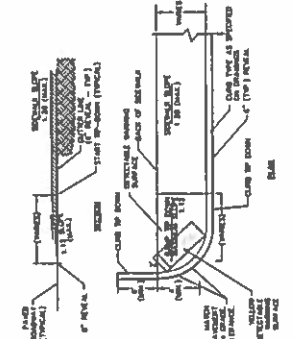
DETAILS SHEET

SCALE AS SHOWN

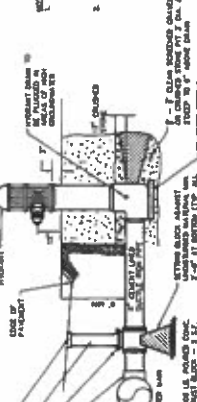
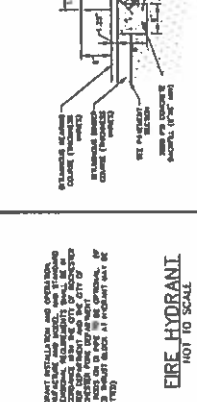
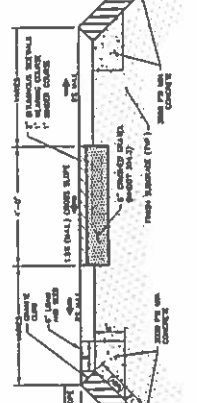
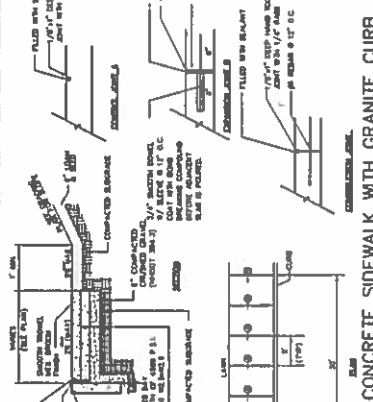
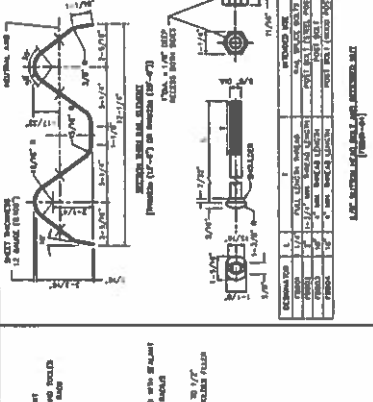
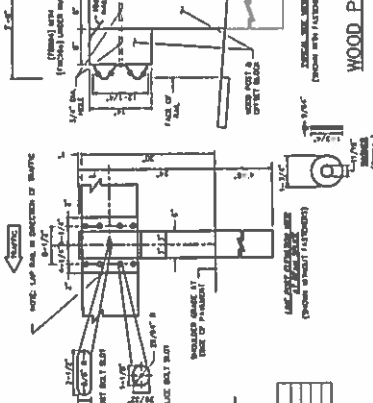
C-9



CONCRETE SIDEWALK TIP DOWN RAMP
NOT TO SCALE



WOOD POST/STEEL BEAM GUARDRAIL
NOT TO SCALE



BITUMINOUS CONCRETE SIDEWALK
NOT TO SCALE

ERE HYDRANT
NOT TO SCALE

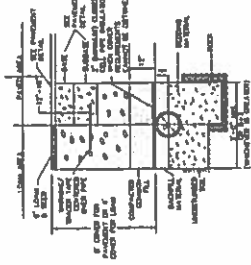
NOT TO SCALE



Granite Ridge Marketplace

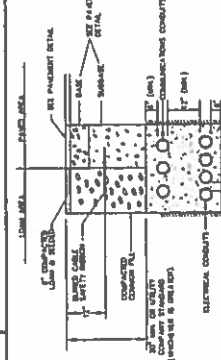
Farmington Road (Route 11)
Rochester, NH

DATE: March 11, 2014	PROJECT NO: 10000000000000000000
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
APPROVED BY: [Signature]	SCALE: AS SHOWN
DETAILS SHEET	C-10

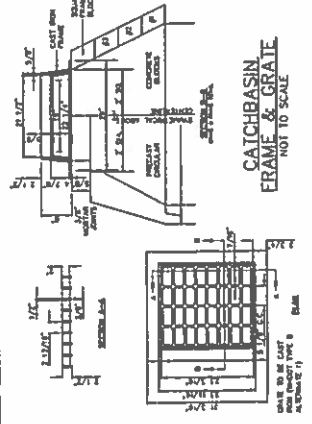


SEWER TRENCH
NOT TO SCALE

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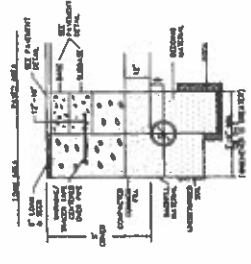


WATER TRENCH
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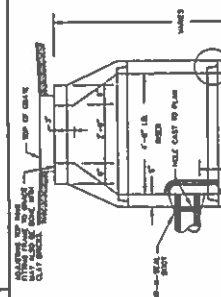
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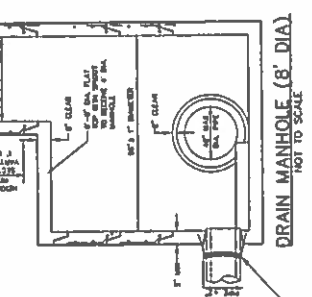


CATCHBASIN
NOT TO SCALE

1. 12\"/>

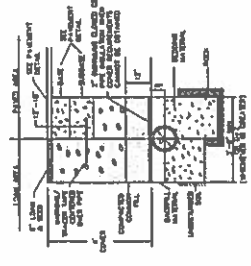


DRAIN MANHOLE (8' DIA)
NOT TO SCALE



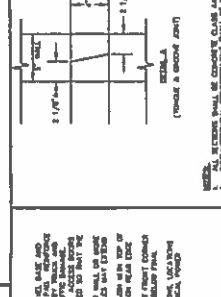
DRAIN MANHOLE (6' DIA)
NOT TO SCALE

1. 12\"/>

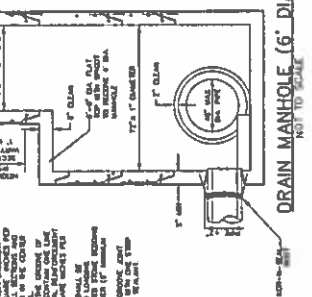


DRAIN MANHOLE (4' DIA)
NOT TO SCALE

1. 12\"/>

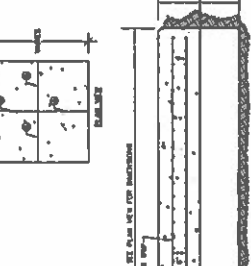


PRECAST CONCRETE TRANSFORMER PAD
NOT TO SCALE



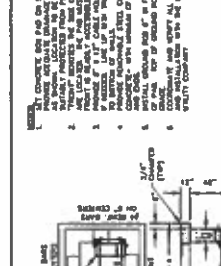
CATCHBASIN
NOT TO SCALE

1. 12\"/>

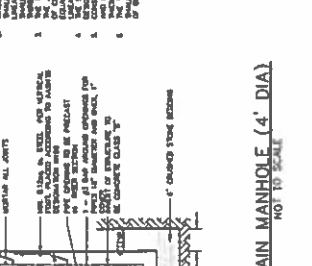


DUMPSTER PAD
NOT TO SCALE

1. 12\"/>



CATCHBASIN
NOT TO SCALE



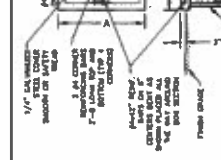
DRAIN MANHOLE (8' DIA)
NOT TO SCALE

1. 12\"/>

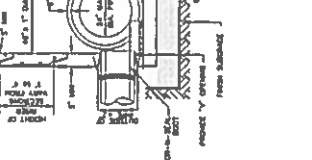


DRAIN MANHOLE (6' DIA)
NOT TO SCALE

1. 12\"/>



DRAIN MANHOLE (4' DIA)
NOT TO SCALE



DRAIN MANHOLE (8' DIA)
NOT TO SCALE

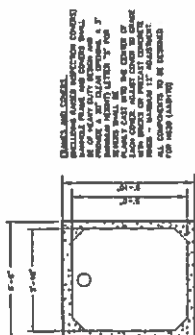
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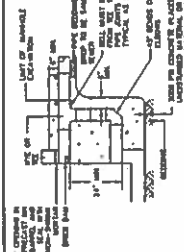
**Granite Ridge
Marketplace**
Farmington Road
(Route 11)
Rochester, NH

A. DITTING INFORMATION	
Drawn By	Date
Checked By	Date
PROJECT NO.	DATE
DESCRIPTION	DATE
APPROVED BY	DATE
DETAILS SHEET	
SCALE AS SHOWN	

C-11



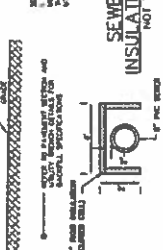
ALL COMPONENTS TO BE DESIGNED FOR AASHTO HIGH LOADING, MAXIMUM FRAME & CORNER SHALL BE OF HEAVY DUTY DESIGN. ALL STEEL SHALL BE STRUCTURAL GRADE, A36 OR A572, GRADE 50.



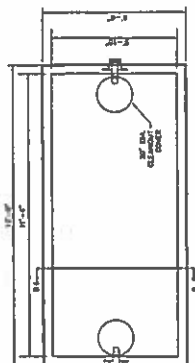
INDEPENDENT ON FLAATIS NOW

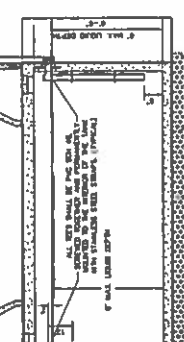
EXTERNAL DROP

NOT TO SCALE



SEWER PIPE
INSULATION DETAIL
NOT TO SCALE





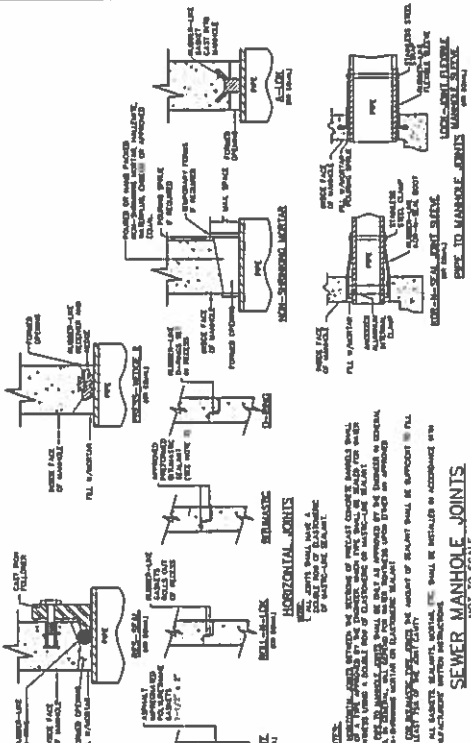
ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

2,000 GALLON GREASE TRAP (TYP)

NOT TO SCALE

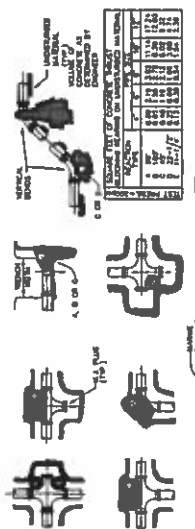


**DRAIN PIPE
INSULATION DETAIL
NOT TO SCALE**



SEWER MANHOLE JOINTS

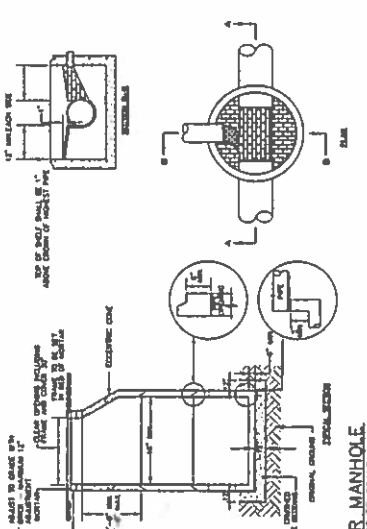
NOT TO SCALE



LISTING: GUNN, KYLE, ONE ROOM, NO
BATH, COOK, W/IN. CLO. CO.
GROUNDED IN TOWN, LAMP, DW. W/IN.
EMERGENCY IN NORTH ISLAND, GUNN
ENTER

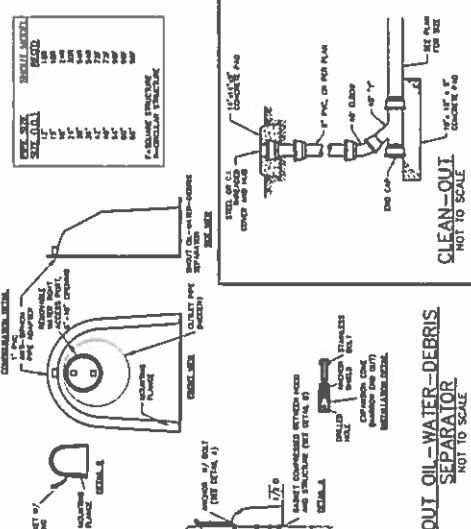
THRUST BLOCKING DETAIL

NOT TO SCALE



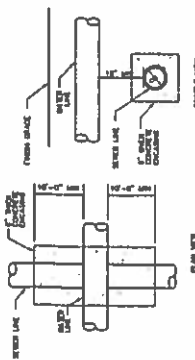
SEWER MANHOLE
NOT TO SCALE

IT NO SCALE



SNOUT OIL - WATER - DEBRIS

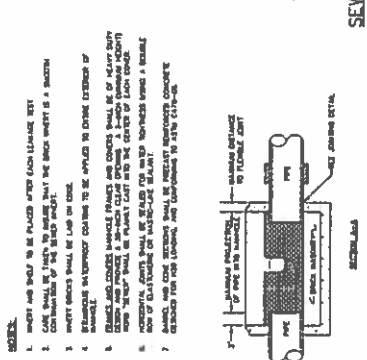
SEPARATOR



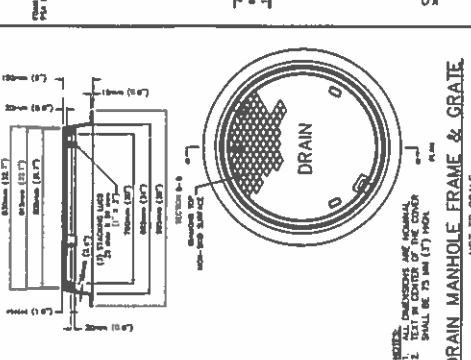
DOUGLAS
TAVEL, 111
WILSON ST.,
JACKSONVILLE,
FLA. 32205
RECEIVED 10/20/78

WATER & SEWER CROSSING

NOT TO SCALE



References



1. ALL DIMENSIONS ARE NOMINAL.
2. TEXT IN CENTER OF THE COVER
SHALL BE 10 MM (1/8") HIGH.

References

DRAIN MANHOLE FRAME & GRATE
NOT TO SCALE

WANT TO SCARE



Granite Ridge
Marketplace

Farmington Road
(Route 11)

Rochester, NH

March 11, 2014

PROJECT NO.	14-001
DATE	03/11/14
DESIGNED BY	TE
CHECKED BY	TE
APPROVED BY	TE

DETAILS SHEET

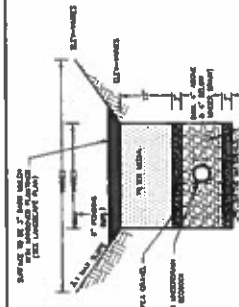
SCALE: AS SHOWN

C-12

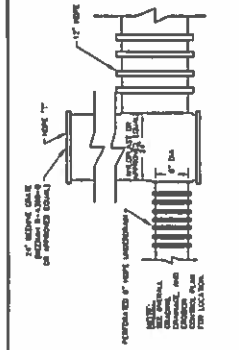
NOTES:

- SEE MAIN SHEET FOR LOCATION OF INFILTRATION AREA.
- INFILTRATION AREA SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- INFILTRATION AREA SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/2" GRAVEL UNDERLAYMENT.
- INFILTRATION AREA SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/2" GRAVEL UNDERLAYMENT.
- INFILTRATION AREA SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF 1/2" GRAVEL UNDERLAYMENT.

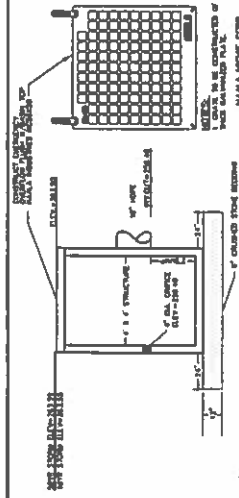
COMPONENT MATERIAL	THICKNESS OF MATERIAL	PERCENT OF INFILTRATION
18" 1/2" GRAVEL	18" TO 24"	PER ASTM REQUIREMENTS
18" 1/2" GRAVEL	18" TO 24"	PER ASTM REQUIREMENTS
18" 1/2" GRAVEL	18" TO 24"	PER ASTM REQUIREMENTS
18" 1/2" GRAVEL	18" TO 24"	PER ASTM REQUIREMENTS
18" 1/2" GRAVEL	18" TO 24"	PER ASTM REQUIREMENTS



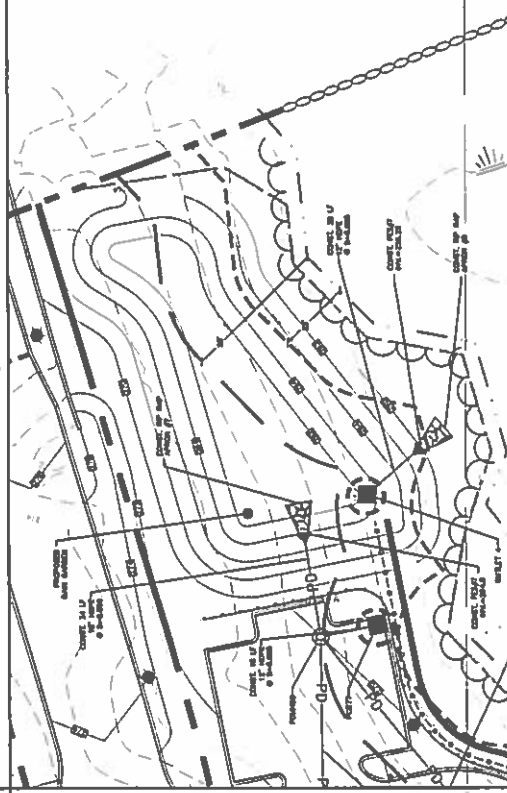
INFILTRATION AREA CROSS SECTION
NOT TO SCALE



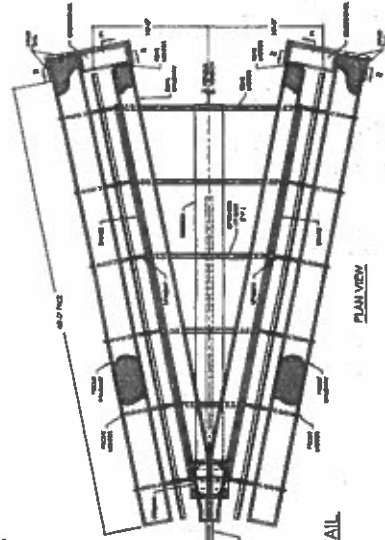
INFILTRATION AREA OUTLET
STRUCTURE
NOT TO SCALE



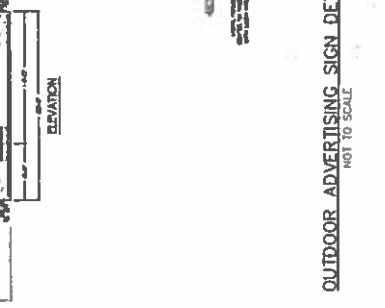
RAIN GARDEN OUTLET
STRUCTURE
NOT TO SCALE



RAIN GARDEN DETAIL
SCALE: 1" = 20'



OUTDOOR ADVERTISING SIGN DETAIL
NOT TO SCALE



ELEVATION



Granite Ridge Marketplace
Farmington Road
(Route 11)
Rochester, NH

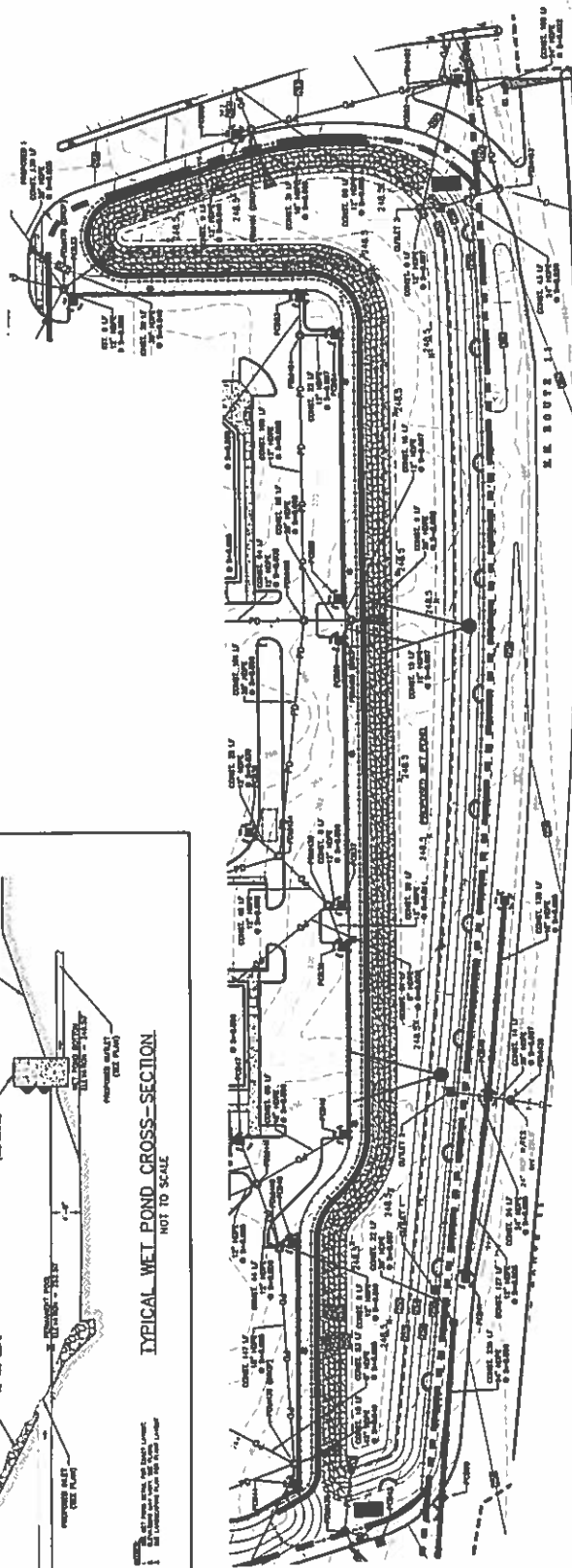
March 11, 2014

PROJECT NO.	13-0000
PROJECT NAME	GRANITE RIDGE MARKETPLACE
PROJECT LOCATION	ROUTE 11, ROCHESTER, NH
PROJECT DATE	2013
PROJECT BY	TIGHE & BOND
PROJECT FOR	THE GRANITE RIDGE TRADING COMPANY
PROJECT NO.	13-0000
PROJECT NAME	GRANITE RIDGE MARKETPLACE
PROJECT LOCATION	ROUTE 11, ROCHESTER, NH
PROJECT DATE	2013
PROJECT BY	TIGHE & BOND
PROJECT FOR	THE GRANITE RIDGE TRADING COMPANY

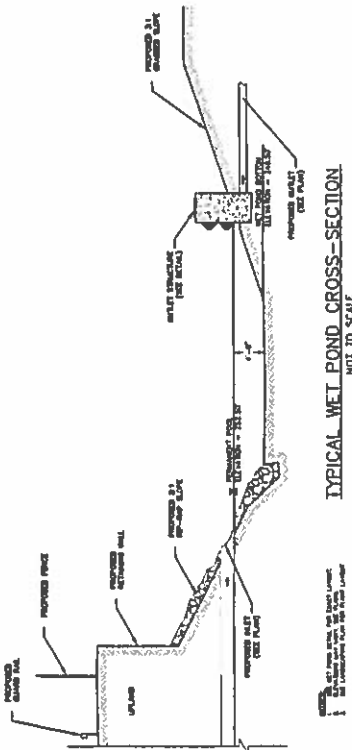
DETAILS SHEET

SCALE AS SHOWN

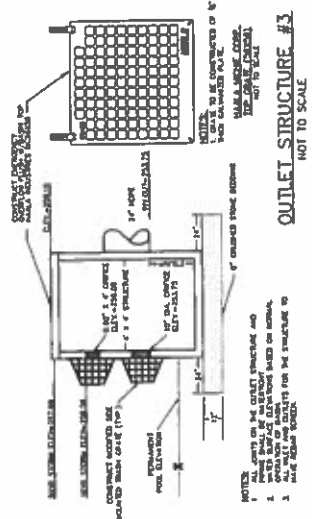
C-13



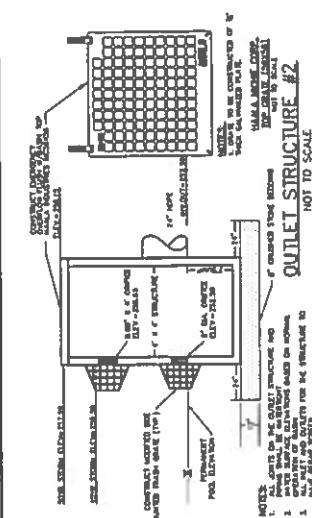
WET POND DETAIL
SCALE: 1" = 40'



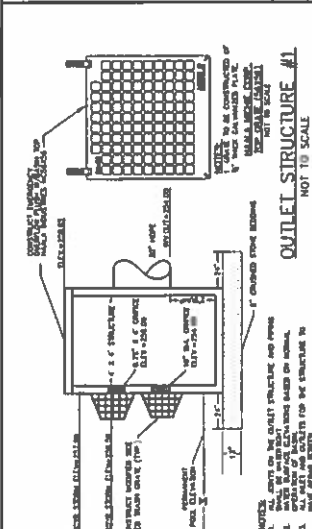
TYPICAL WET POND CROSS-SECTION
NOT TO SCALE



OUTLET STRUCTURE #1
NOT TO SCALE



OUTLET STRUCTURE #2
NOT TO SCALE



OUTLET STRUCTURE #3
NOT TO SCALE



Granite Ridge
Marketplace

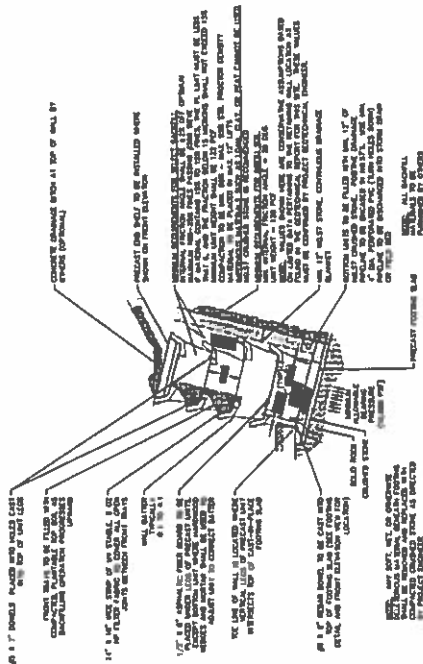
Farmington Road
(Route 11)

Rochester, NH

March 11, 2014

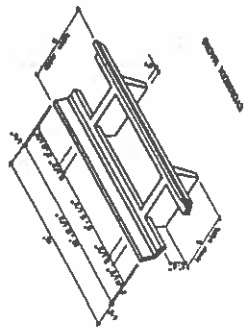
DATE	March 11, 2014
PROJECT	Granite Ridge Marketplace
LOCATION	Farmington Road (Route 11)
FILE	4-1010-2 DETAIL Dwg
DESIGNED BY	CHEN
CHECKED BY	CHEN
APPROVED BY	CHEN
DETAILS SHEET	
SCALE	AS SHOWN
C-14	

- REVISIONS:**
1. REVISIONS SHALL BE BY NUMBERED SHEET, ETC. OR APPROVED ETC.
 2. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 3. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
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 8. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
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 10. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 11. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 12. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 13. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 14. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 15. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 16. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 17. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 18. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 19. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.
 20. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN AND SHALL MAINTAIN RECORDS OF ALL CHANGES TO THE ORIGINAL DESIGN.



EVERGREEN WALL TYPICAL INSTALLATION DETAILS
NOT TO SCALE

REVISION	DATE	DESCRIPTION	CONCRETE QUANTITY (CY)	REINFORCEMENT QUANTITY (LBS)	TOTAL WEIGHT (LBS)
1	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
2	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
3	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
4	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
5	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
6	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
7	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
8	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
9	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
10	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
11	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
12	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
13	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
14	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
15	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
16	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
17	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
18	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
19	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115
20	03/11/14	ISSUED FOR PERMIT	1.00	1,115	1,115



EVERGREEN WALL DESIGN TABLE
NOT TO SCALE



Granite Ridge Marketplace
Farmington Road
(Route 11)
Rochester, NH

March 11, 2014

PROJECT NO.	14-001
PROJECT NAME	Granite Ridge Marketplace
DATE	03/11/14
DESIGNED BY	DA
CHECKED BY	DB
DATE	03/11/14

FIRE TRUCK TURNING PLAN

SCALE: AS SHOWN

C-15

FIRE TRUCK MOVEMENT



FIRE TRUCK
(WB-62)



FIRE TRUCK WB-62
Tractor Width: 15.00
Tractor Length: 4.00
Tractor Wheelbase: 13.50
Tractor Hitch: 4.00
Tractor Turn Radius: 43.00
Tractor Turn Radius: 46.50

Feet

15.00

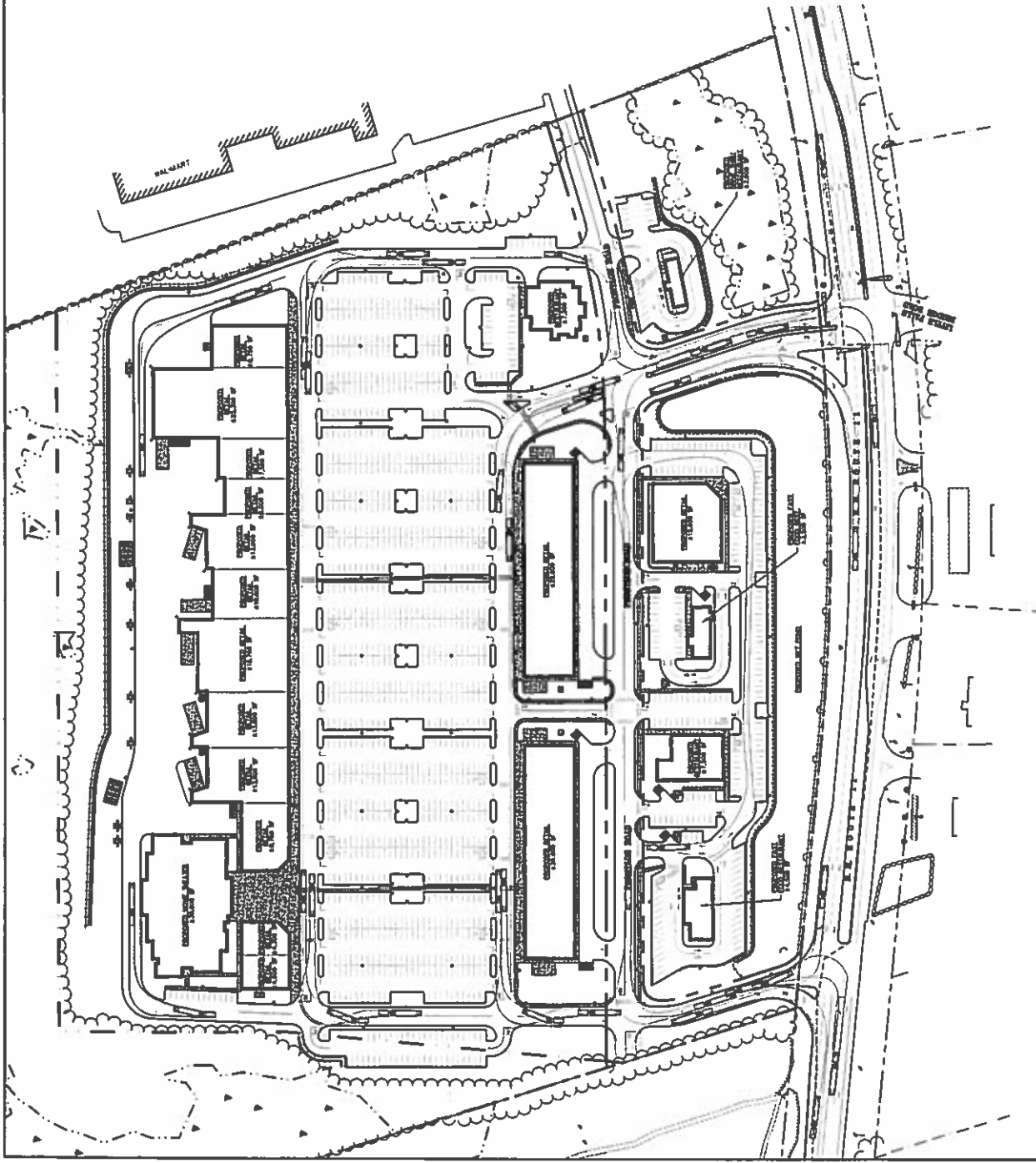
4.00

13.50

4.00

43.00

46.50



Granite Ridge Marketplace

Farmington Road
(Route 11)

Rochester, NH

March 9, 2014

Author	Year	Country	Sample Size	Age Range	Gender	Study Type
Wang et al.	2005	China	1,000	18-25	Male	Experimental
Wang et al.	2006	China	1,000	18-25	Male	Experimental
Wang et al.	2007	China	1,000	18-25	Male	Experimental
Wang et al.	2008	China	1,000	18-25	Male	Experimental
Wang et al.	2009	China	1,000	18-25	Male	Experimental
Wang et al.	2010	China	1,000	18-25	Male	Experimental
Wang et al.	2011	China	1,000	18-25	Male	Experimental
Wang et al.	2012	China	1,000	18-25	Male	Experimental
Wang et al.	2013	China	1,000	18-25	Male	Experimental
Wang et al.	2014	China	1,000	18-25	Male	Experimental
Wang et al.	2015	China	1,000	18-25	Male	Experimental
Wang et al.	2016	China	1,000	18-25	Male	Experimental
Wang et al.	2017	China	1,000	18-25	Male	Experimental
Wang et al.	2018	China	1,000	18-25	Male	Experimental
Wang et al.	2019	China	1,000	18-25	Male	Experimental
Wang et al.	2020	China	1,000	18-25	Male	Experimental
Wang et al.	2021	China	1,000	18-25	Male	Experimental
Wang et al.	2022	China	1,000	18-25	Male	Experimental
Wang et al.	2023	China	1,000	18-25	Male	Experimental
Wang et al.	2024	China	1,000	18-25	Male	Experimental
Wang et al.	2025	China	1,000	18-25	Male	Experimental

WB-47 TRAJECTORY PLAN

SCALE IS SHOWN BY INCHES

C-16

WB-67 TRUCK MOVEMENT



Feed	Loss to Lign. Resid.
1. 8.00	8.00
2. 8.30	8.30
3. 4.00	4.00
4. 4.00	4.00



C-16

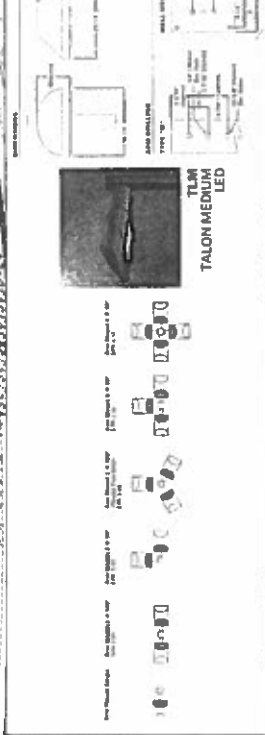
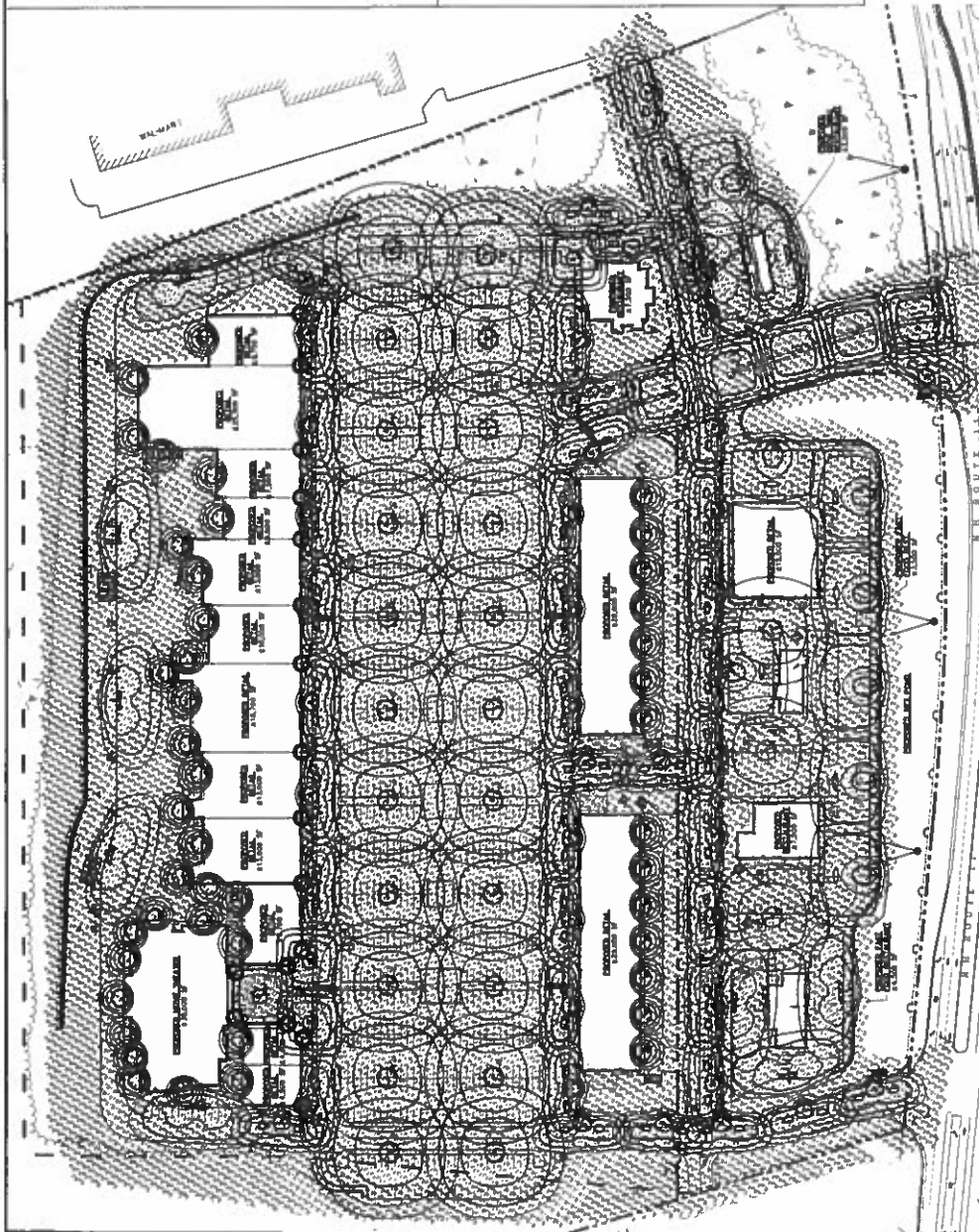
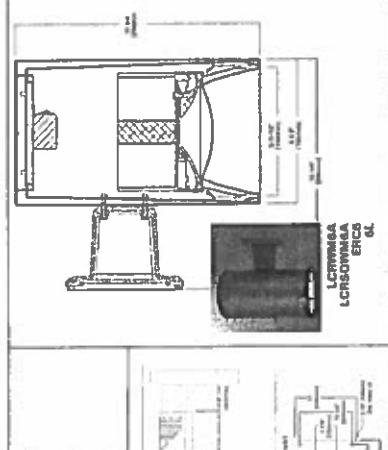
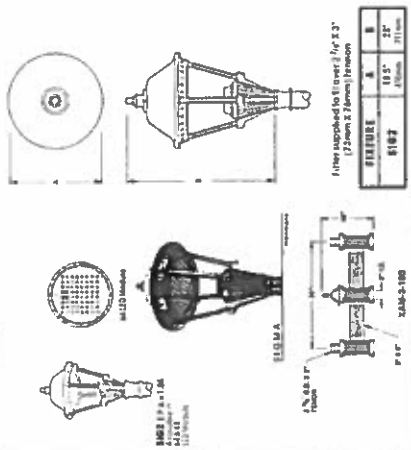
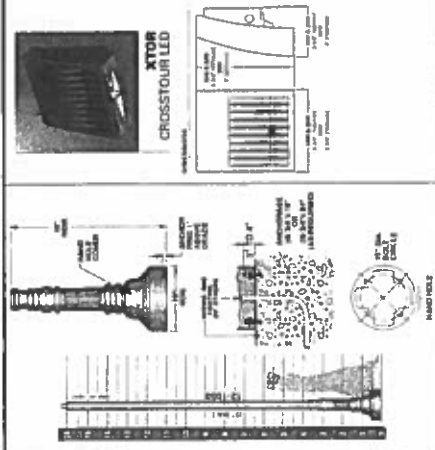
C-16

Granite Ridge Marketplace

Farmington Road
(Route 11)
Rochester, NH

March 11, 2014

PROJECT NO.	14-001
DATE	03/11/14
DESIGNED BY	TL
CHECKED BY	TL
APPROVED BY	TL
PROJECT NAME	Granite Ridge Marketplace
PROJECT LOCATION	Farmington Road (Route 11), Rochester, NH
PROJECT TYPE	Lighting Plan
PROJECT SCALE	AS SHOWN
PROJECT SHEET	C-17



PROJECT NO.	14-001
DATE	03/11/14
DESIGNED BY	TL
CHECKED BY	TL
APPROVED BY	TL
PROJECT NAME	Granite Ridge Marketplace
PROJECT LOCATION	Farmington Road (Route 11), Rochester, NH
PROJECT TYPE	Lighting Plan
PROJECT SCALE	AS SHOWN
PROJECT SHEET	C-17

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____ DATE: _____
NOTES: LIGHTING DESIGN PREPARED BY CONSULTING ENGINEER

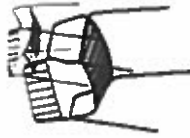
SITE ELEMENTS



B1 - Flo Bike Rack
Ground Mounted



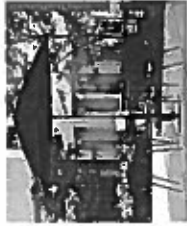
C1 - Towne Square Bench
Ground Mounted



C2 - Verona Chair
Unmounted



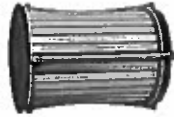
C3- Catena Table
Unmounted



C4- Equinox Umbrella
Unmounted



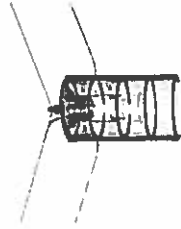
P1 - Sorella Planters
Unmounted



R1 - Plainwell Receptacle
Ground Mounted

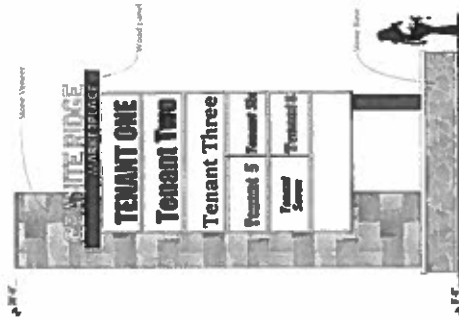


SL1 - String Lights
Unmounted



SL2 - Hass Village Lights
Unmounted

SIGNAGE



S3 - PYLON SIGN



S2 - WAYFINDING SIGN
Ground Mounted



S1 - MONUMENT SIGN



S5 - ADVERTISING SIGN
Ground Mounted



S4 - DIRECTORY SIGN
Ground Mounted



LIGHT POLES
Ground Mounted

SITE PLAN

