



Amendment to Approved Project
City of Rochester, New Hampshire

Case # 114-8-B2-03 Property Address 303 North Main Street

Type of project: Site Plan ☒; Subdivision ☐; Lot Line Adjustment ☐; Other ☐

Project name Pizza Hut Amendment

Date of original Planning Board approval 06/02/2003

Description of amendment An additional 6 parking spaces will be added to lot 114-8-2 (LCA 2) abutting lot 114-8-3 (LCA 3).

The existing pavement and parking areas will also be removed.

Would this affect a wetland or wetland buffer or require a conditional use? Yes ☐ No ☒

Applicant Name: All Purpose Storage, LLC. C/O Jeremiah Boucher

Mailing Address: 4007 Dean Martin Drive, Las Vegas, Nevada 89103

Phone Number: (702)-550-3808 Email Address:

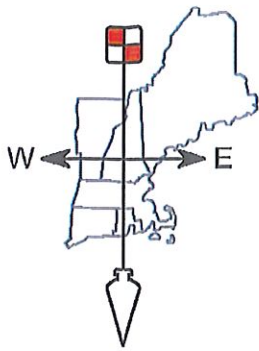
Please note: There is a \$125.00 fee for amendments. They are reviewed by the Planning Board and a public hearing is held. Abutters must be renotified by the applicant. The applicant must submit any supplementary materials necessary to explain and support the amendment, such as a narrative and plans. This form, the abutter's list, the fee, and other necessary materials must be submitted by the applicable deadline date.

Name of applicant or agent filling out this form Brandon Richards

Please check box: Applicant ☐ Agent ☒

Signature of person completing form:  Date: 2/13/2024

Signature of property owner (if different): See attached LOA Date: 2/13/2024



FIELDSTONE

LAND CONSULTANTS, PLLC

Surveying ♦ Engineering
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206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

October 4, 2021

RE: Patriot Holdings, LLC
303 & 305 North Main Street - Rochester, NH
Tax Map 114 Lot 8

To Whom It May Concern:

The undersigned hereby authorizes Patriot Holdings, LLC and Fieldstone Land Consultants, PLLC to act as their agents in filing and seeking the necessary local, state and federal approvals for the above referenced project.

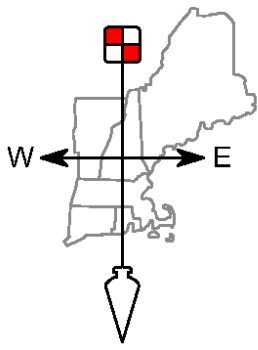
Very truly yours,

Owner:

Signature: _____

Print: Jeremiah Boucher
(Managing Member)

Date 7/05/22



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February 8, 2024

FLC#3035.00 / BLR

List of Abutters
Tax Map 114 Lot 8-2
303 & 305 North Main Street
Rochester, New Hampshire

Map 114 Lot 8-1
All Purpose Storage Rochester LLC
4007 Dean Martin drive
Las Vegas, NV 89103

Map 114 Lot 8-3
All Purpose Storage Rochester LLC
4007 Dean Martin drive
Las Vegas, NV 89103

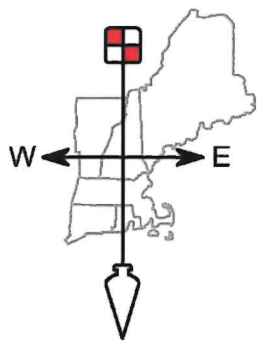
Map 114 Lot 2
400 North Main Street LLC
549 US Highway 1 Bypass
Portsmouth, NH 03801

Map 114 Lot 1
R E L Commons LLC
8 Greenleaf Woods Drive, Suite 200
Portsmouth, NH 03801

Map 115 Lot 39
Rochesterdom LLC
100 Conifer Hill Drive, Suite 402
Danvers, MA 01923

Map 115 Lot 40
RLP Realty Inc NH Corp.
401 North Main Street
Rochester, NH 03867-4350

Engineer:
Fieldstone Land Consultants, PLLC
206 Elm Street
Milford, NH 03055



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February 13, 2024

City of Rochester Planning Board
33 Wakefield Street
Rochester, NH 03867

RE: All Purpose Storage Rochester, LLC – Site Plan Application
Tax Map 114 Lot 8
303 & 305 North Main Street, Rochester, NH

Dear Planning Board Members,

As agent for All Purpose Storage Rochester, LLC, Fieldstone Land Consultants, PLLC is hereby writing this letter to provide a brief overview of the above referenced Formal Application for an Amended Site Plan Application. This project proposes to construct six (6) new parking spots and the removal of existing pavement and parking islands in this area. The subject property is located at 303 and 305 North Main Street, Tax Map 114 Lot 8-2. The site is zoned as Highway Commercial (HC) and is currently developed with a single fast food restaurant.

The site was converted into a condominium style development in the summer of 2023 that split the site into three (3) developable areas with a shared common area for the existing paved access drive. The limited common area 2 (L.C.A. 2) is the proposed site for this project. The original intent for this site was to construct a fast food restaurant. Utilities including water, sewer, and gas have been installed on the site along with the associated parking.

The proposed development will utilize the existing common access drive and existing utilities. The proposed improvements include the construction of six (6) new parking spaces and the removal of 2 existing parking islands abutting Tax Map 114 Lot 8-3.

We look forward to discussing this project further at the next Technical Review Group and planning board meeting, please do not hesitate to contact me with any questions.

Very truly yours,
FIELDSTONE LAND CONSULTANTS, PLLC

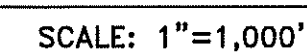
Brandon L. Richards
Project Engineer

- TAX MAP 114, LOT 8 -

LIGHT INDUSTRIAL / FACILITY

(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

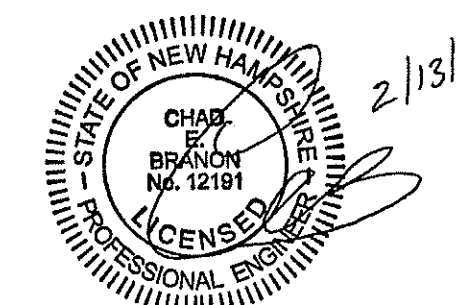
LAST REVISED: FEBRUARY 13, 2024



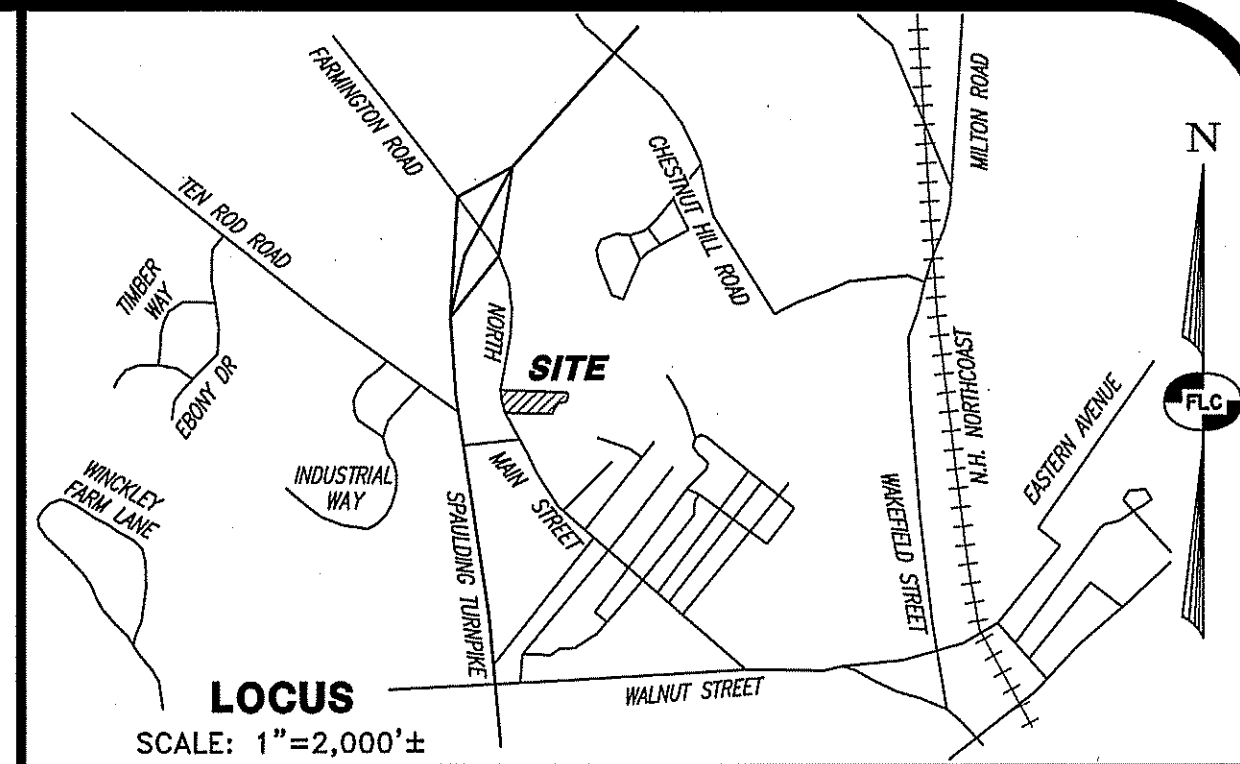
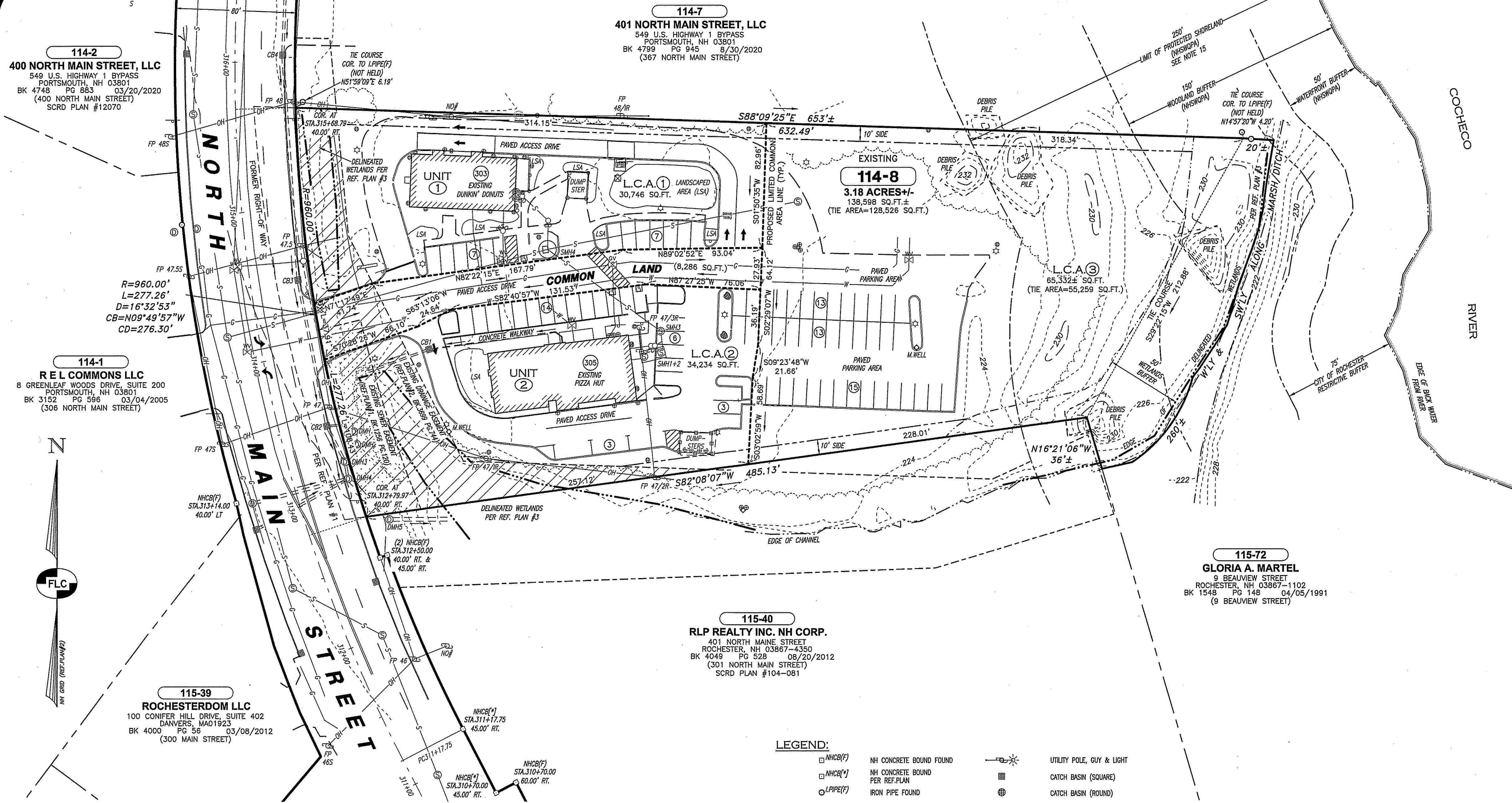
LAND OF:
ALL PURPOSE STORAGE
ROCHESTER, LLC.
 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

**ALL PURPOSE STORAGE
ROCHESTER, LLC.**

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A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR CEB
REV.	DATE	DESCRIPTION	C/O	DR CK
FILE:3035C000.DWG		PROJ. NO. 3035.00	SHEET: CV-1	PAGE NO. 1 OF 12



EXISTING CONDITIONS PLAN
TAX MAP 114 LOT 8 - CONDOMINIUM UNIT 3
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
LAND OF:
ALL PURPOSE STORAGE ROCHESTER LLC
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
SCALE: 1"=40'
NOVEMBER 17, 2023
Surveying + Engineering + Land Planning + Permitting + Septic Designs
FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
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FILE: 3035EX00A.DWG PROJ. NO. 3035.00 SHEET NO. EX-1 PAGE NO. 2 OF 11

CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION AND THE EXISTING CONDITIONS SHOWN HEREON WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON AND FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF AUGUST 2021 THAT HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000)."

DATE: 11/22/24

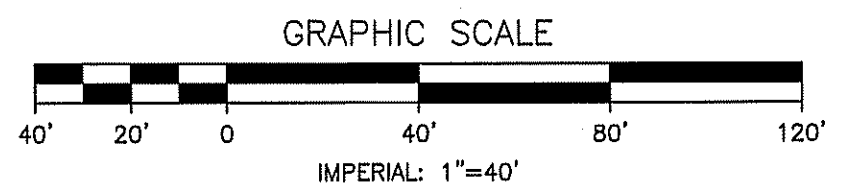
STATE OF NEW HAMPSHIRE
MICHAEL D. PLOOF
No. 946
PLC
No. 093
CERTIFIED WETLAND SURVEY

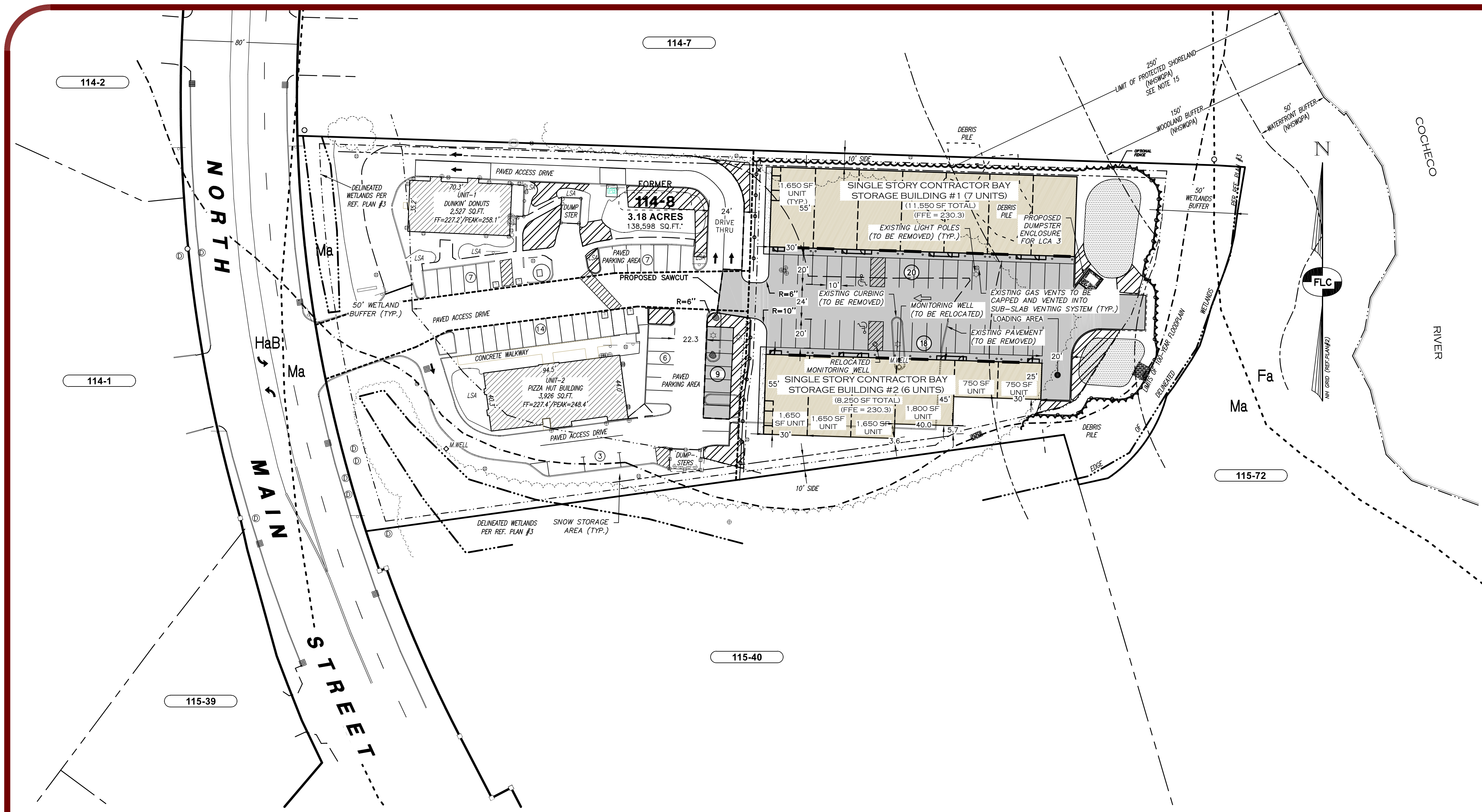
CERTIFICATION:

JURISDICTIONAL WETLANDS SHOWN HEREON WERE DEVELOPED FROM REFERENCE PLAN #3. PORTIONS OF ON-SITE WETLANDS ARE PART OF EXISTING DRAINAGE EASEMENTS AND MAY BE SUBJECT TO ASSOCIATED MAINTENANCE ACTIVITIES.

DATE: 11/22/24

STATE OF NEW HAMPSHIRE
CHRISTOPHER A. GUIDA
No. 093
CERTIFIED WETLAND SURVEY





LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- EXISTING EASEMENT LINE
- CURB LINE
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- CHAIN-LINK FENCE
- STOCKADE FENCE
- ADDRESS ON NORTH MAIN STREET
- EXISTING BUILDING

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CURBLINE (CAPE COD BERM)
- TEMPORARY SILT FENCE
- PARKING LINE
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- SPOT GRADE ELEVATION
- SPOT ELEVATION AT CURB
- STORM WATER DRAINAGE
- DRAIN MANHOLE
- SILT SOCK FOR ALL CATCH BASINS
- SOIL TEST PIT
- LEDGE
- WATER ELEV.
- PROPOSED SANITARY SEWER
- CULVERT W/ END SECTION & RIP-RAP
- HYDRANT, GATE VALVE & WATER MAIN
- GAS LINE, PROPANE
- ELECTRICAL TRANSFORMER & UNDERGROUND
- POLE & BUILDING MOUNTED LIGHTS
- SIGN

PROPOSED FEATURES

- ASPHALT PAVED AREA
- BUILDING
- SNOW STORAGE AREA
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- CONCRETE PAD/SIDEWALK
- HANDICAP PARKING STALL
- LIGHT POST

NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

SOIL BOUNDARY

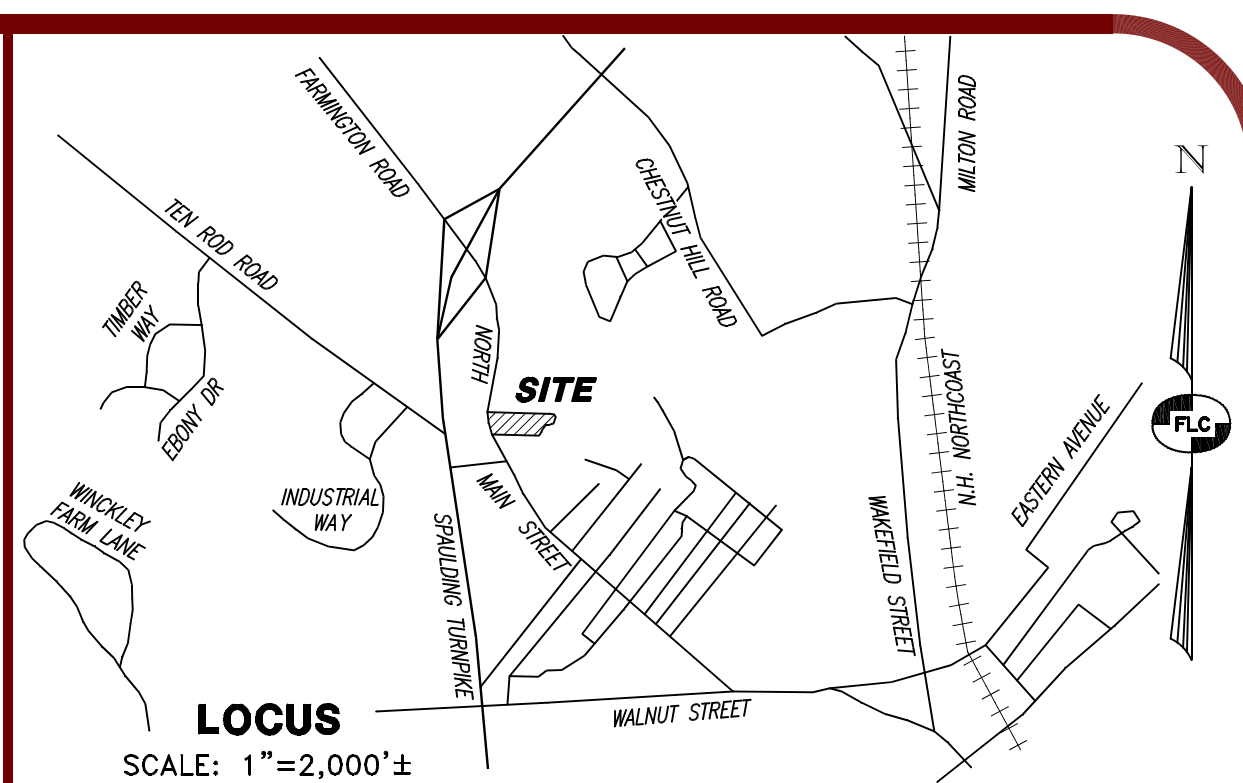
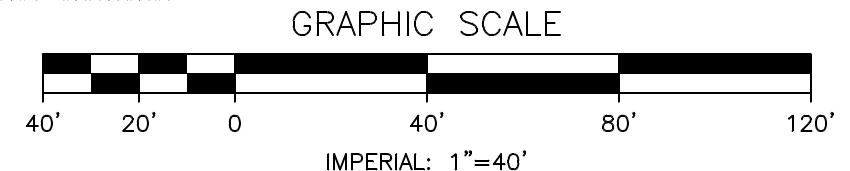
- Fa FRESH WATER MARSH
- Ma MADE LAND
- HaB HINCLEY LOAMY SAND 3 TO 8% SLOPE

REFERENCE PLANS:

- "PLAN OF LAND - FOR J. PEIRCE TRUST, MEREDITH PEIRCE, TRUSTEE AND WILLIAM "CHIP" ALBEE - NEW HAMPSHIRE ROUTE 11 - ROCHESTER, NEW HAMPSHIRE - TAX MAP #114 LOT 8" - SCALE: 1"=40', DATED: MARCH, 2001, PREPARED BY: LAND TECHNICAL SERVICE CORPORATION AND RECORDED IN THE S.C.R.D. AS PLAN #64-21.
- "STATE OF NEW HAMPSHIRE - DEPARTMENT OF TRANSPORTATION-BUREAU OF HIGHWAY DESIGN - FARMINGTON ROAD - RIGHT-OF-WAY PLAN - COUNTY OF: STRAFFORD - CITY OF: ROCHESTER - STATE PROJECT NO.: 10620-D", SHEETS 1, 2, 3 & 11, SCALE 1"=20', DATE OF FINAL CHECK: JANUARY 11, 2011, BY CLOUGH HARBOUR & ASSOCIATED LLP & VERMONT SURVEY AND ENGINEERING, RECORDED IN THE S.C.R.D. AS PLANS 101-045, 101-046, 101-047 & 101-055.
- "DEVELOPMENT PLANS FOR MULTI-TENANT COMMERCIAL DEVELOPMENT - ROCHESTER, NEW HAMPSHIRE - 303 NORTH MAIN STREET" - SCALE: 1"=30', DATED APRIL, 2003, PREPARED BY: GORRILL-PALMER CONSULTING ENGINEERS, INC.

NOTES CONTINUED

- SNOW STORAGE CALCULATION:
1 SQUARE FOOT OF SNOW STORAGE PER 5 TO 10 SQ. FT. OF AREA TO BE CLEARED
COMMON AREA:
8,251 S.Q. FT TO BE CLEARED = 825 S.Q. FT OF SNOW STORAGE
LCA #1
14,253 S.Q. FT TO BE CLEARED = 1,425 S.Q. FT OF SNOW STORAGE
LCA #2
16,250 S.Q. FT TO BE CLEARED = 1,625 S.Q. FT OF SNOW STORAGE
LCA #3
14,481 S.Q. FT TO BE CLEARED = 1,448 S.Q. FT OF SNOW STORAGE
TOTAL REQUIRED:
5,323 S.Q. FT OF REQUIRED SNOW STORAGE (MIN.)
PROVIDED:
5,326± S.Q. FT OF SNOW STORAGE PROVIDED.
- FERTILIZERS SHOULD NOT BE APPLIED WITHIN 50FT OF WETLAND OR WITHIN THE 100-YEAR AND 500-YEAR FLOODPLAINS. NO FERTILIZER SHOULD BE APPLIED TO LCA #3 RESPECTIVELY.
- PERMANENT MARKERS WILL BE REQUIRED AT THE 25FT WETLAND BUFFER.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, FLAGS WILL NEED TO IDENTIFY THE BOUNDARY OF THE WETLANDS, AS WELL AS THE 25FT AND 50FT WETLAND BUFFER.
- NO OUTDOOR STORAGE IS ALLOWED.
- A KNOX BOX IS TO BE INSTALLED TO PROVIDE ACCESS TO THE PROPOSED BUILDING FOR EMERGENCY SERVICES.



NOTES:

- THE OWNER OF RECORD FOR TAX MAP 114 LOT 8 IS ALL PURPOSE STORAGE ROCHESTER LLC, 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103. THE DEED REFERENCE FOR THE PARCEL IS BK-485 PG-155 DATED SEPTEMBER 14, 2021 IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A SITE PLAN WITH A CONTRACTOR BAY DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS ON EXISTING TAX MAP 114 LOT 8.
- THE TOTAL AREA OF TAX MAP 114 LOT 8 IS 3.18± ACRES, OR 138,598± SQ.FT. WITH 277.26 FT. OF FRONTAGE ALONG NORTH MAIN STREET (AKA FARMINGTON ROAD)
- ZONING FOR THE ENTIRE PARCEL IS (HC) - HIGHWAY COMMERCIAL DISTRICT -
MINIMUM LOT SIZE = 20,000 SQ.FT.
MINIMUM FRONTAGE REQUIREMENT= 100 FT.
FRONT SETBACKS=20 FT.
SIDE SETBACKS=10 FT.
REAR SETBACKS=25 FT.
THE LOT IS ALSO SUBJECT TO THE REGULATIONS OF THE CONSERVATION PROTECTION OVERLAY DISTRICT AND THE AQUIFER PROTECTION OVERLAY DISTRICT.
- THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE THE RESULT OF AN ON-SITE SURVEY PERFORMED BY THIS OFFICE. THE BOUNDARY INFORMATION WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE SURVEY PERFORMED BY THIS OFFICE IN AUGUST 2021.
- WETLAND LOCATIONS SHOWN ARE PER REFERENCE PLAN #3.
- SOUTHERLY AND EASTERLY PORTIONS OF TAX MAP LOT 114-8 LIE WITHIN THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD PER FEMA FIRM PANEL NUMBER 33017C0203D, DATED MAY 17, 2005 FOR THE CITY OF ROCHESTER, COMMUNITY NUMBER 330150.
- PARKING CALCULATION:
RESTAURANT USE REQUIRED:
1 SPACE PER 1,000 S.F. OF G.F.A.
20 PARKING SPACES REQUIRED
INDUSTRIAL - LIGHT REQUIRED:
1 SPACE/1,000 S.F. OF G.F.A. PLUS 3 SPACES/1,000 S.F. FOR AREA DEDICATED TO OFFICES OR RETAIL SALES.
ASSUMED 22 S.F. OF OFFICE SPACE PER UNIT
28 PARKING SPACES REQUIRED
TOTAL REQUIRED:
48 PARKING SPACES
TOTAL PROVIDED:
83 PARKING SPACES (INCLUDING 6 ADA SPACES)
- ALL MONITORING WELLS AND GAS VENTS THAT ARE TO BE IMPACTED SHALL BE RELOCATED AS NECESSARY.
- ALL STRUCTURES (CURBING, PAVEMENT, ROCKS, LIGHT POLES, ETC) THAT ARE TO BE IMPACTED SHALL BE REMOVED.
- THE EXISTING FREESTANDING SIGN SHALL REMAIN AS IS, THE SIGN IS LIGHTED BY GROUND MOUNTED LIGHTS WHICH ALSO SHALL REMAIN. ANY FUTURE SIGNS OR MODIFICATIONS TO THE EXISTING SIGN MUST BE IN COMPLIANCE WITH THE ROCHESTER ZONING ORDINANCE.
- CERTIFIED GREEN SNOW PRO APPLICATORS SHALL BE USED FOR SALT APPLICATION ON-SITE.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN PLEASE CONTACT FIELDSTONE LAND CONSULTANTS, PLLC.

C	--	--	--	--
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR CEB
REV.	DATE	DESCRIPTION	C/O	DR

SITE PLAN
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

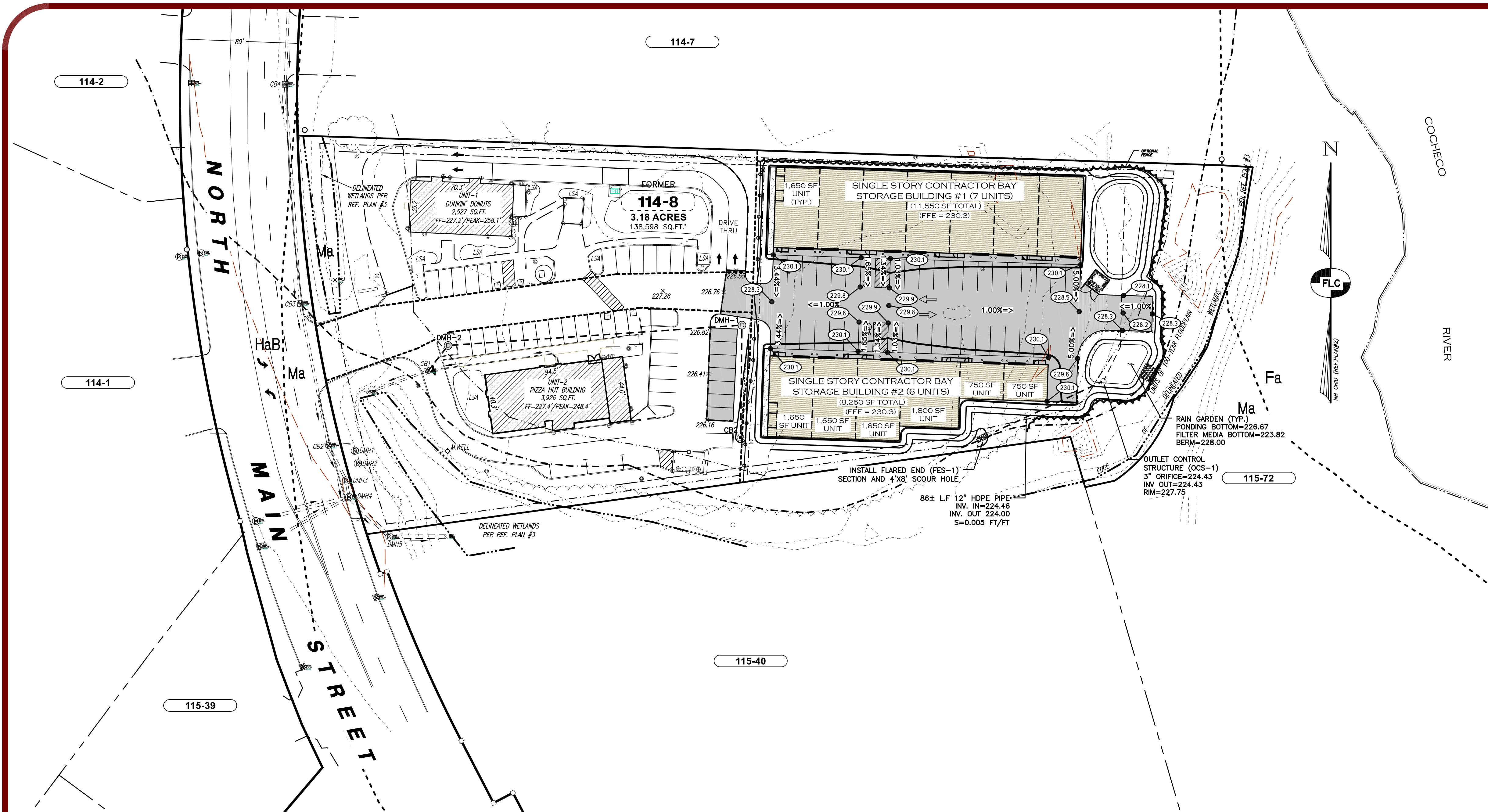
SCALE: 1"=40' NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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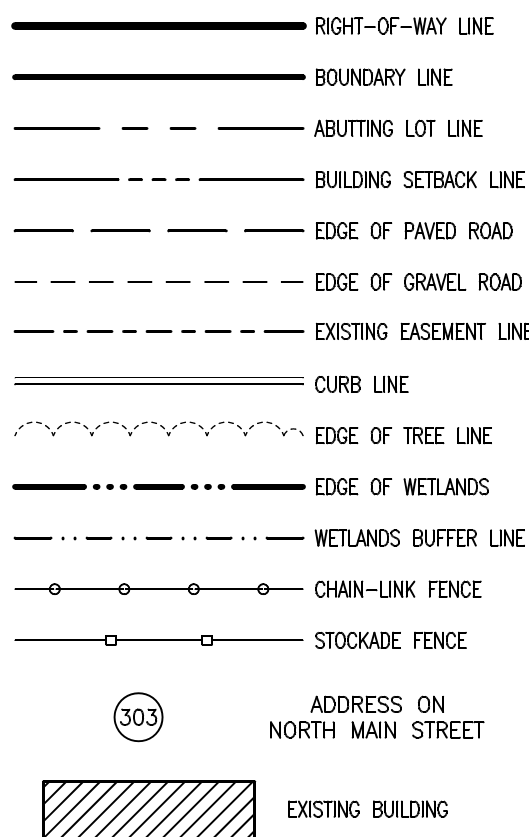
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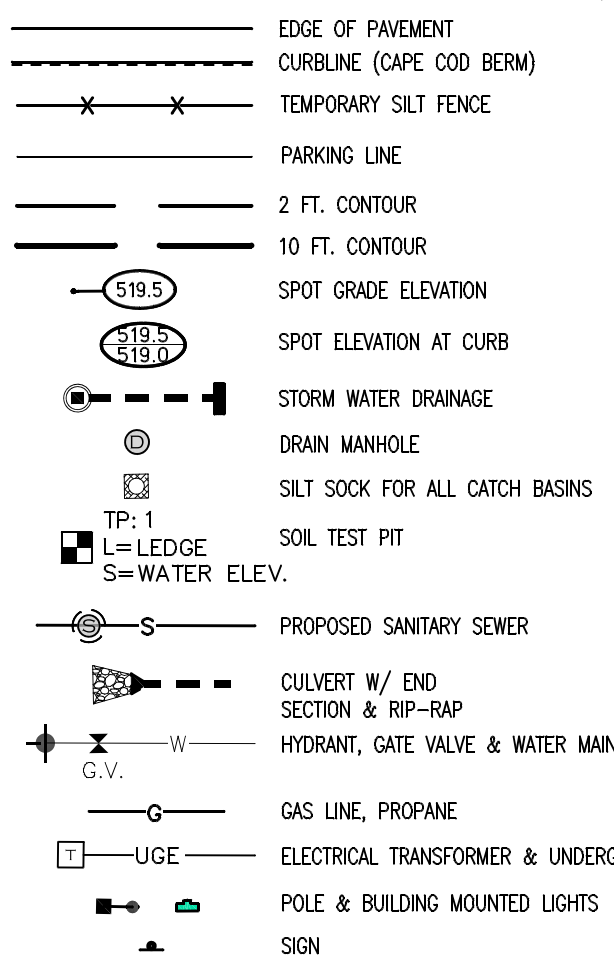


LEGEND:

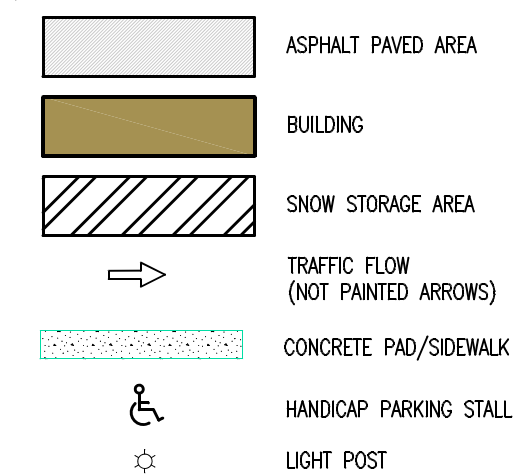
EXISTING FEATURES



PROPOSED FEATURES



PROPOSED FEATURES



CB1 (#1088)
RIM=224.94
INV.IN= 221.94 (6" PVC)
INV.OUT=221.93 (18" HDPE)
SUMP=218.98

CB4 (#2281)
RIM=227.72
INV.IN= 221.64 (18" HDPE)
INV.OUT=221.62 (18" HDPE)
SUMP=218.76

DMH3 (#12261)
RIM=230.12
INV.IN= 220.20 (CB2) (18" RCP)
INV.IN= 220.38 (N86E) (12" HDPE)
INV.OUT=220.22 (DMH4) (18" RCP)
SUMP=220.03

CB3 (#2268)
RIM=228.69
INV.IN= 220.93 (18" HDPE)
INV.OUT=221.06 (18" HDPE)
SUMP=218.54

DMH4 (#2260)
RIM=230.30
INV.IN= 220.25 (DMH3) (18" RCP)
INV.IN= 219.83 (S76W) (24" RCP)
INV.IN= 220.15 (S61W) (18" RCP)
INV.OUT=219.48 (30" HDPE)
SUMP=217.85

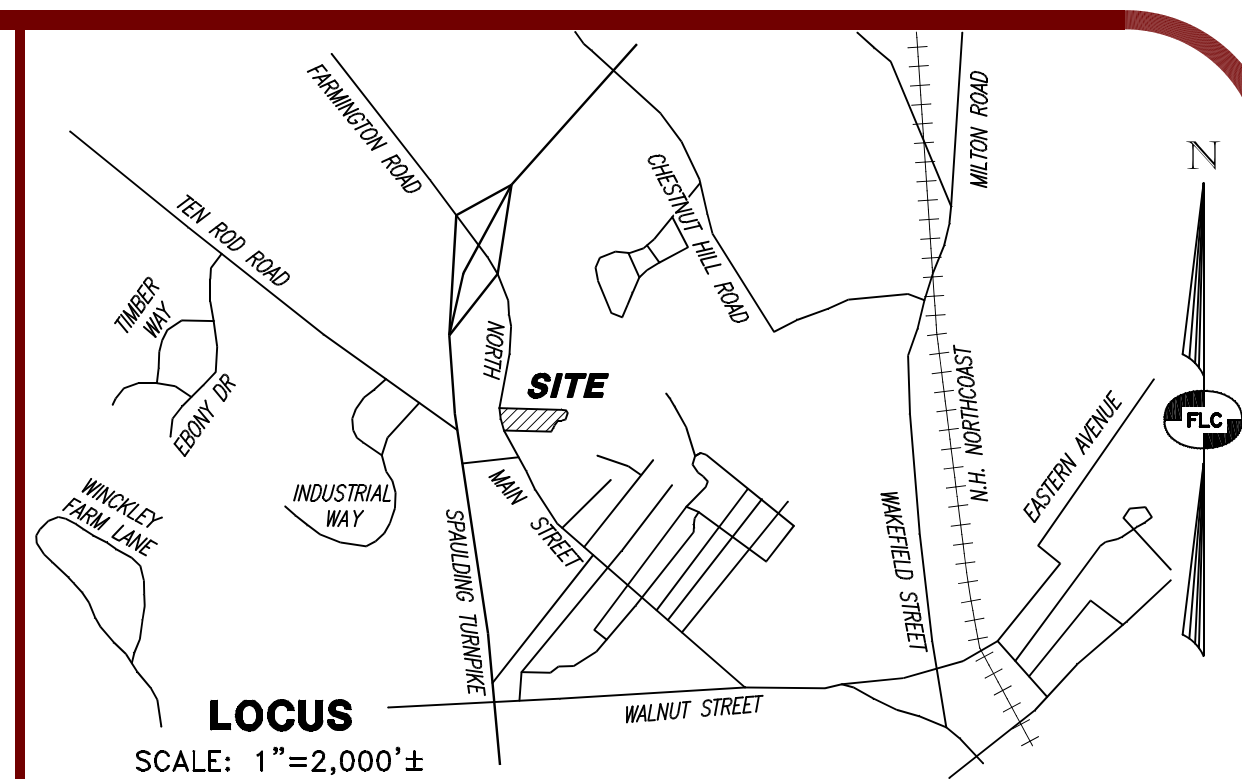
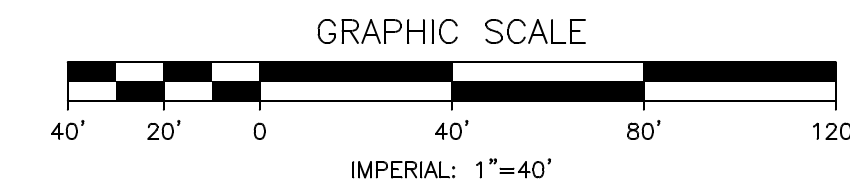
CB2 (#2264)
RIM=229.47
INV.IN= 220.65 (CB3) (18" HDPE)
INV.IN= 220.66 (N86E) (12" HDPE)
INV.OUT=221.39 (DMH3) (18" HDPE)

DMH5 (#2258)
RIM=229.85
INV.IN= 220.59 (30" HDPE)
INV.OUT=220.48 (30" HDPE)
SUMP=220.02

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

	FROM		LENGTH	DIA.	SLOPE	TO
STRUCT.	RIM	INV. OUT	FEET	INCHES	FT/FT	STRUCT. INV. IN
2P	-	224.08	242	12	0.0050	DMH-1 222.87
CB-2	225.5	223.16	71.4	15	0.0050	DMH-1 222.80
DMH-1	226.2	222.67	195.7	15	0.0050	DMH-2 221.69
DMH-2	225.5	221.50	19.2	15	0.0050	CB1 221.40
OCS-1	227.75	224.43	86	12	0.0050	FES-1 224.00

* ALL PROPOSED DRAINAGE PIPES TO BE HDPE PIPES



- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF ROCHESTER AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF ROCHESTER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF ROCHESTER FIRE DEPARTMENT REGULATIONS
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ENTIRE ROOF AREA SHALL BE CAPTURED BY GUTTERS AND DRAINED INTO THE PROPOSED RAIN GARDEN.
 - THE SITE IS EXPECTED TO REQUIRE ROUGHLY 3,500 C.Y. OF FILL.

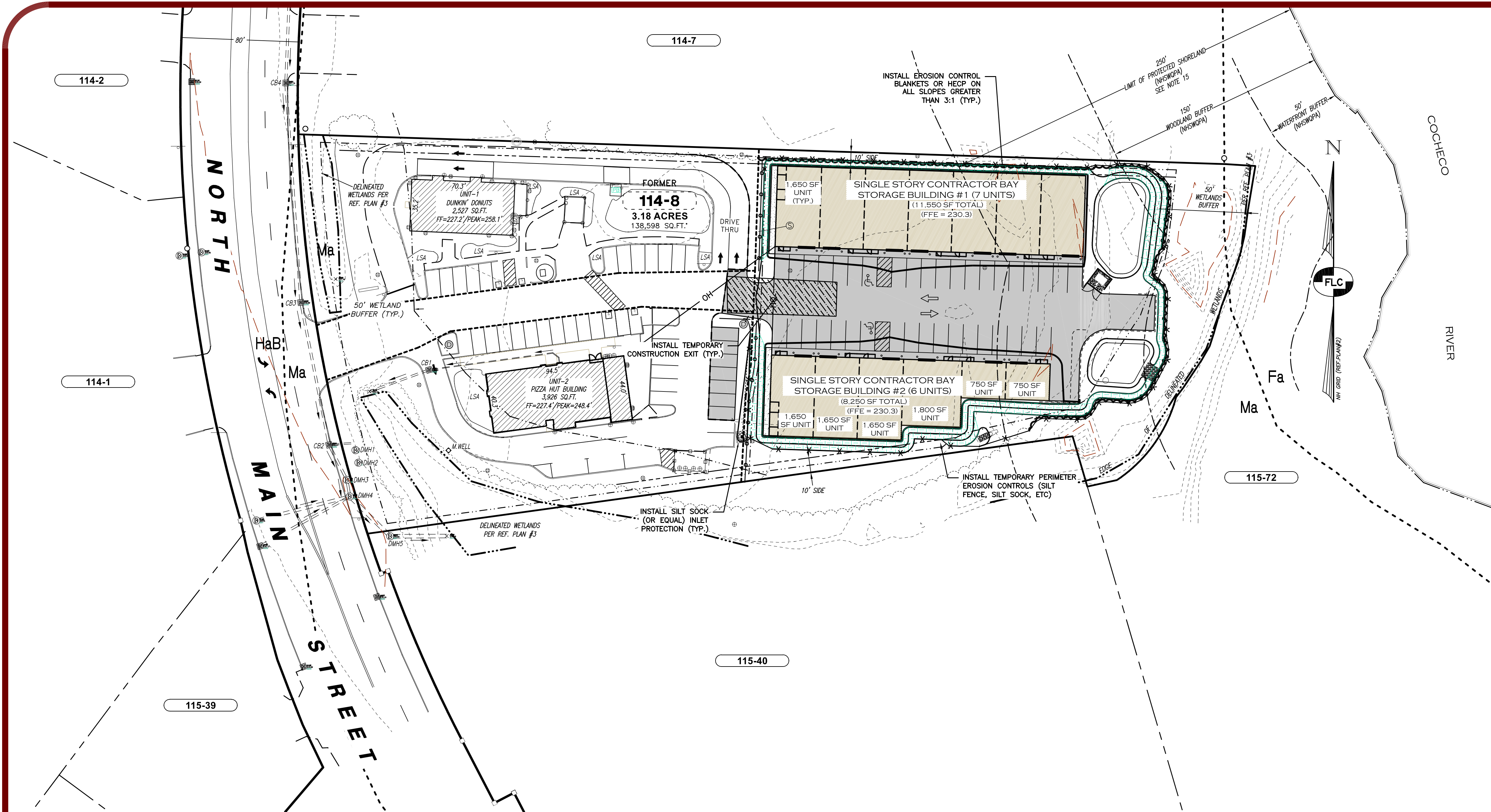
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A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

GRADING & DRAINAGE PLAN
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
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SCALE: 1"=40' NOVEMBER 17, 2023

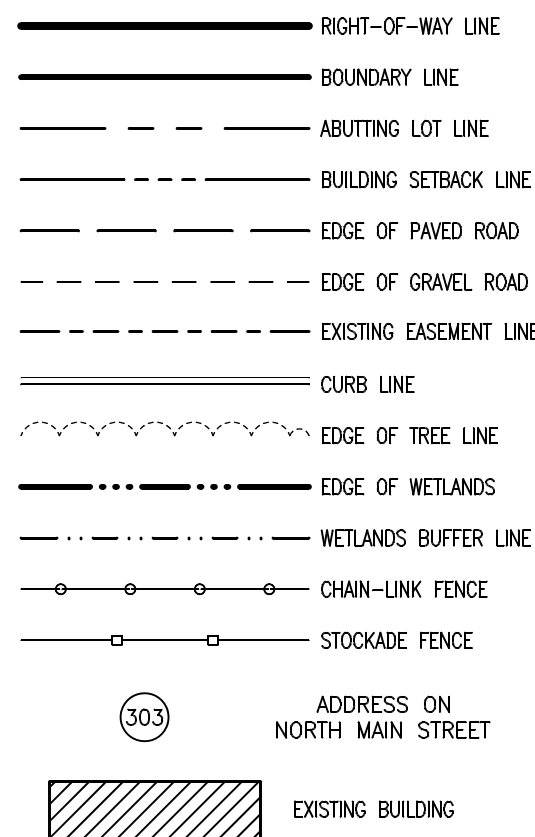
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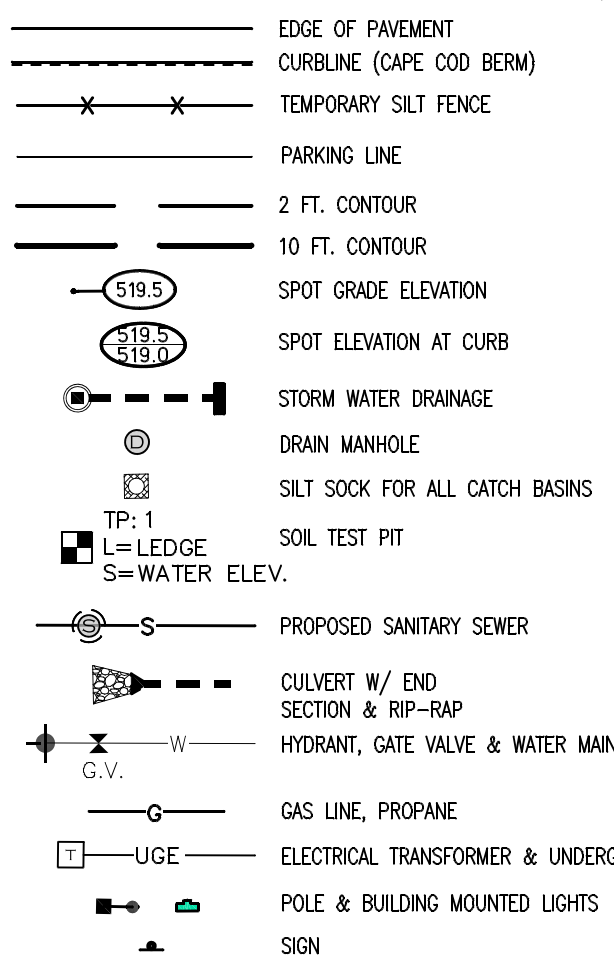


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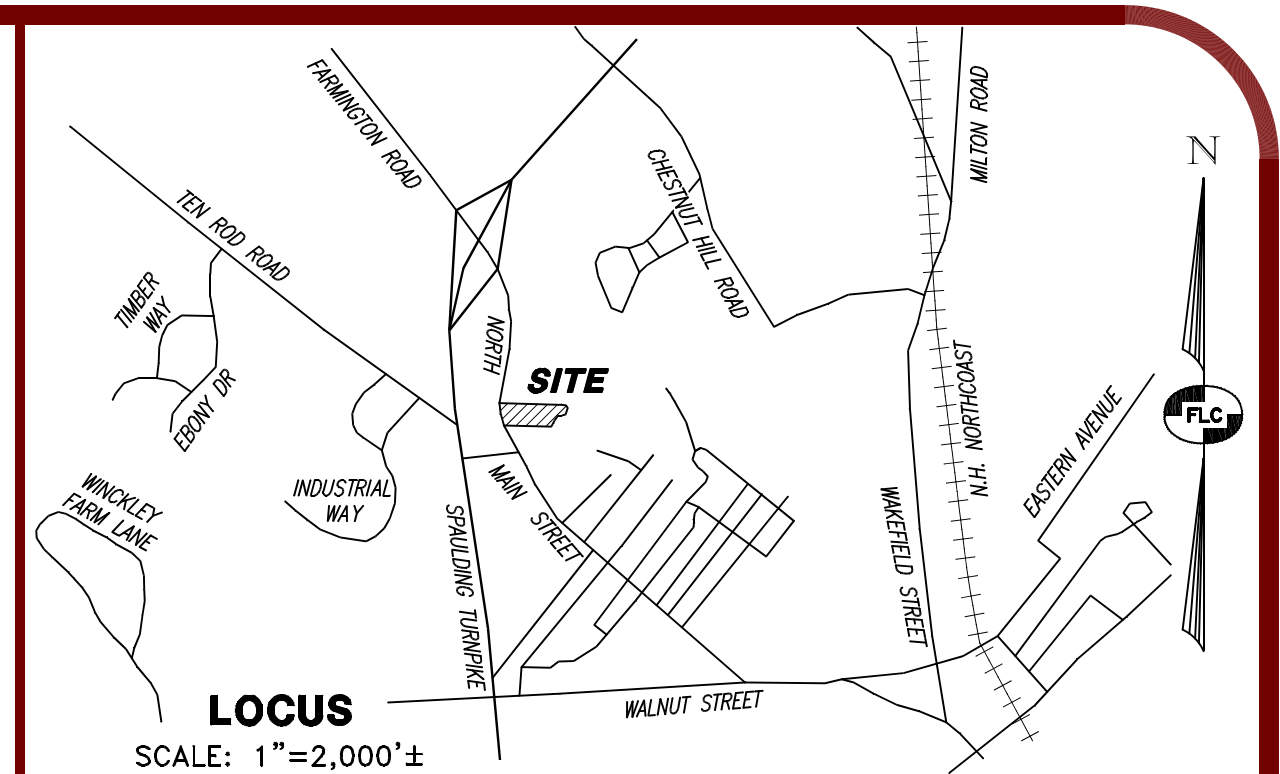
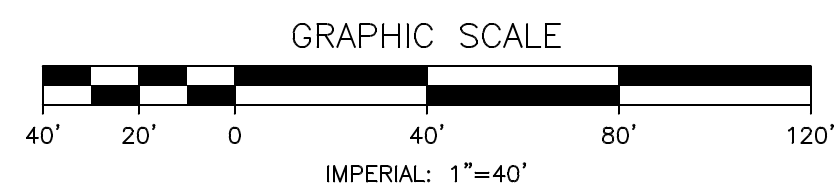
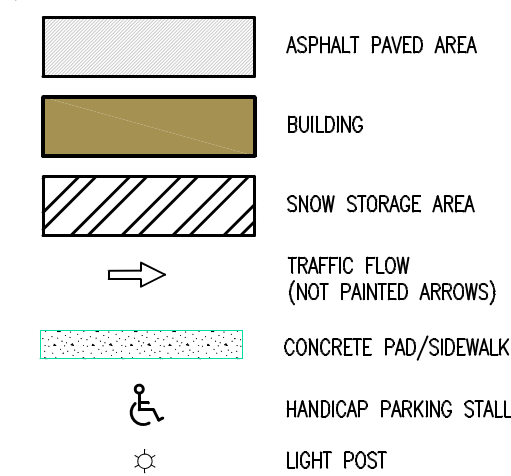
EXISTING FEATURES



PROPOSED FEATURES



PROPOSED FEATURES



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF ROCHESTER AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF ROCHESTER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF ROCHESTER FIRE DEPARTMENT REGULATIONS
- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ENTIRE ROOF AREA SHALL BE CAPTURED BY GUTTERS AND DRAINED INTO THE PROPOSED RAIN GARDEN.

EROSION & SEDIMENTATION CONTROL PLAN

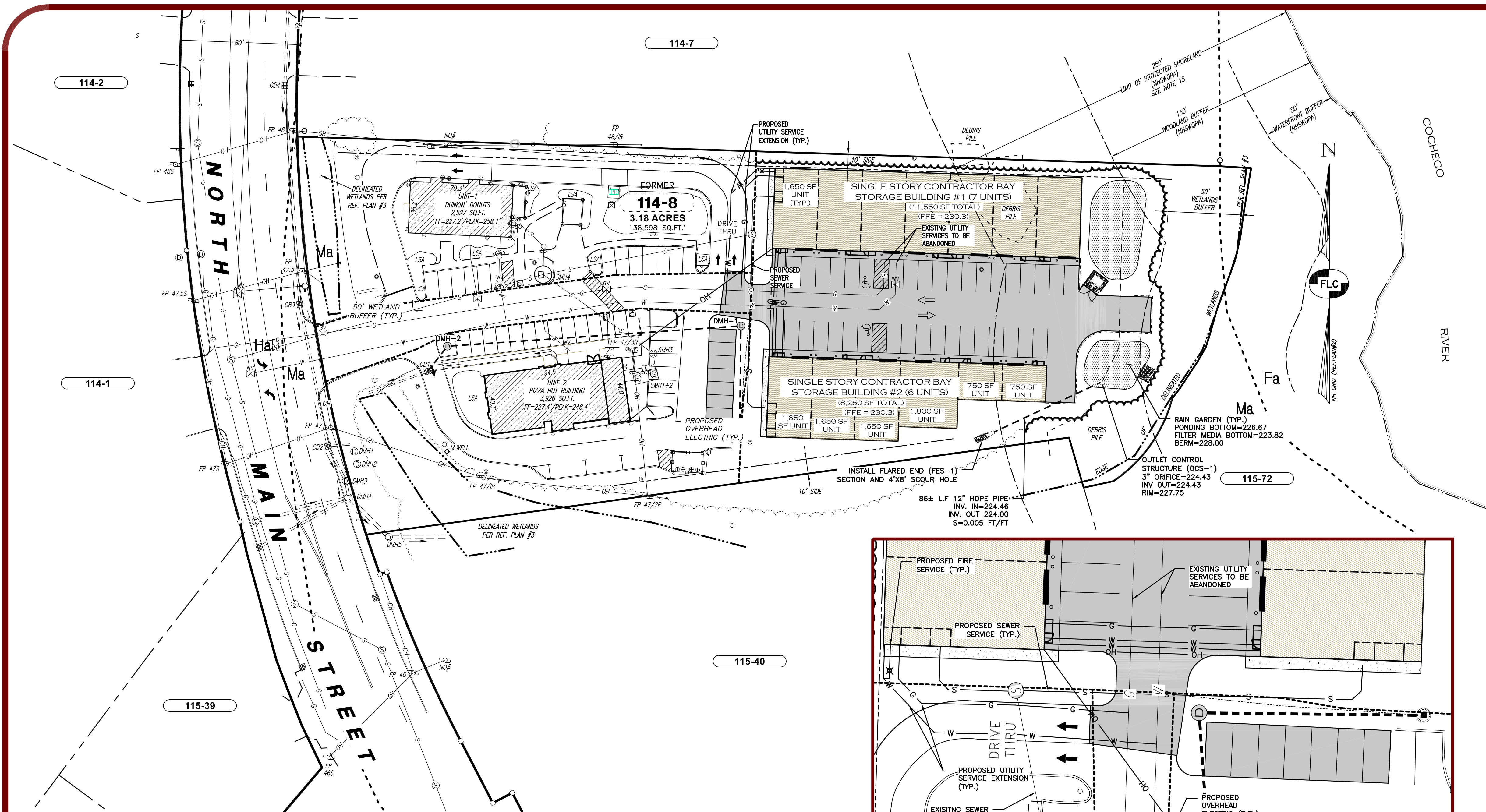
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40'

NOVEMBER 17, 2023

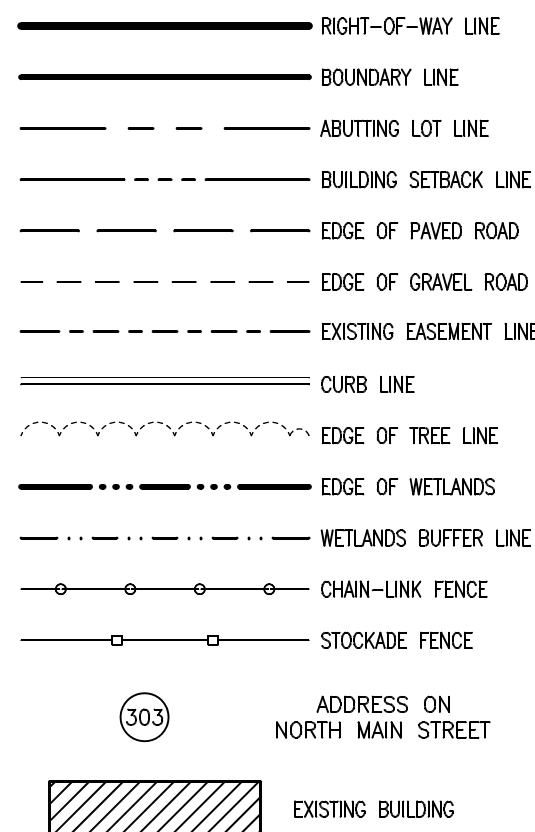
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



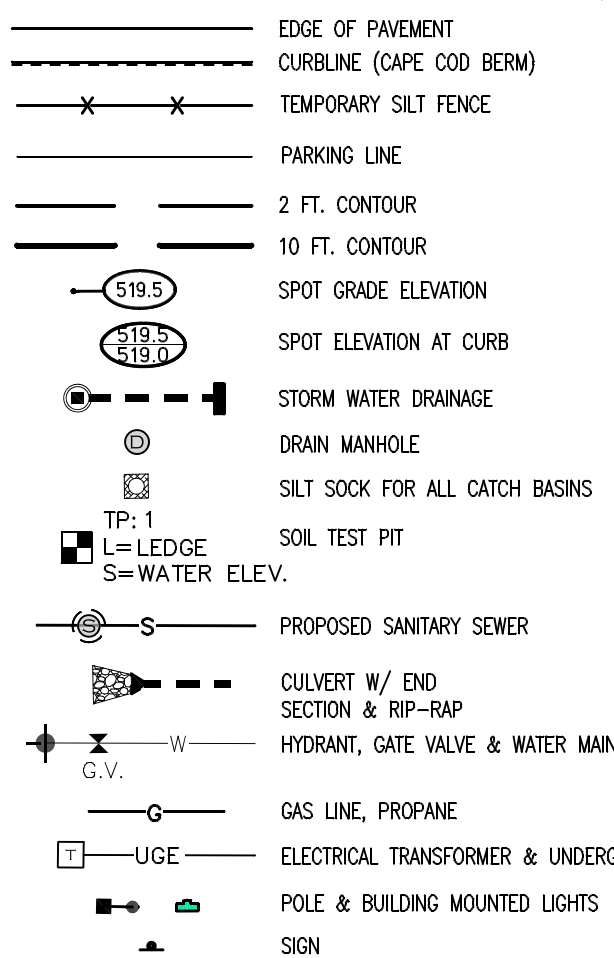


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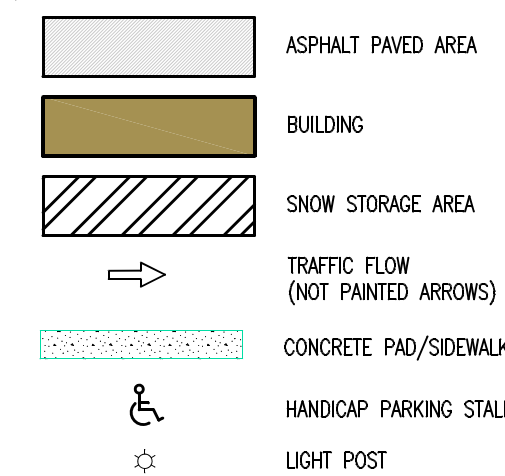
EXISTING FEATURES



PROPOSED FEATURES



PROPOSED FEATURES



CB1 (#1088)
RIM=224.94
INV.IN= 221.94 (6"PIVC)
INV.OUT=221.93 (18"HDPE)
SUMP=218.98

CB4 (#2281)
RIM=227.72
INV.IN= 221.64 (18"HDPE)
INV.OUT=221.62 (18"HDPE)
SUMP=218.76

CB3 (#2268)
RIM=228.69
INV.IN= 220.93 (18"HDPE)
INV.OUT=221.06 (18"HDPE)
SUMP=218.54

CB2 (#2264)
RIM=229.47
INV.IN= 220.65 (CB3) (18"HDPE)
INV.IN= 220.66 (NB66) (12"HDPE)
INV.OUT=221.39 (DMH3) (18"HDPE)

DMH3 (#12261)
RIM=230.12
INV.IN= 220.20 (CB2) (18"RCP)
INV.IN= 220.38 (NB66) (12"HDPE)
INV.OUT=220.22 (DMH4) (18"RCP)
SUMP=220.03

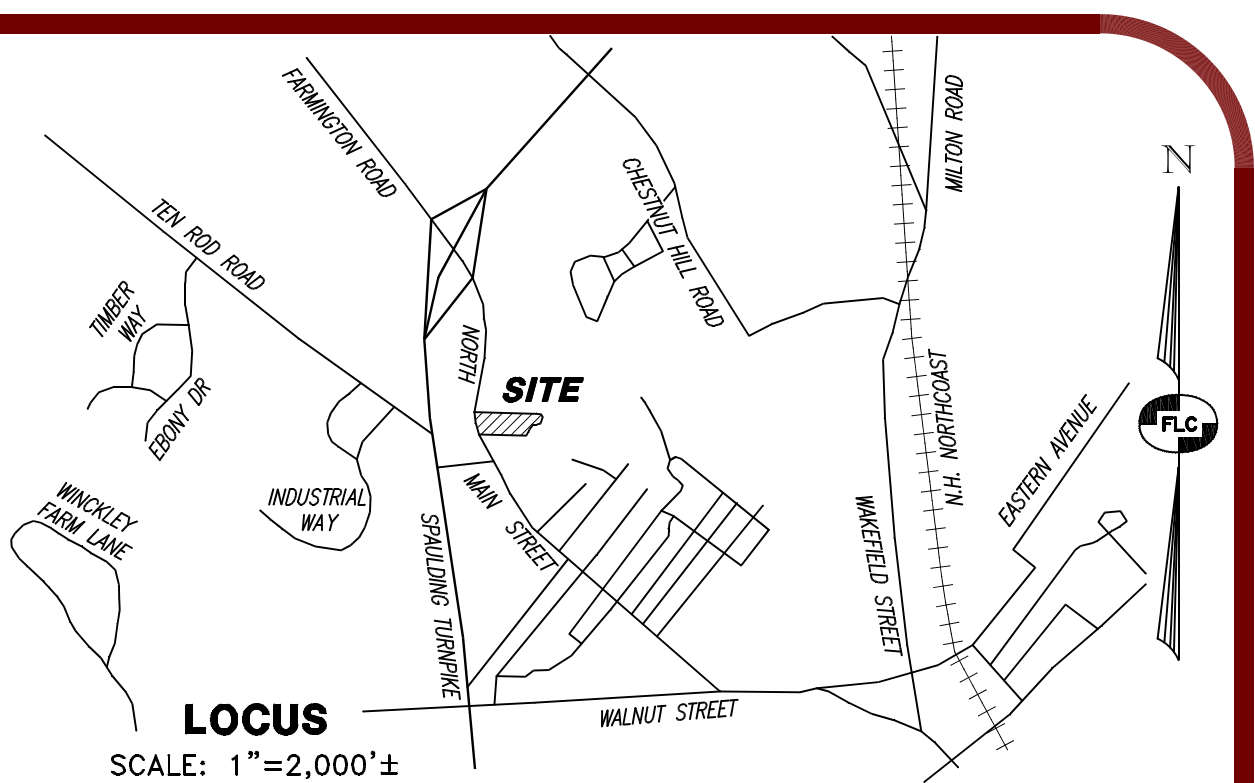
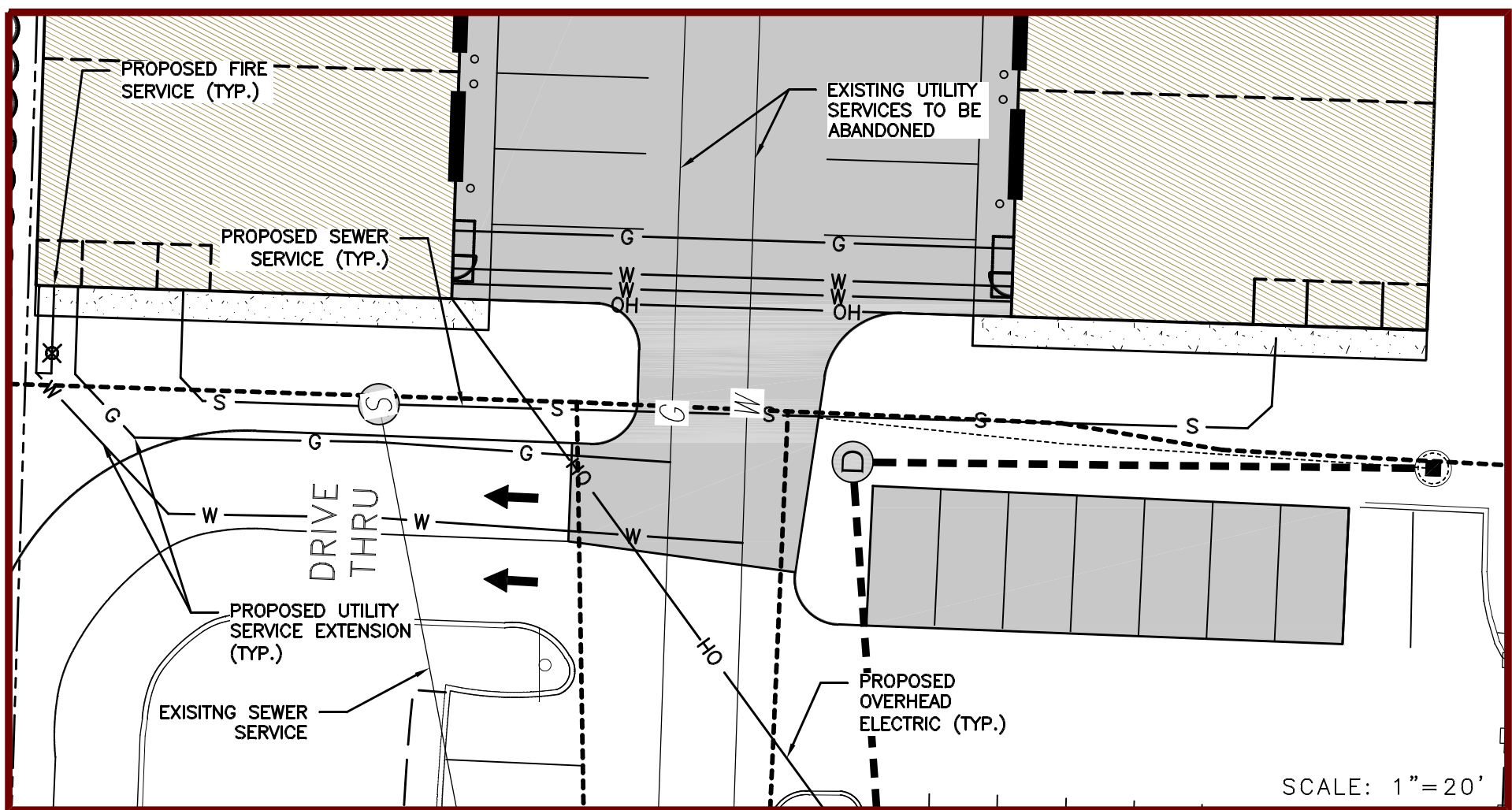
DMH4 (#2260)
RIM=230.30
INV.IN= 220.25 (DMH3) (18"RCP)
INV.IN= 219.83 (S76W) (24"RCP)
INV.IN= 220.15 (S61W) (18"RCP)
INV.OUT=219.48 (30"HDPE)
SUMP=217.85

DMH5 (#2258)
RIM=225.85
INV.IN= 220.59 (30"HDPE)
INV.OUT=220.48 (30"HDPE)
SUMP=220.02

SMH1 (#1476)
RIM=227.29
SMH2 (#1530)
RIM=226.75
SEPTIC TANK COVERS
INV.OUT=223.30

SMH3 (#1479)
RIM=226.87
INV.IN= 221.82 (TANK) (8"PIVC)
INV.OUT=221.89 (SMH4) (8"PIVC)
TABLE=223.48
BOTTOM=221.91

SMH4
PUMP STATION
(#1586-1589)
RIM=227.49
INV.IN= 222.94 (8"PIVC)
INV.OUT=222.89 (8"PIVC)
TABLE=223.53
BOTTOM=222.96



UTILITY NOTES:

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- ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
- EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
- ALL POWER WORK SHALL CONFORM TO EVERSOURCE & NHEC STANDARDS.
- ALL TELEPHONE WORK SHALL CONFORM TO THE SPECIFICATIONS OF THE LOCAL PROVIDER.
- THE SITE WILL BE SERVICED BY MUNICIPAL SEWER AND WATER.
- ALL FIRE PREVENTION MEASURES, SUCH AS FIRE ALARM SYSTEMS AND KNOX BOXES, SHALL BE INSTALLED AS REQUESTED BY THE ROCHESTER FIRE DEPARTMENT.
- ALL OIL, GREASE, CHEMICALS, AND HAZARDOUS MATERIALS/WASTE SHALL BE HANDLED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.
- THE SPRINKLER SYSTEM FOR THE TWO (2) BUILDINGS WILL NEED TO HAVE TESTABLE BACKFLOW PREVENTION DEVICES. THESE BACKFLOW PREVENTION DEVICES SHALL BE PERMITTED THROUGH THE CITY'S OPENGOV PERMITTING PORTAL PRIOR TO CONSTRUCTION.
- A SEWER AND WATER CONNECTION PERMIT APPLICATION MUST BE SUBMITTED TO THE CITY OF ROCHESTER WITH ALL APPLICABLE FEES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
- ALL WATER LINE, VALVES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS.
- A MASTER METER WILL BE REQUIRED FOR ALL DOMESTIC/FIRE SERVICE DEMANDS.
- DOMESTIC DEMANDS FOR BATHROOMS MAY REQUIRE TESTABLE BACKFLOW PREVENTION DEVICES, CONTRACTORS ARE TO INSTALL SERVICES PER CITY OF ROCHESTER STANDARDS.

C	REV.	DATE	DESCRIPTION	C/O	DR	CK
B	2/13/24		REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24		REV. PER TRG REVIEW COMMENTS		BLR	CEB

UTILITY PLAN

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40'

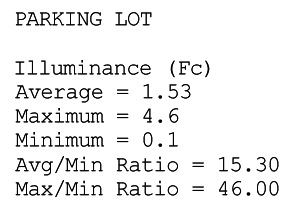
NOVEMBER 17, 2023

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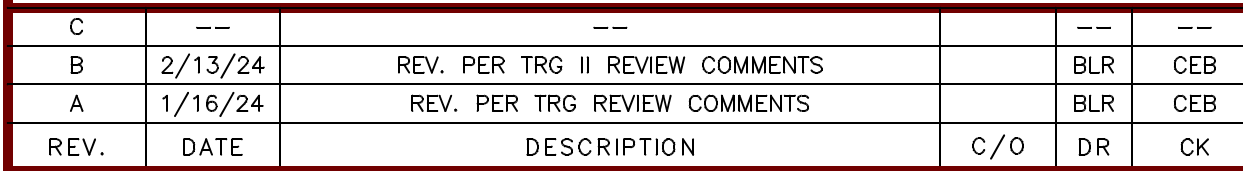
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
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PARKING LOT

Illuminance (Fc)
Average = 1.53
Maximum = 4.6
Minimum = 0.1
Avg/Min Ratio = 15.30
Max/Min Ratio = 46.00



C	--	--	--	--
B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
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REV.	DATE	DESCRIPTION	C/O	DR
			CK	

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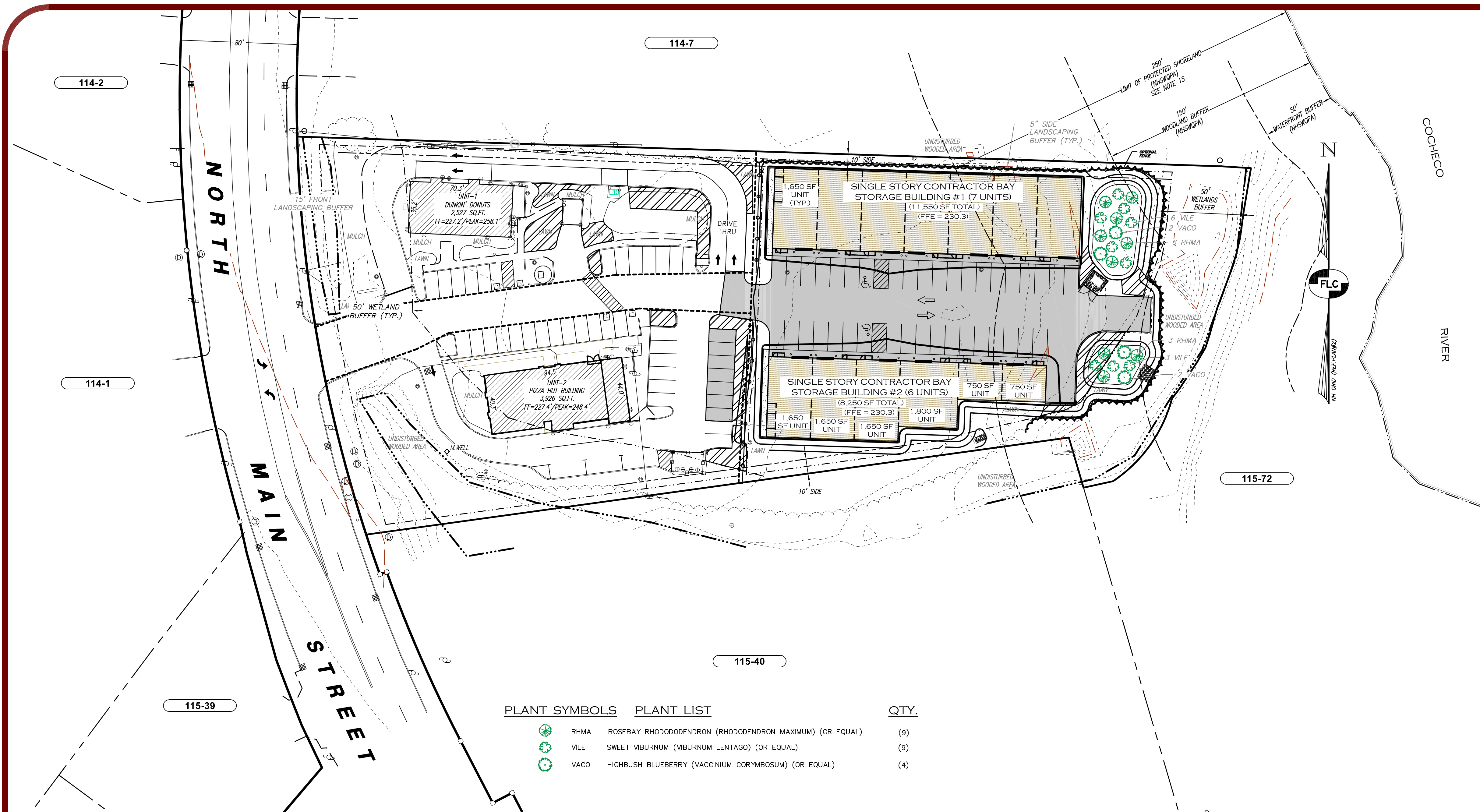
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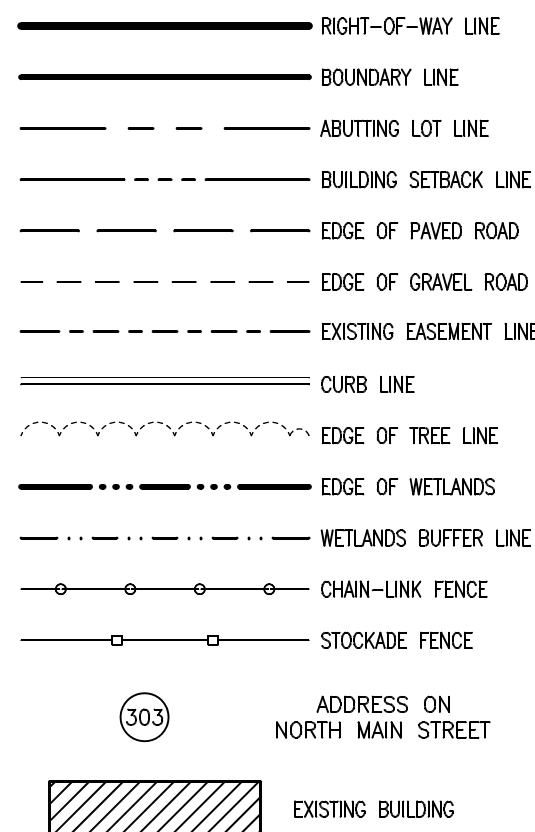
6.25 in
(158.8 mm)

9.0 in
(228.6 mm)

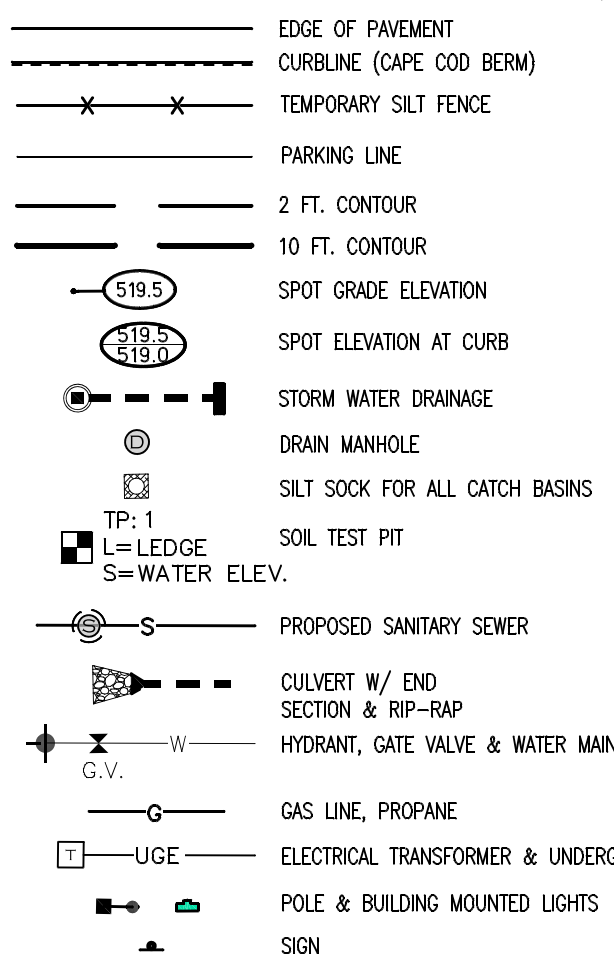


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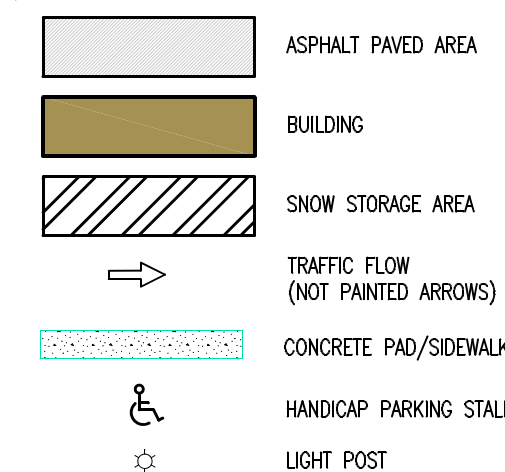
EXISTING FEATURES



PROPOSED FEATURES



PROPOSED FEATURES

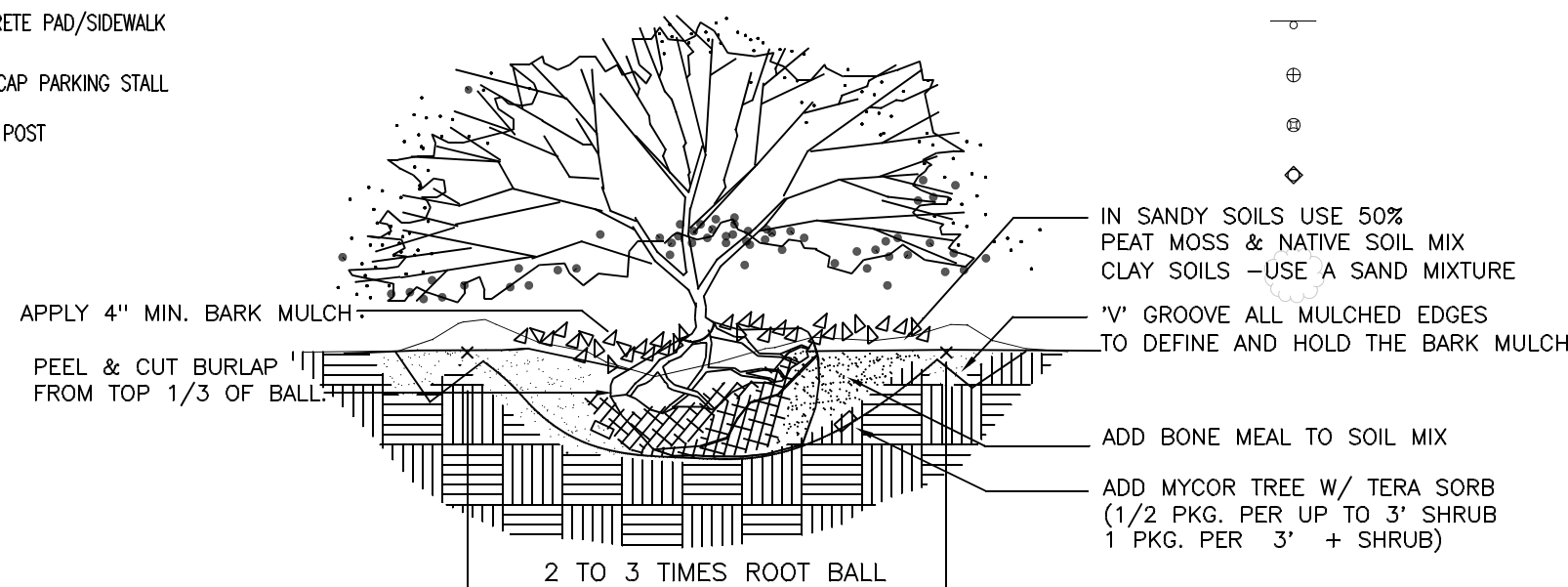


PLANT SYMBOLS

PLANT LIST

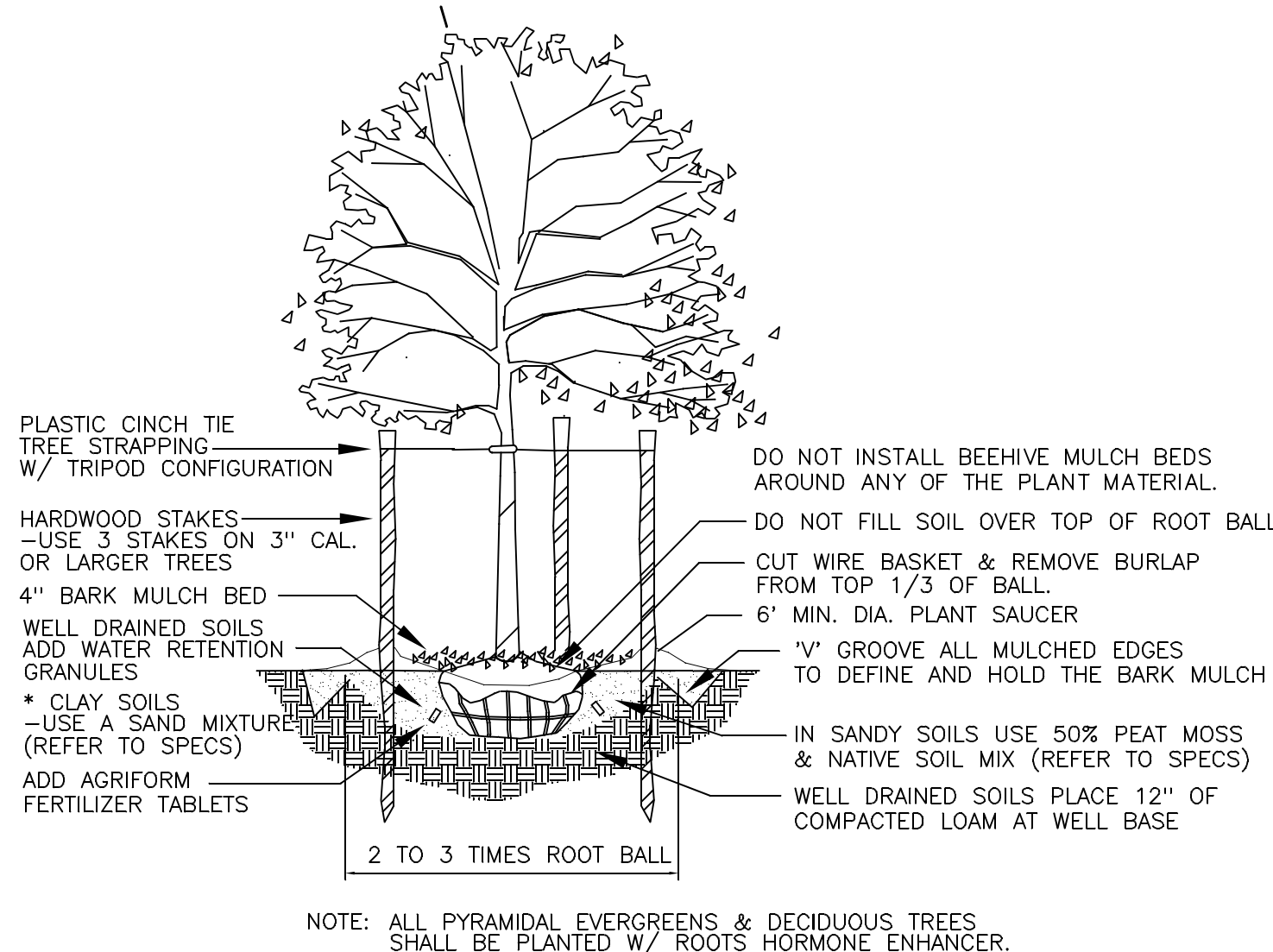
QTY.

	RHMA	ROSEBAY RHODODENDRON (RHODODENDRON MAXIMUM) (OR EQUAL)	(9)
	VILE	SWEET VIBURNUM (VIBURNUM LENTAGO) (OR EQUAL)	(9)
	VACO	HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM) (OR EQUAL)	(4)



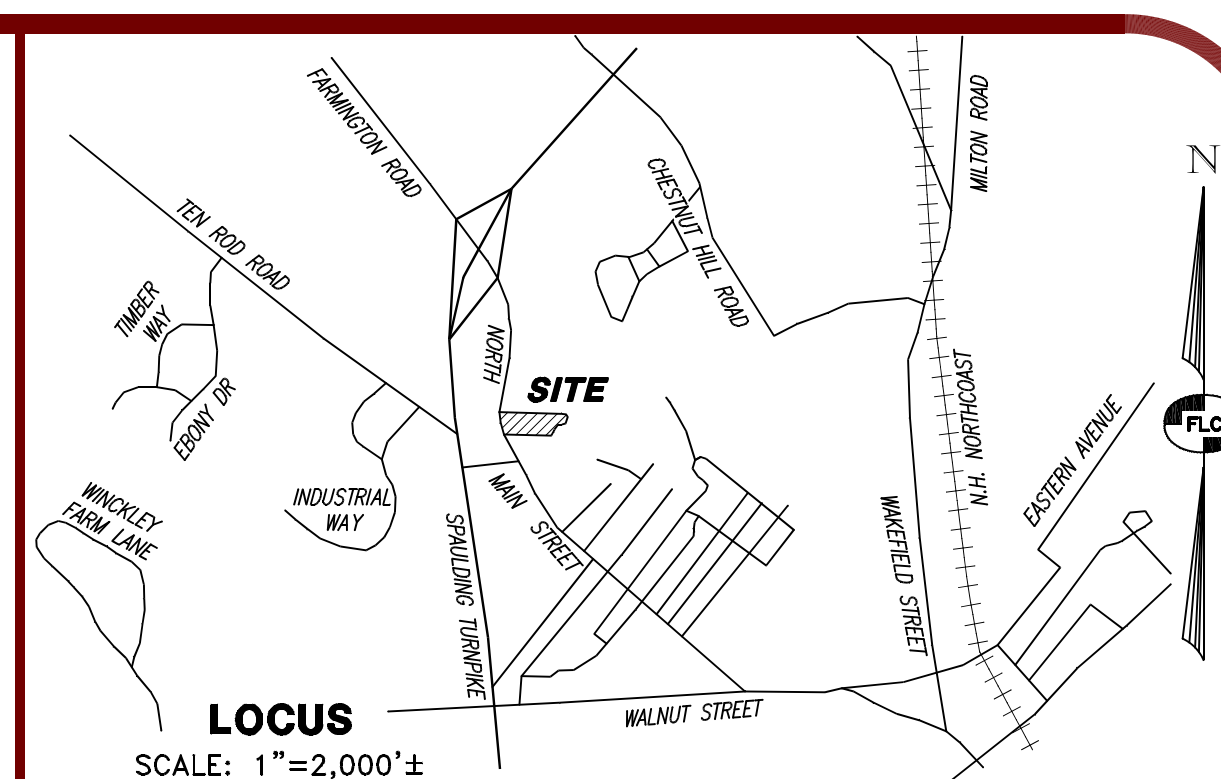
B & B SHRUB PLANTING DETAIL

1
LS-1



DECIDUOUS TREE PLANTING DETAIL

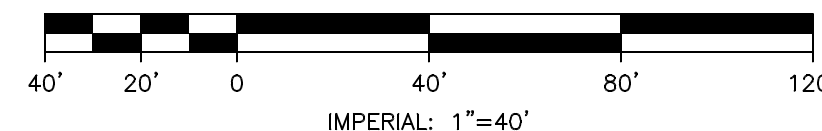
2
LS-1



LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
- EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES.
- EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
- UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
- UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1-YEAR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS FIRST.
- IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
- UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 6" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
- WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION.
- ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT ENTRANCE.
- ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
- THE PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES, OR UNDERGROUND UTILITIES.
- FERTILIZERS SHOULD NOT BE APPLIED WITHIN 50FT OF WETLAND OR WITHIN THE 100-YEAR AND 500-YEAR FLOODPLAINS. NO FERTILIZER SHOULD BE APPLIED TO LCA #3 RESPECTIVELY.

GRAPHIC SCALE



C	--	--	--	--
B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

LANDSCAPING PLAN

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
**ALL PURPOSE STORAGE
ROCHESTER LLC**
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF STORMWATER BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLAND PLANTS INC., AMHERST, MA.
15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLAND PLANTS, INC., AMHERST MA.
B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

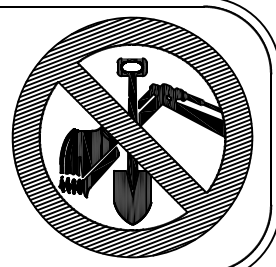
TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE
CRUSHED STONE, 1/4" TO 1-1/2" DIA.	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER.
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES

1
DT-1

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TO CONSTRUCTION
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1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

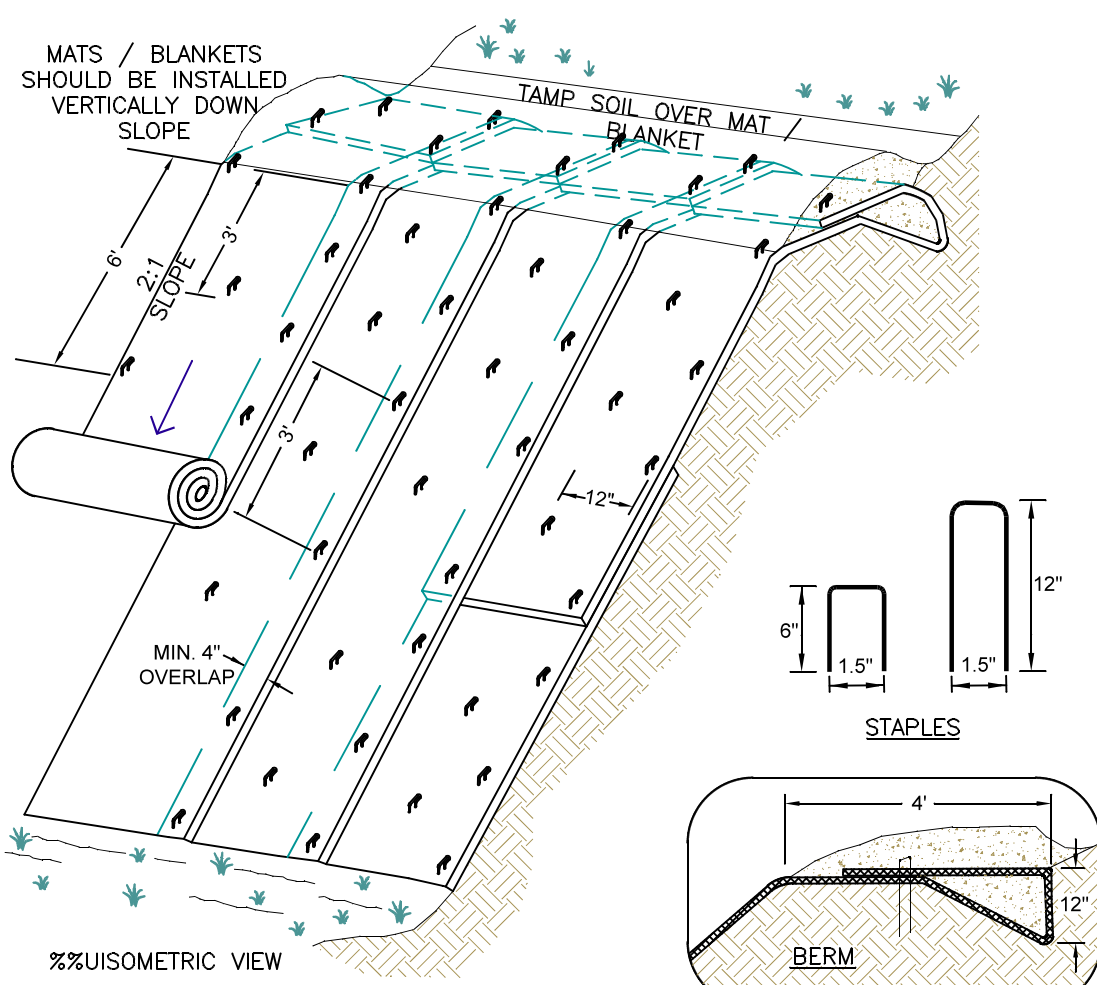
WINTER CONSTRUCTION NOTES

2
DT-1

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE -- CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. BEGIN BUILDING CONSTRUCTION.
7. CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE THE EROSION CONTROL NOTES.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING (IF ANY) AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING (IF ANY). PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.
15. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.

CONSTRUCTION SEQUENCE

3
DT-1

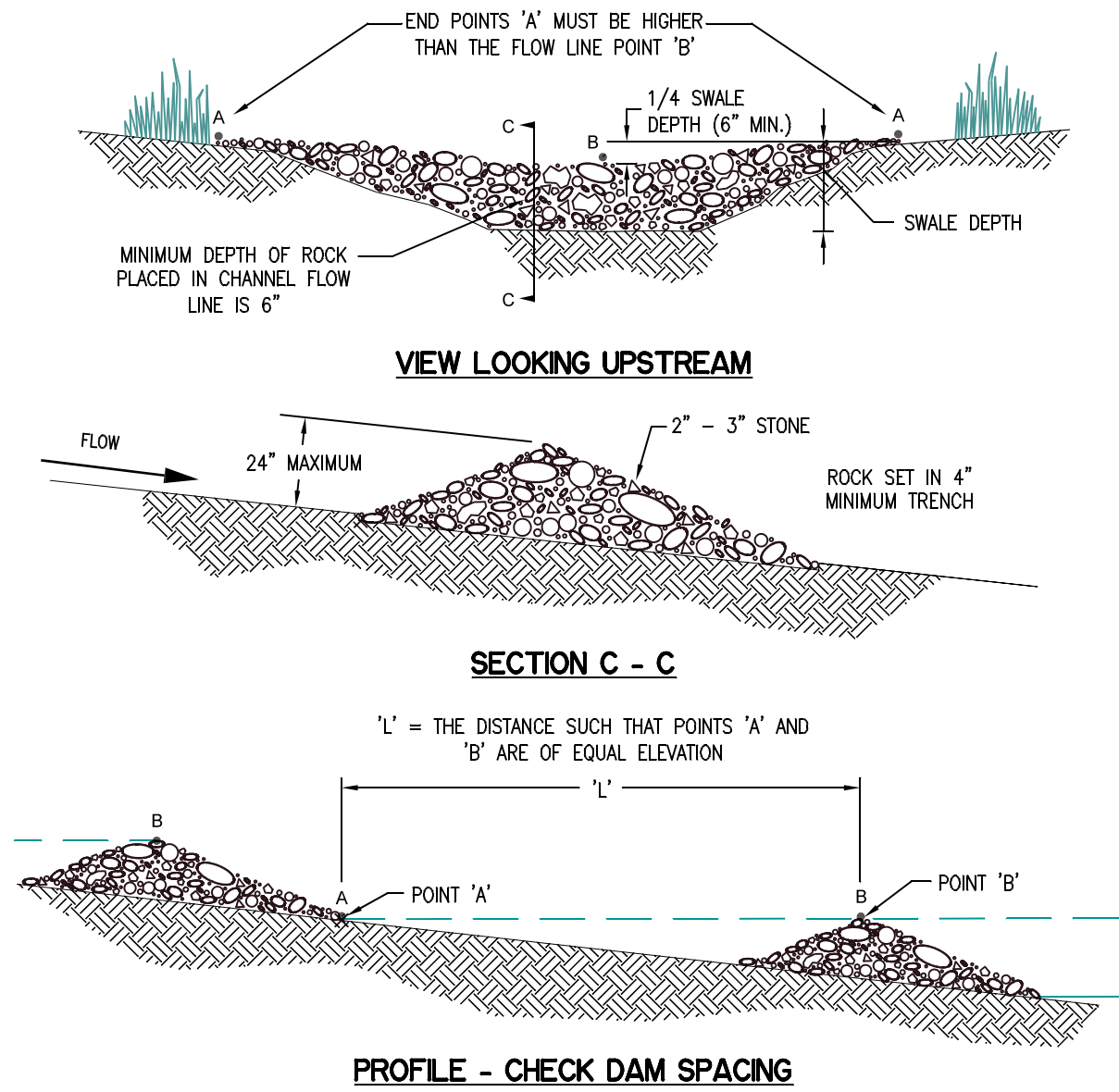


NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES: DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC150 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURERS STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION

4
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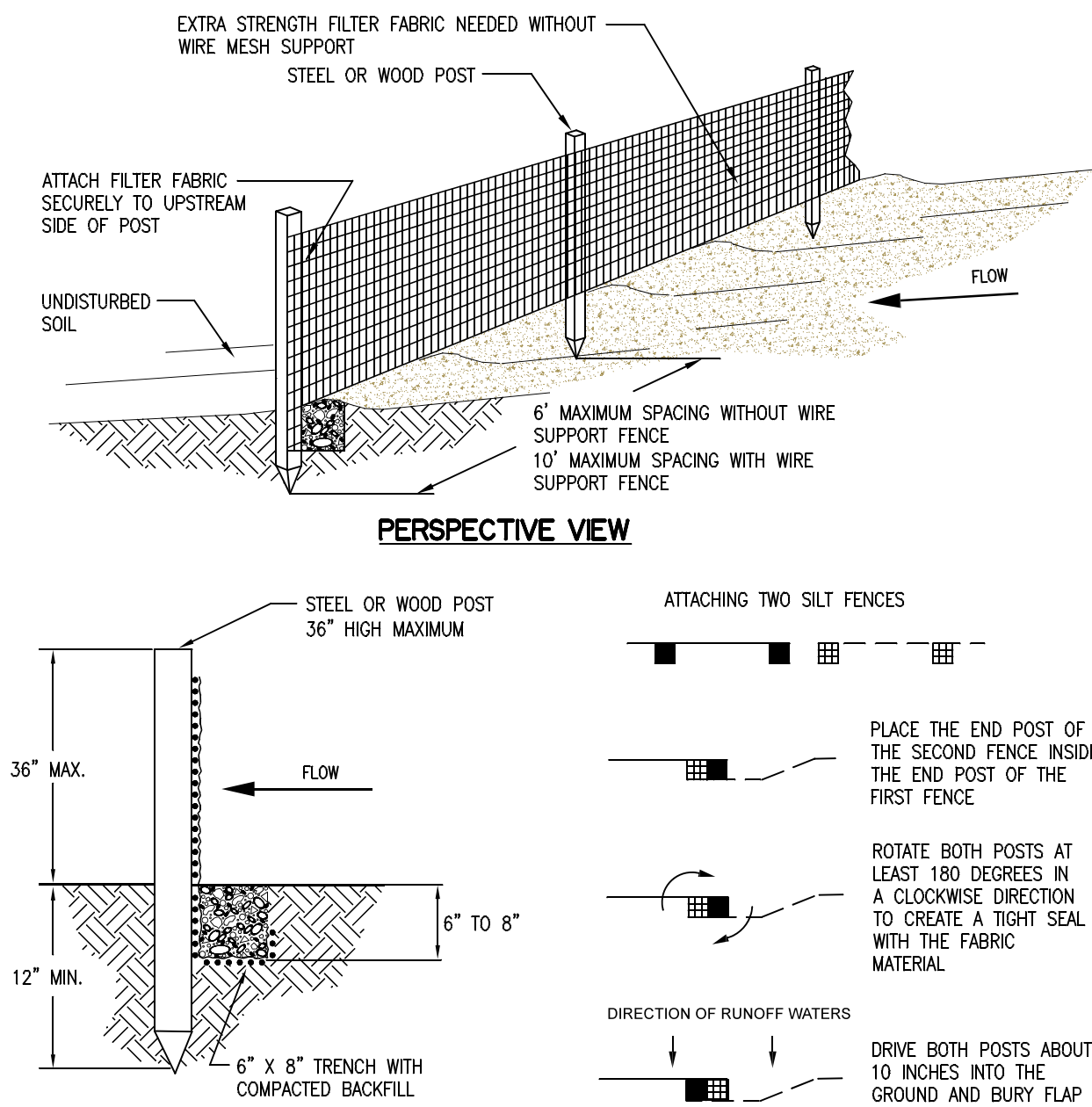
PROFILE - CHECK DAM SPACING

NOTES:

1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

5
DT-1



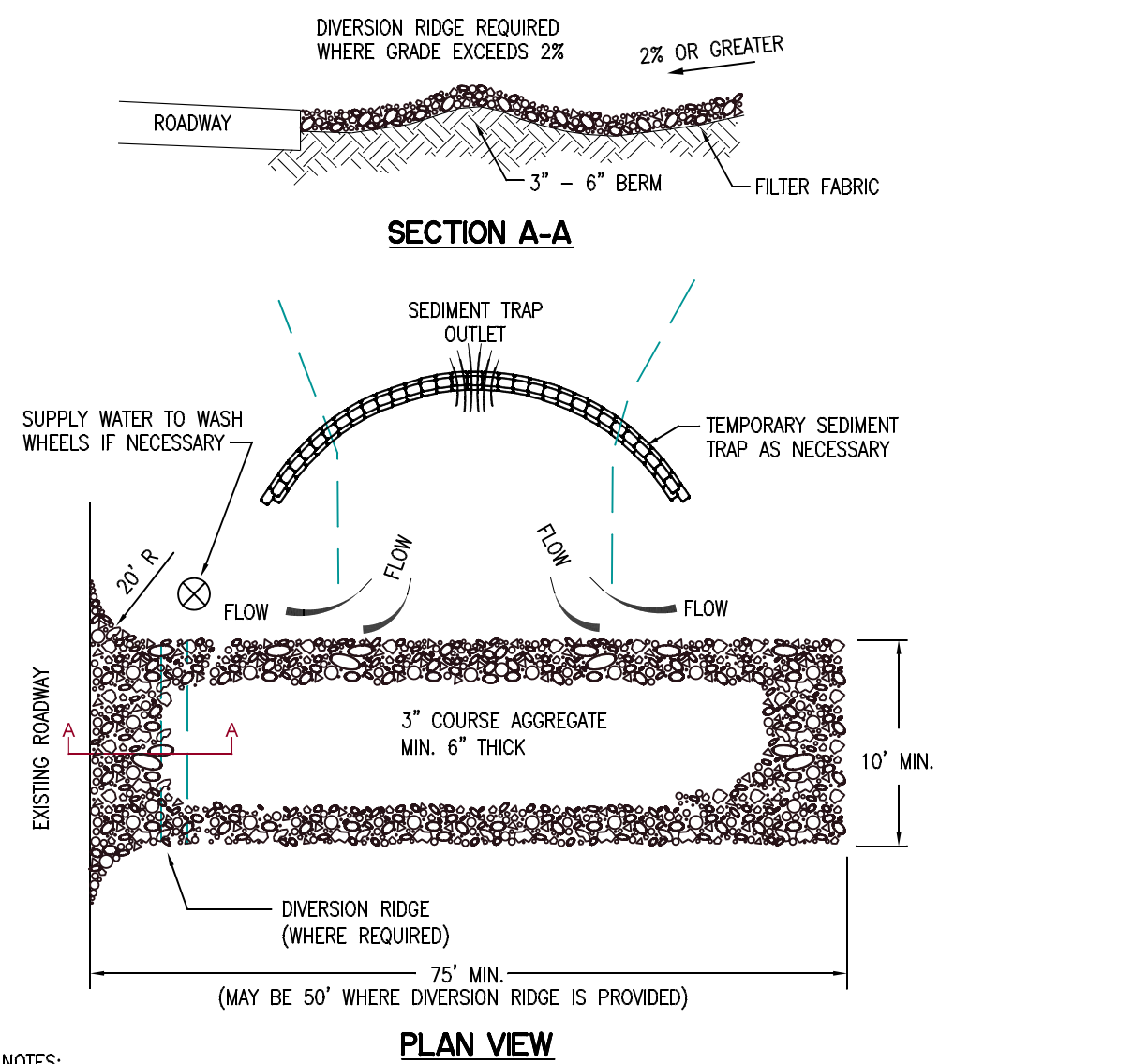
SECTION VIEW

NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

6
DT-1



PLAN VIEW

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SCALE: N.T.S.

GRAVEL CONSTRUCTION EXIT

7
DT-1

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B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

EROSION CONTROL DETAILS

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

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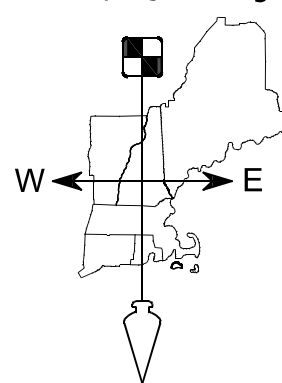
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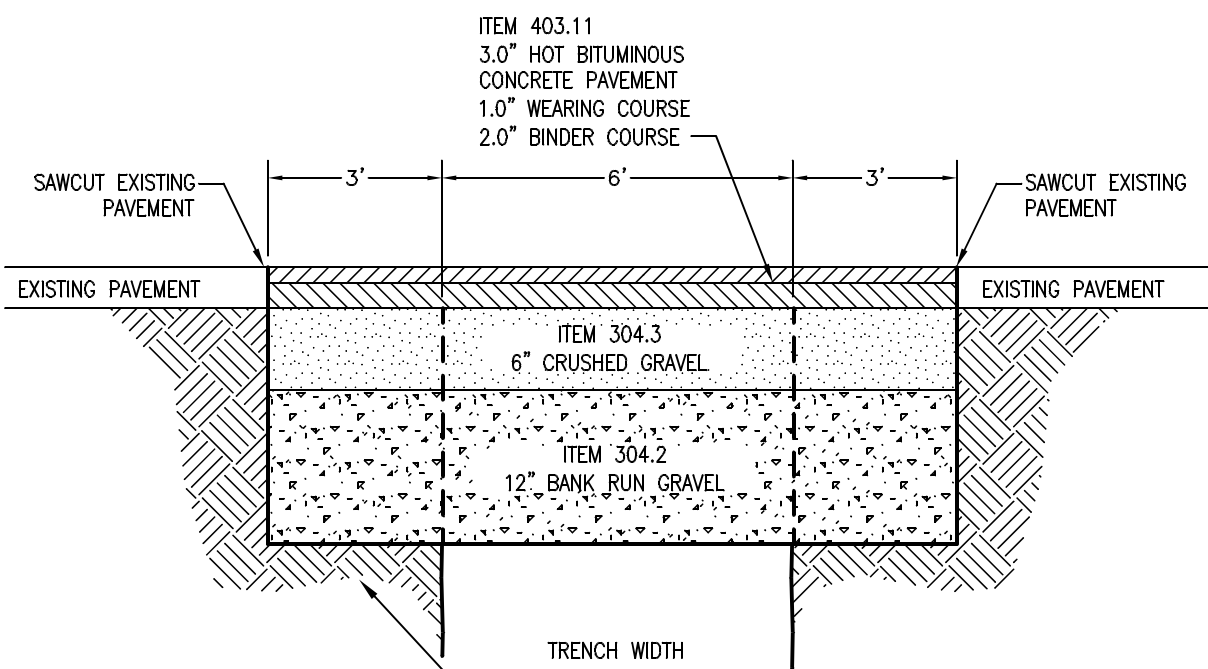
206 Elm Street, Milford, NH 03055
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www.FieldstoneLandConsultants.com

FILE: 3035DT00B.DWG PROJ. NO. 3459.00 SHEET: DT-1 PAGE NO. 9 OF 12

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF ROCHESTER
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

GENERAL CONSTRUCTION NOTES

1
DT-2

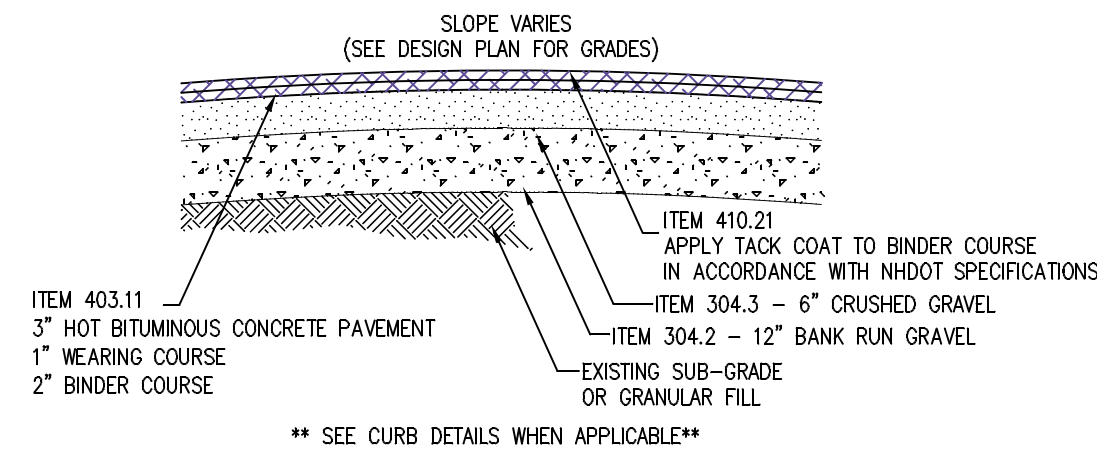


NOTE:

THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER TRENCH CONSTRUCTION AND ALLOWED TO STAND A MINIMUM OF 90 DAYS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER 90 DAYS AND THE ENTIRE ROAD OVERLAD TO THE LIMITS SHOWN ON THE PLANS.

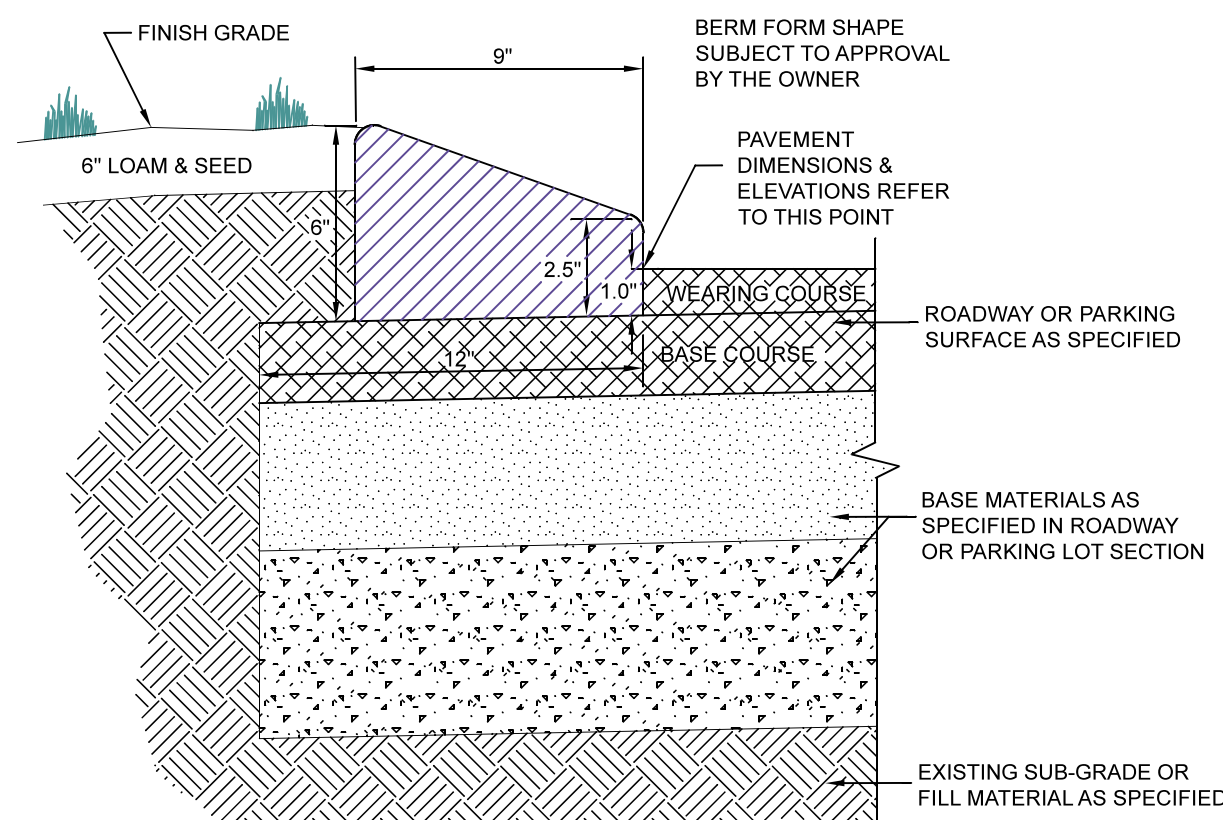
PAVEMENT TRENCH PATCH

2
DT-2



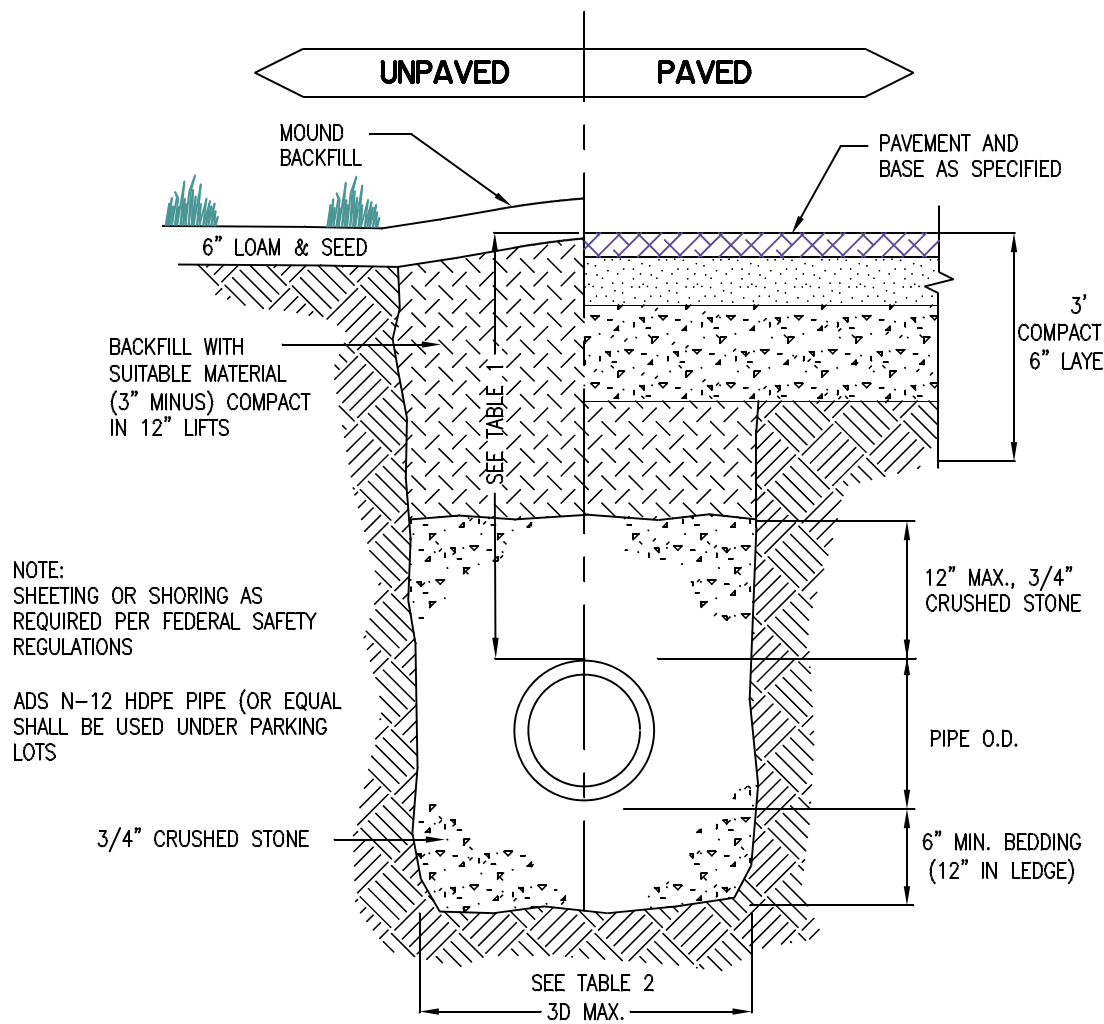
PAVEMENT SECTION

3
DT-2



CURB - ASPHALT (CAPE COD BERM)

4
DT-2



NOTE:
SHEETING OR SHORING AS
REQUIRED PER FEDERAL SAFETY
REGULATIONS

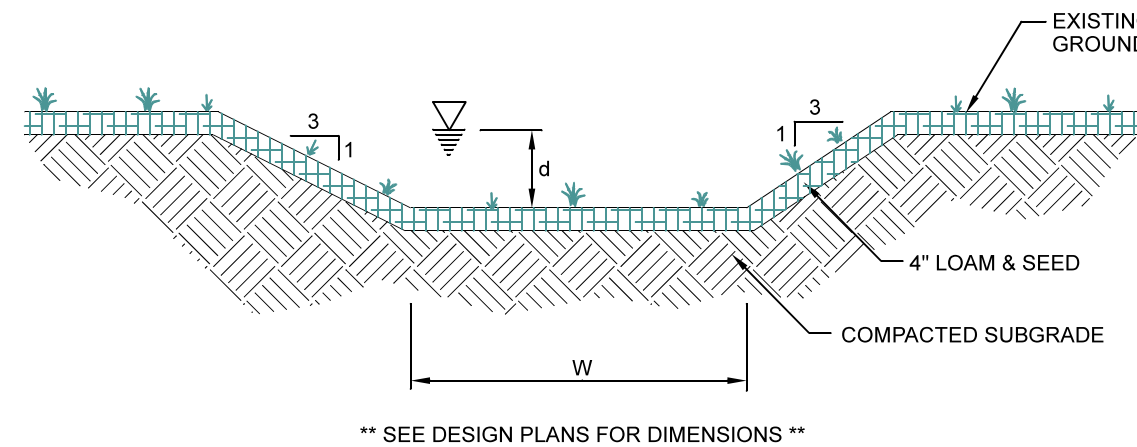
ADS N-12 HDPE PIPE (OR EQUAL
SHALL BE USED UNDER PARKING
LOTS

TABLE 1 (RECOMMENDED COVER)		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
GRAVEL ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (RECOMMENDED TRENCH WIDTH)	
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

DRAINAGE TRENCH (TYPICAL)

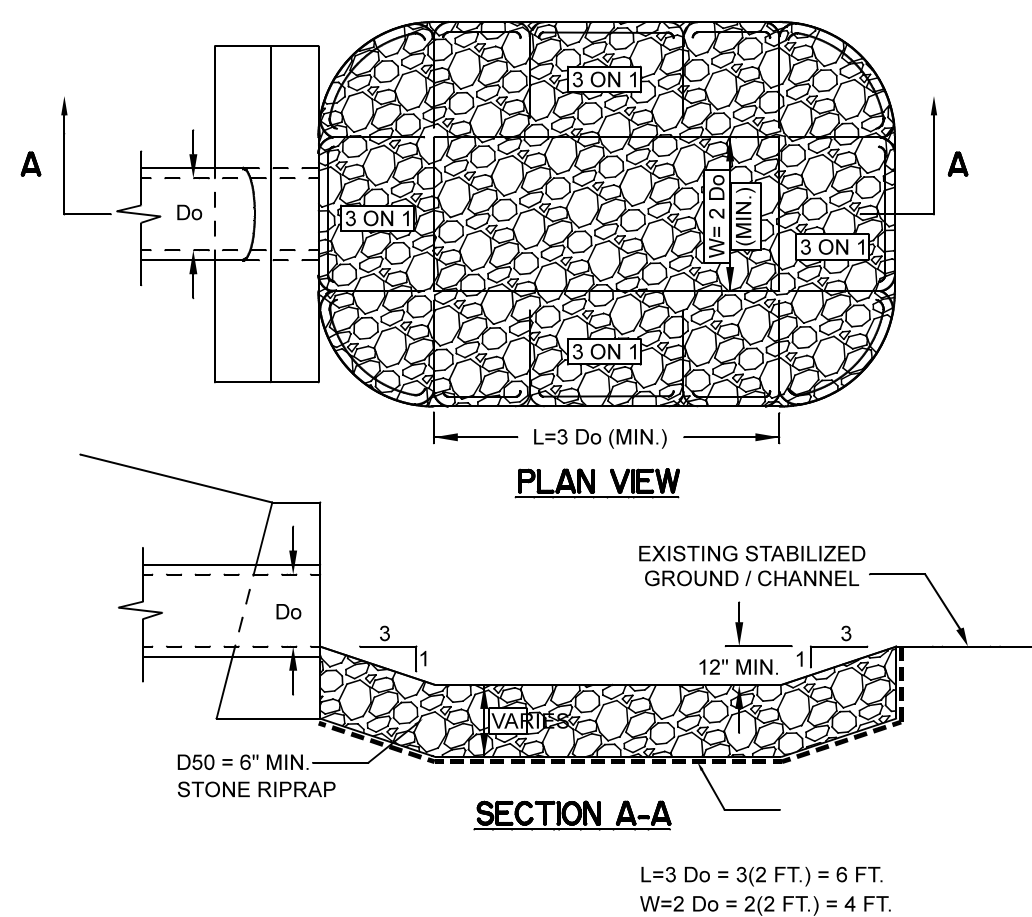
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** SEE DESIGN PLANS FOR DIMENSIONS **

TREATMENT SWALE

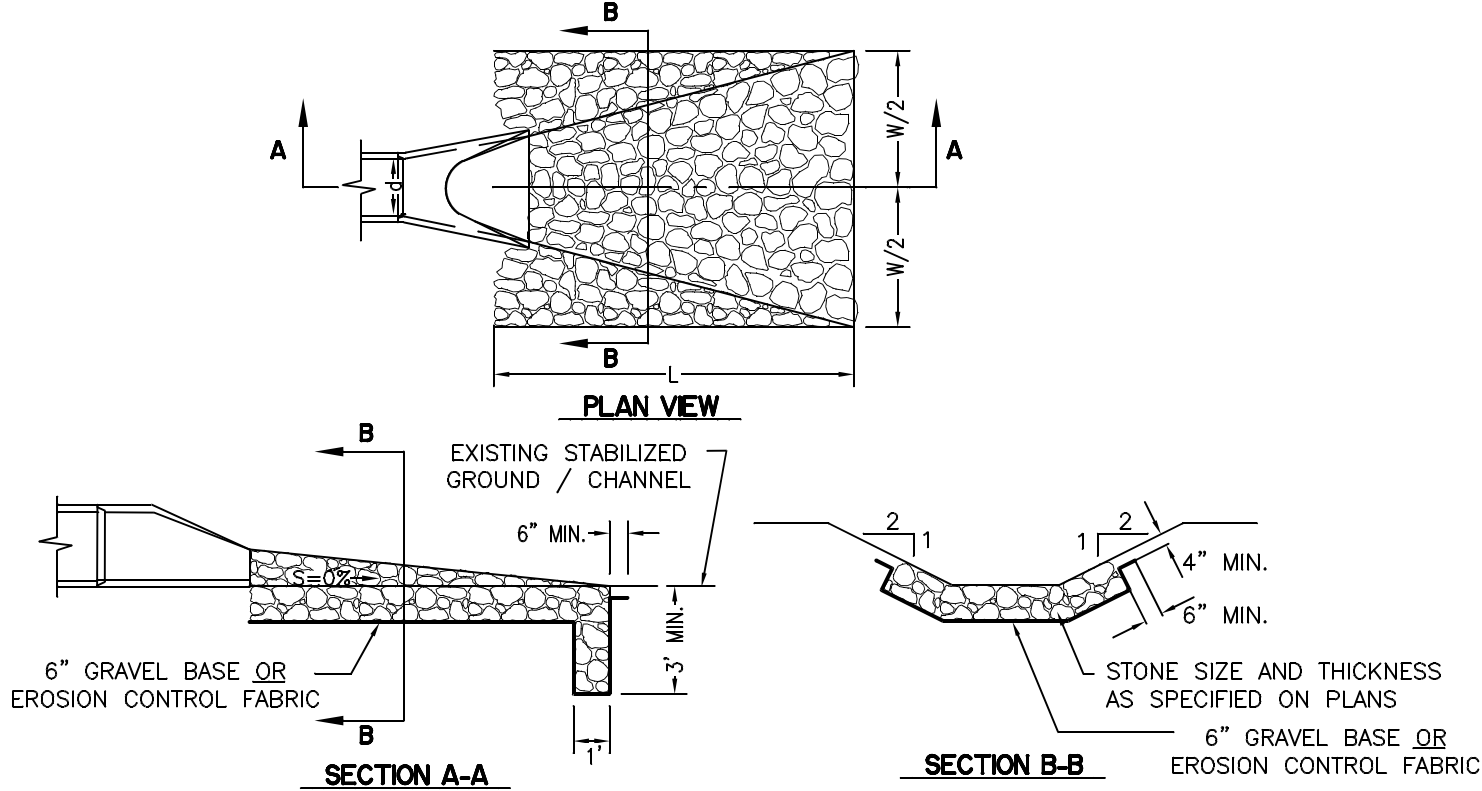
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DT-2



LOCATION	D ₅₀ (IN)	L (FT)*	W (FT)*	D ₅₀ (IN.)	THICKNESS (IN.)
FES-1	12	8	4	4	8

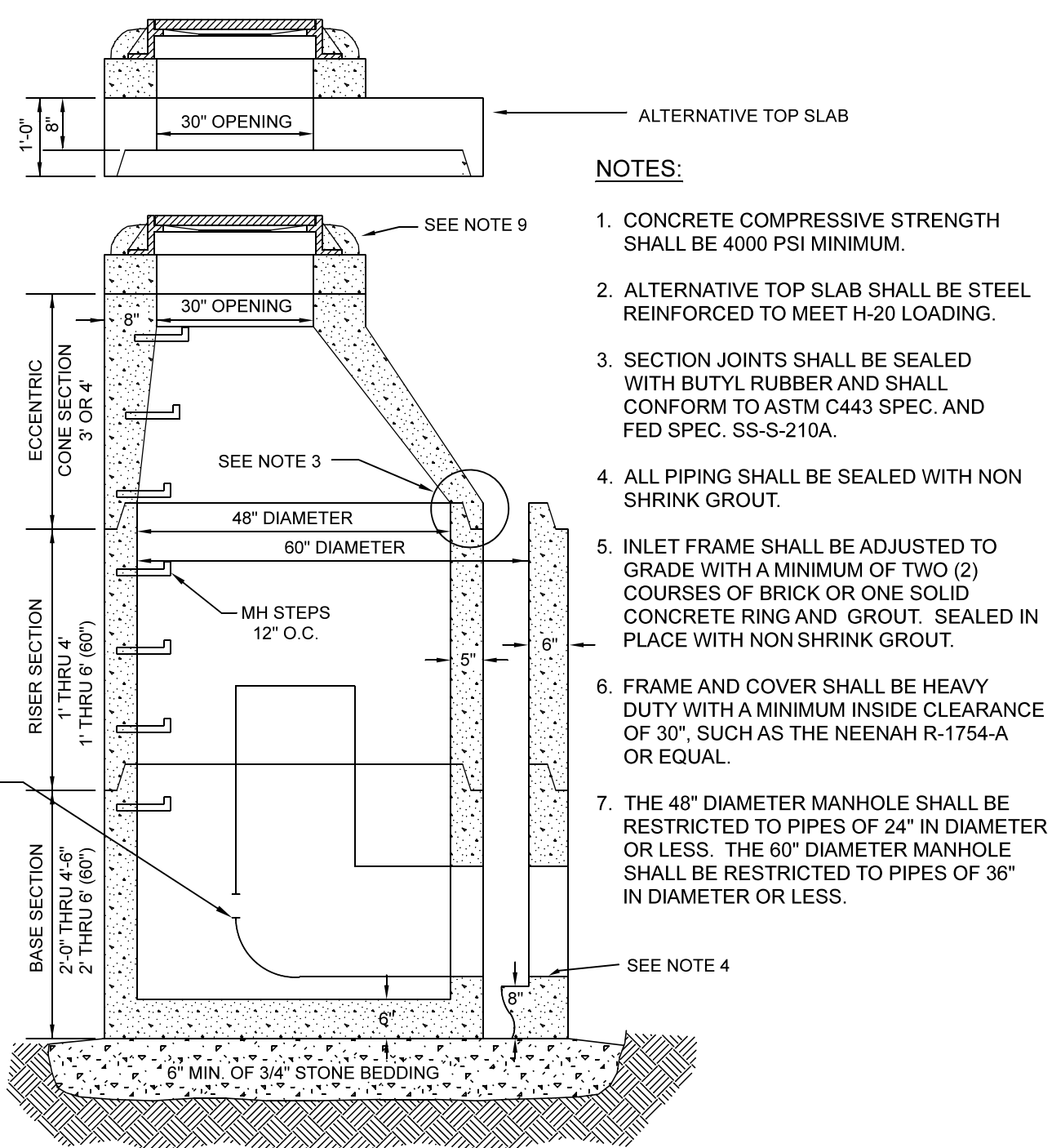
PREFORMED SCOUR HOLE

7
DT-2



FLARED END SECTION (FES)

8
DT-2

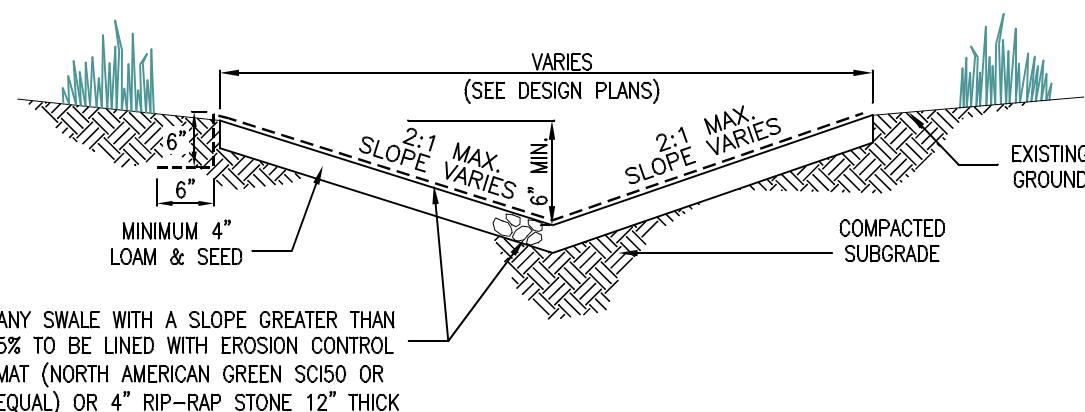


NOTES:

1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI MINIMUM.
2. ALTERNATIVE TOP SLAB SHALL BE STEEL REINFORCED TO MEET H-20 LOADING.
3. SECTION JOINTS SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-S-210A.
4. ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
5. INLET FRAME SHALL BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT.
6. FRAME AND COVER SHALL BE HEAVY DUTY WITH A MINIMUM INSIDE CLEARANCE OF 30", SUCH AS THE NEENAH R-1754-A OR EQUAL.
7. THE 48" DIAMETER MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS. THE 60" DIAMETER MANHOLE SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.

4' DIA. MANHOLE - STORM DRAIN (DMH 2, 4 & 5)

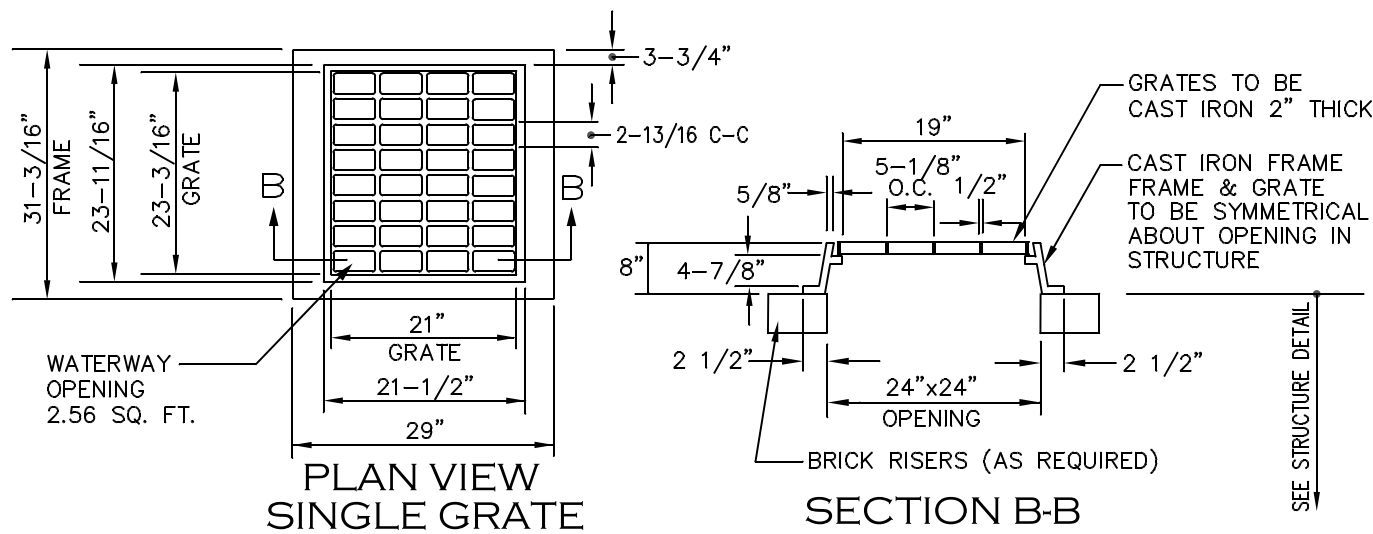
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ANY SWALE WITH A SLOPE GREATER THAN 5% TO BE LINED WITH EROSION CONTROL MAT (NORTH AMERICAN GREEN SOGO OR EQUAL) OR 4" RIP-RAP STONE 12" THICK

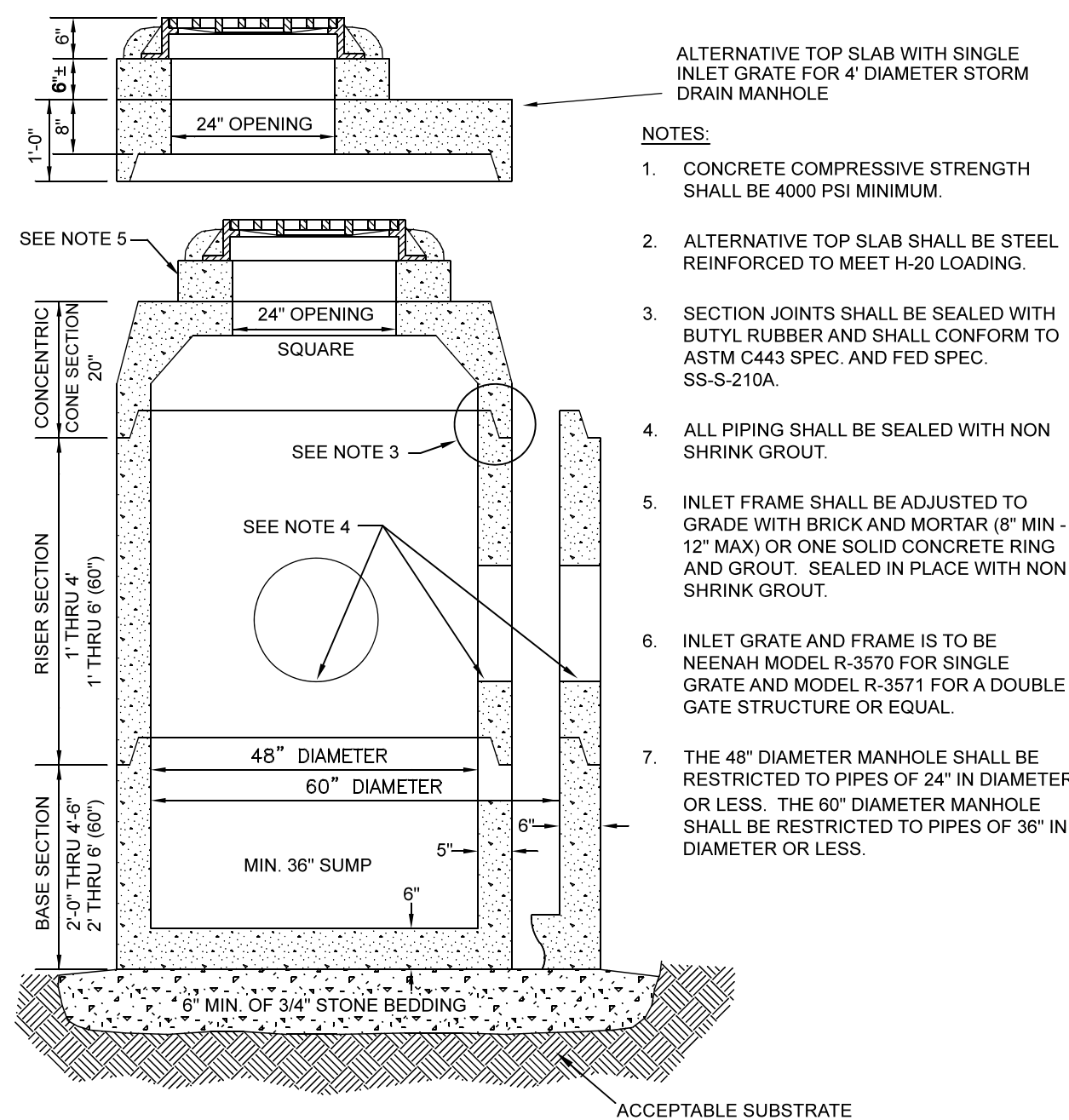
TYPICAL SWALE DETAIL

10
DT-2



FRAME AND GRATE - NHDOT TYPE B

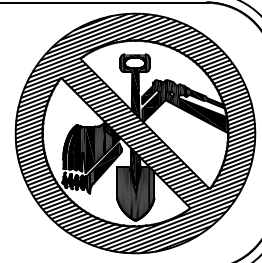
11
DT-2



CATCH BASIN

12
DT-2

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REV.	DATE	DESCRIPTION	C/O	DR

CONSTRUCTION DETAILS

TAX MAP 114 LOT 8

(303 & 305 NORTH MAIN STREET)

ROCHESTER, NEW HAMPSHIRE

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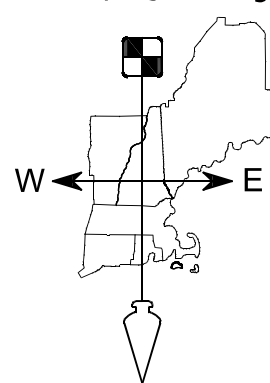
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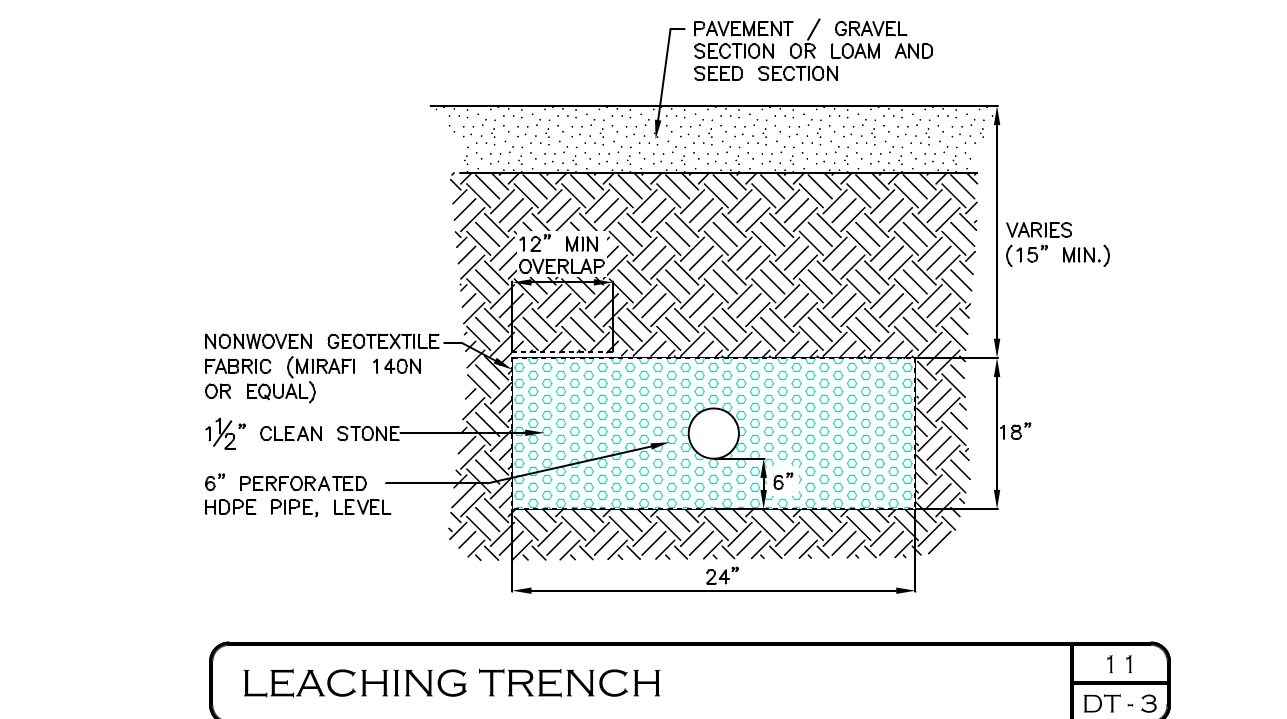
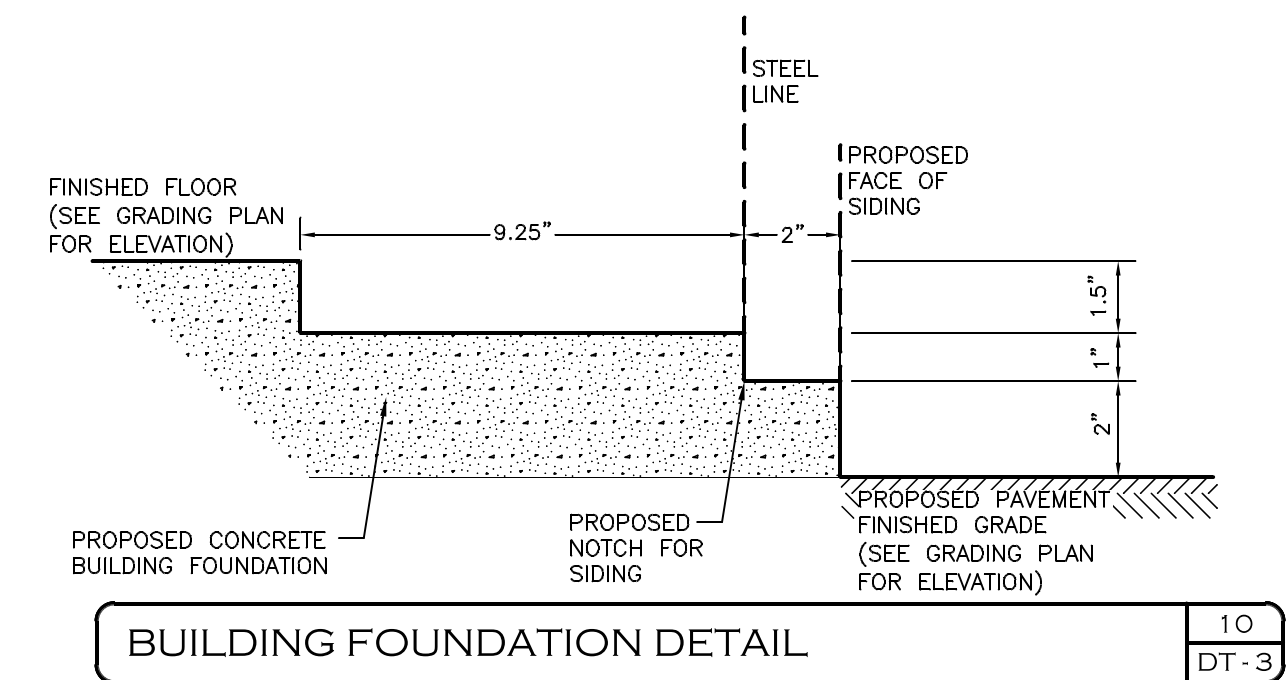
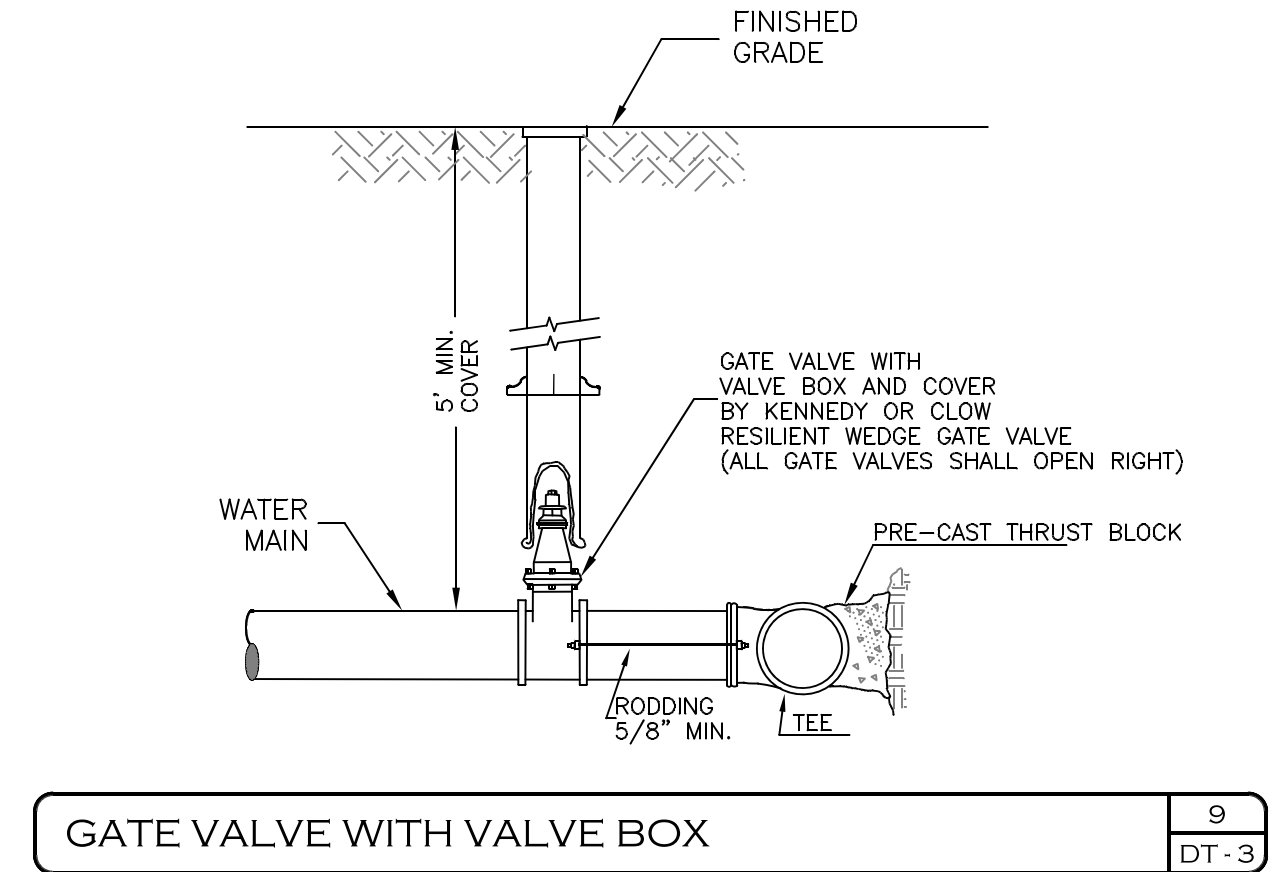
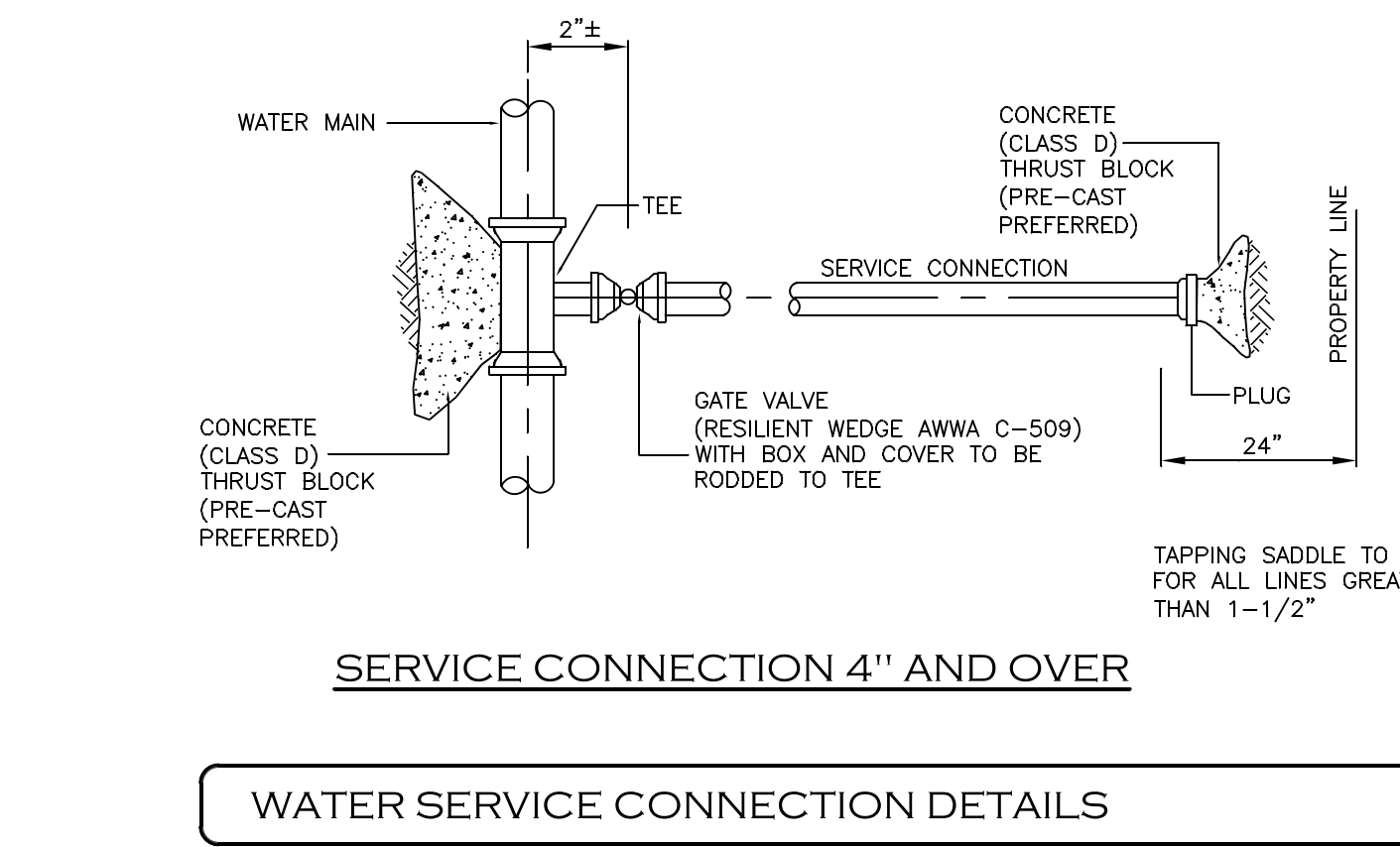
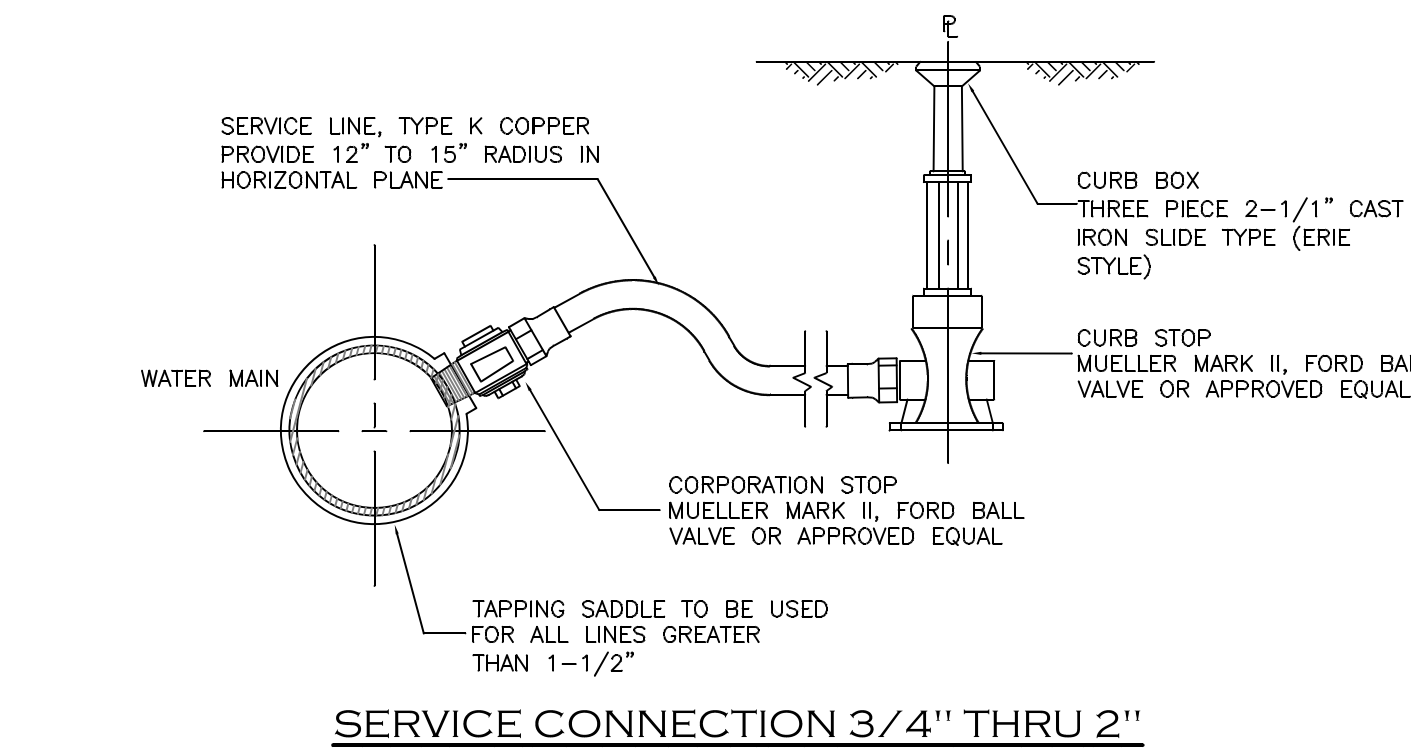
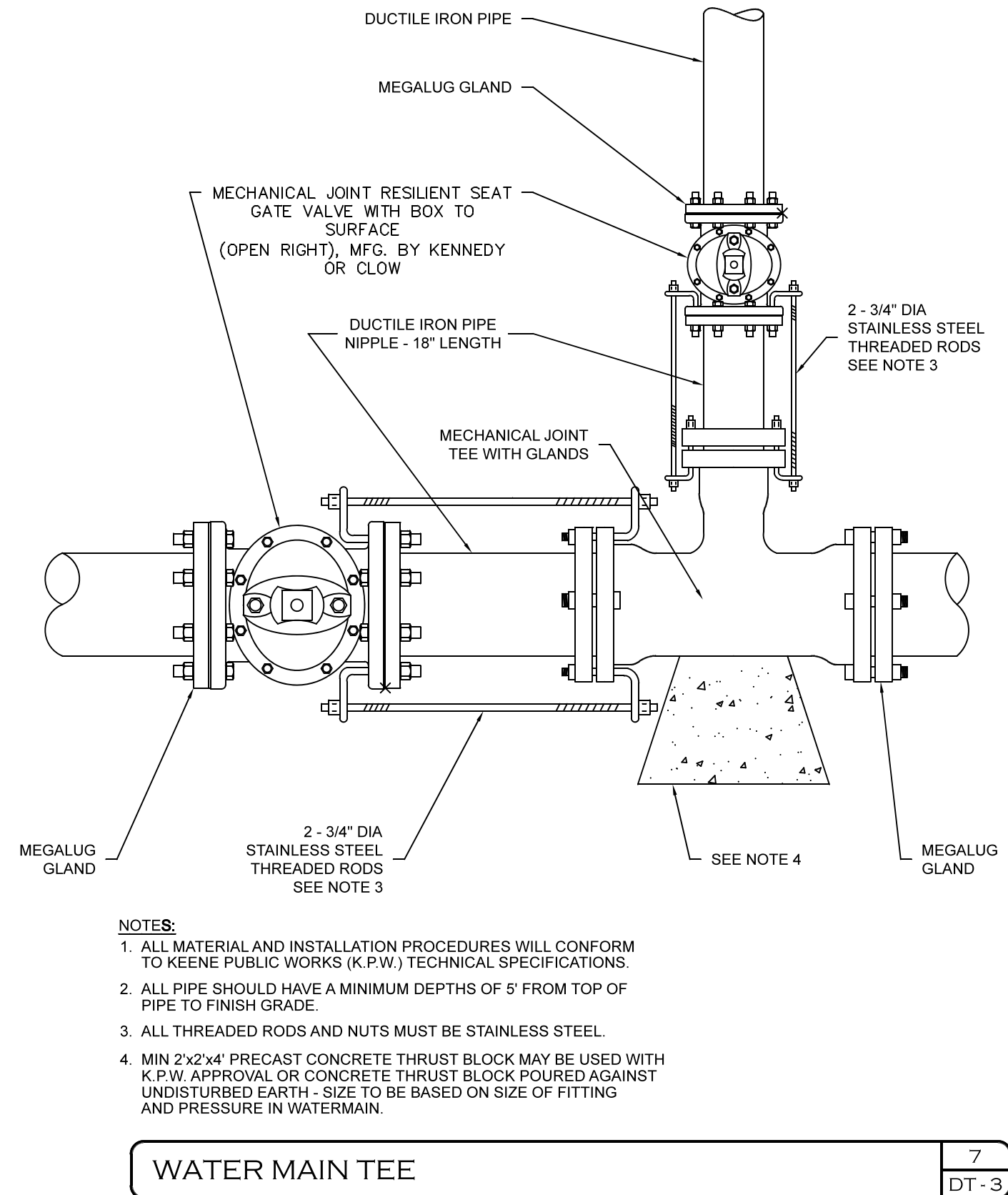
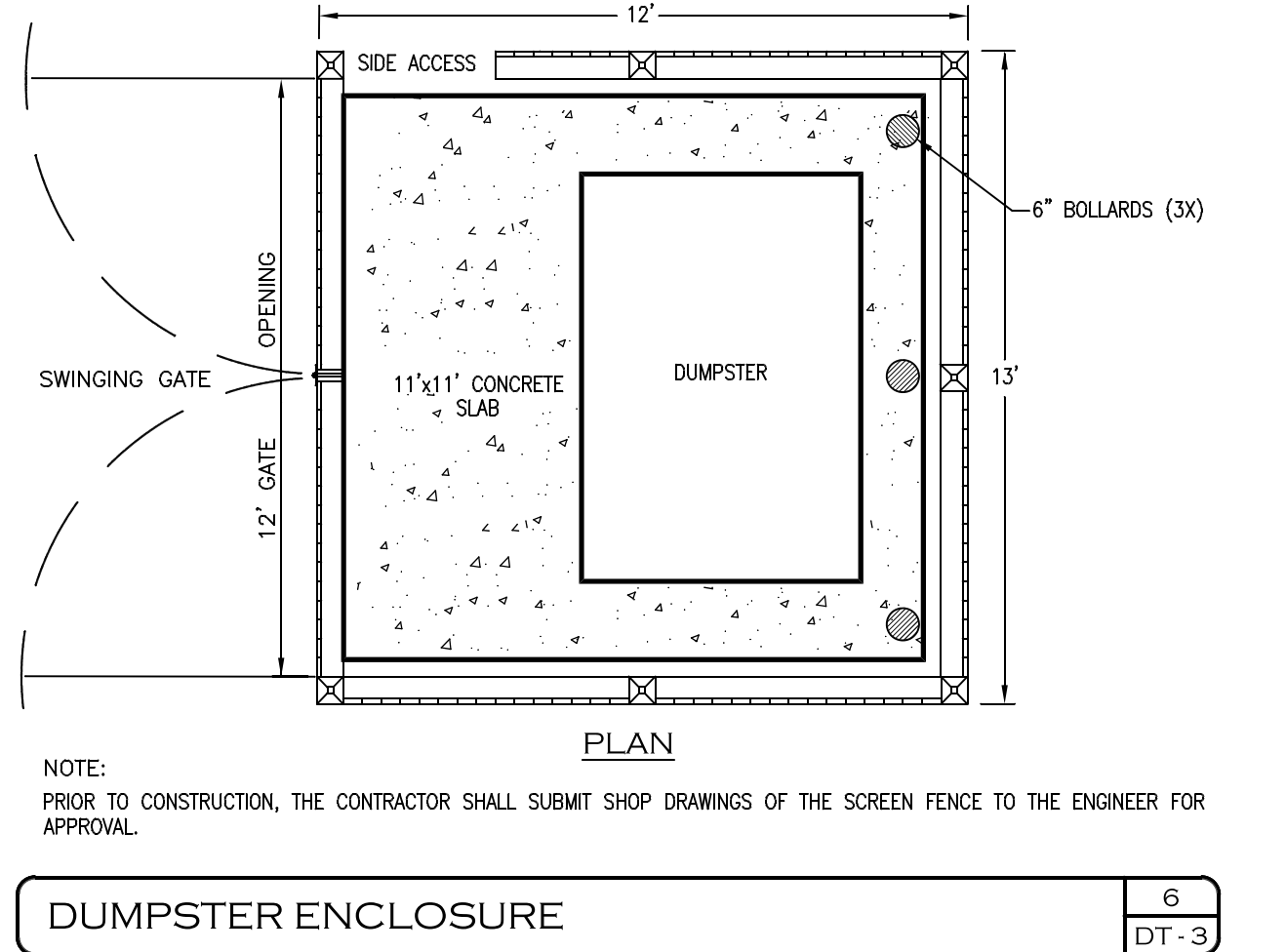
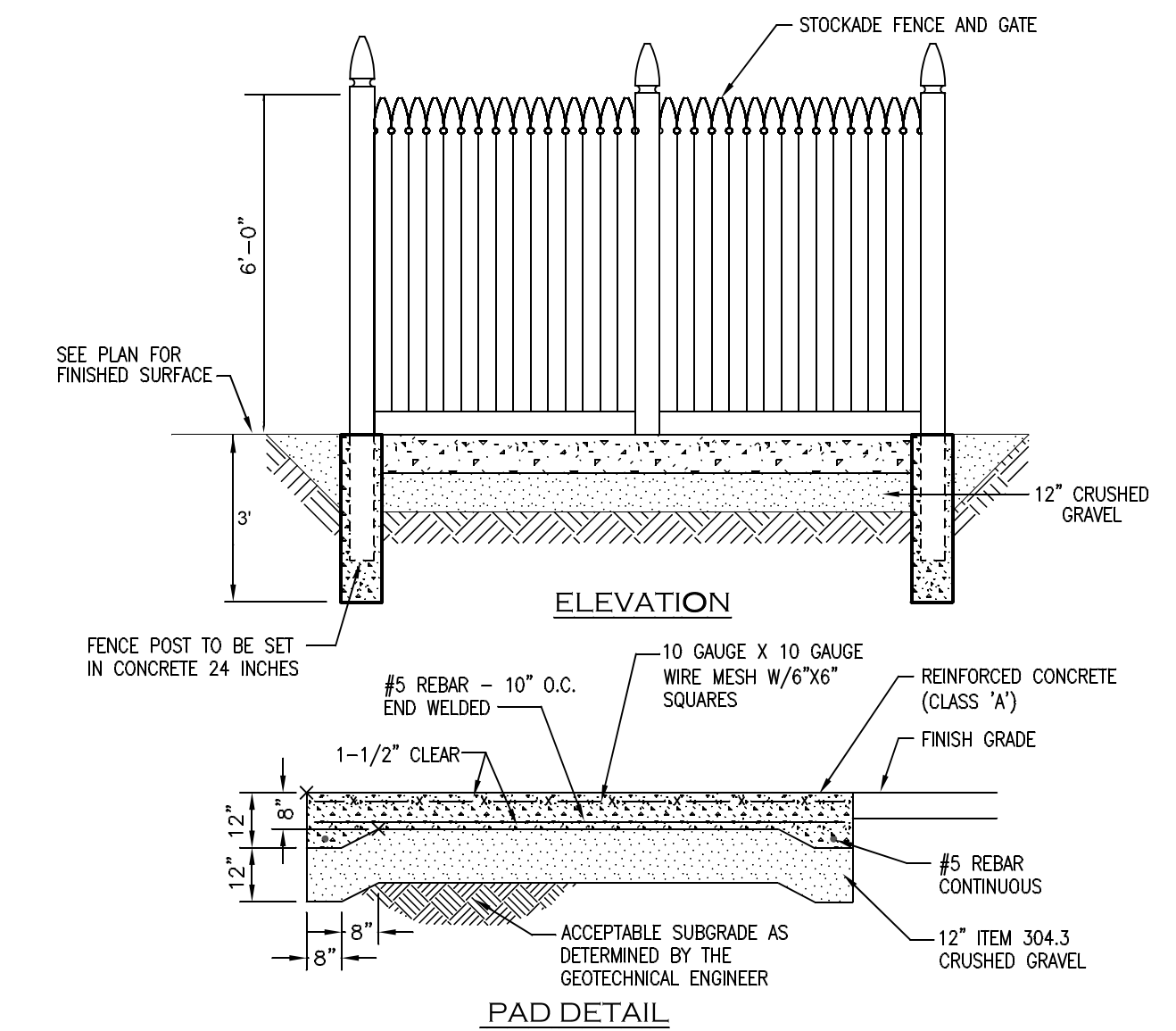
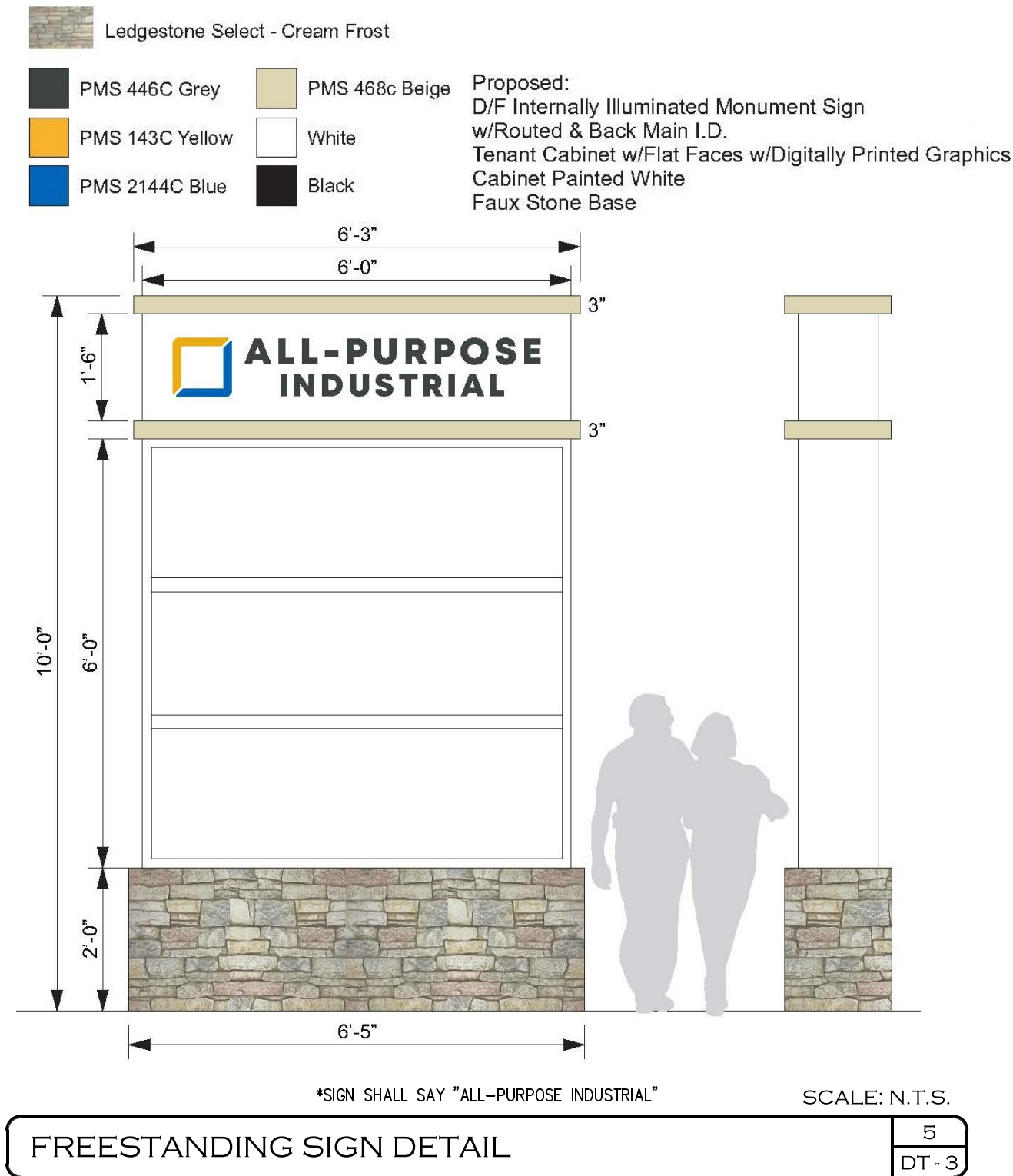
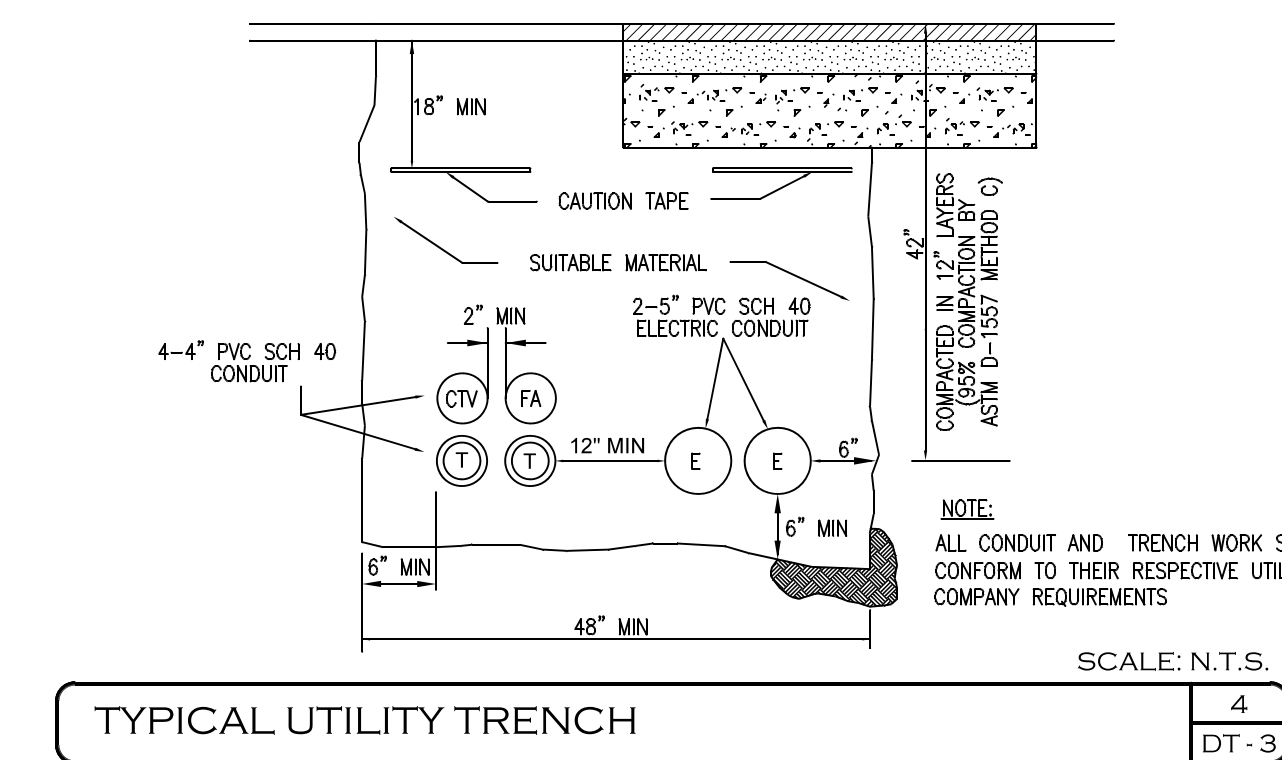
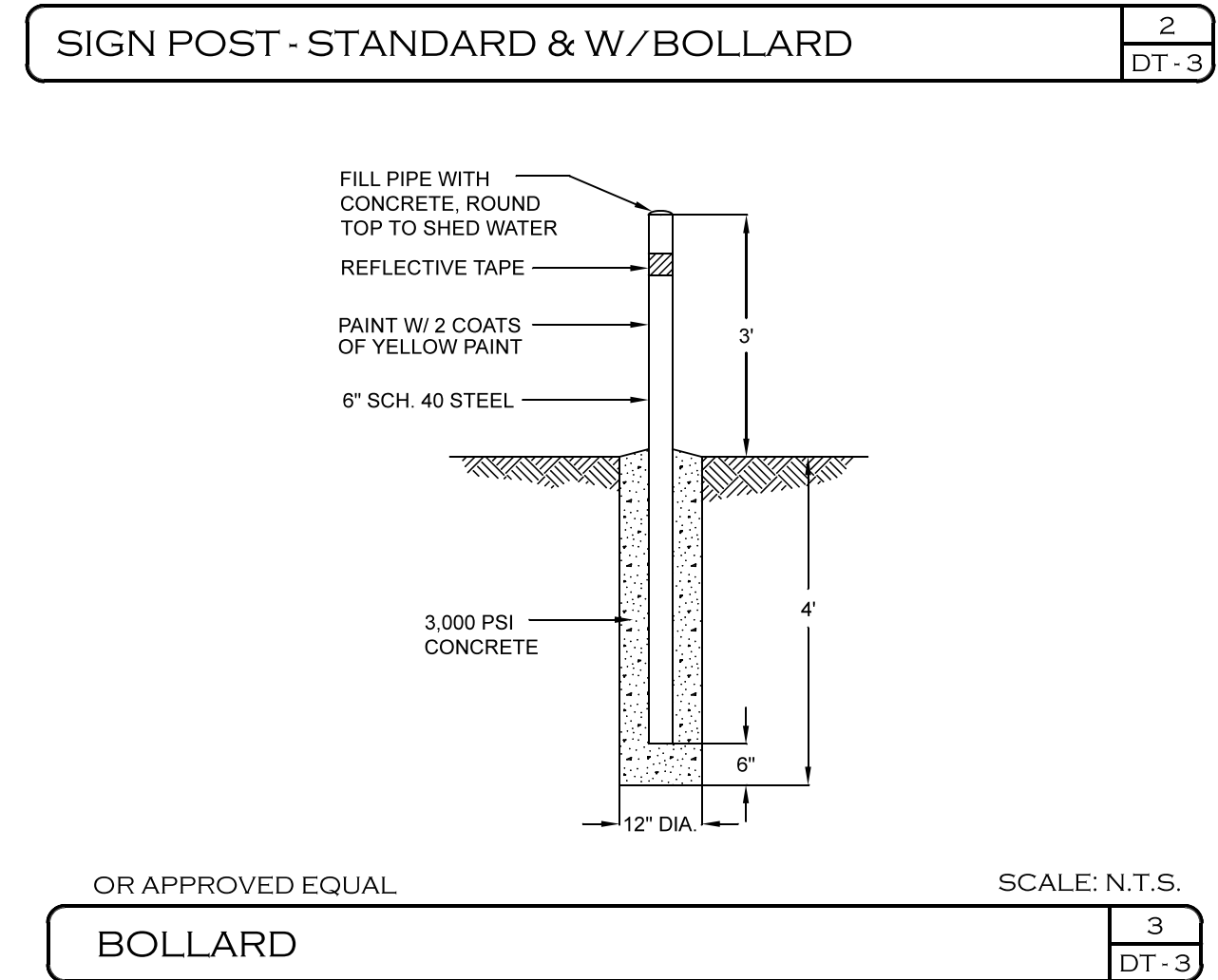
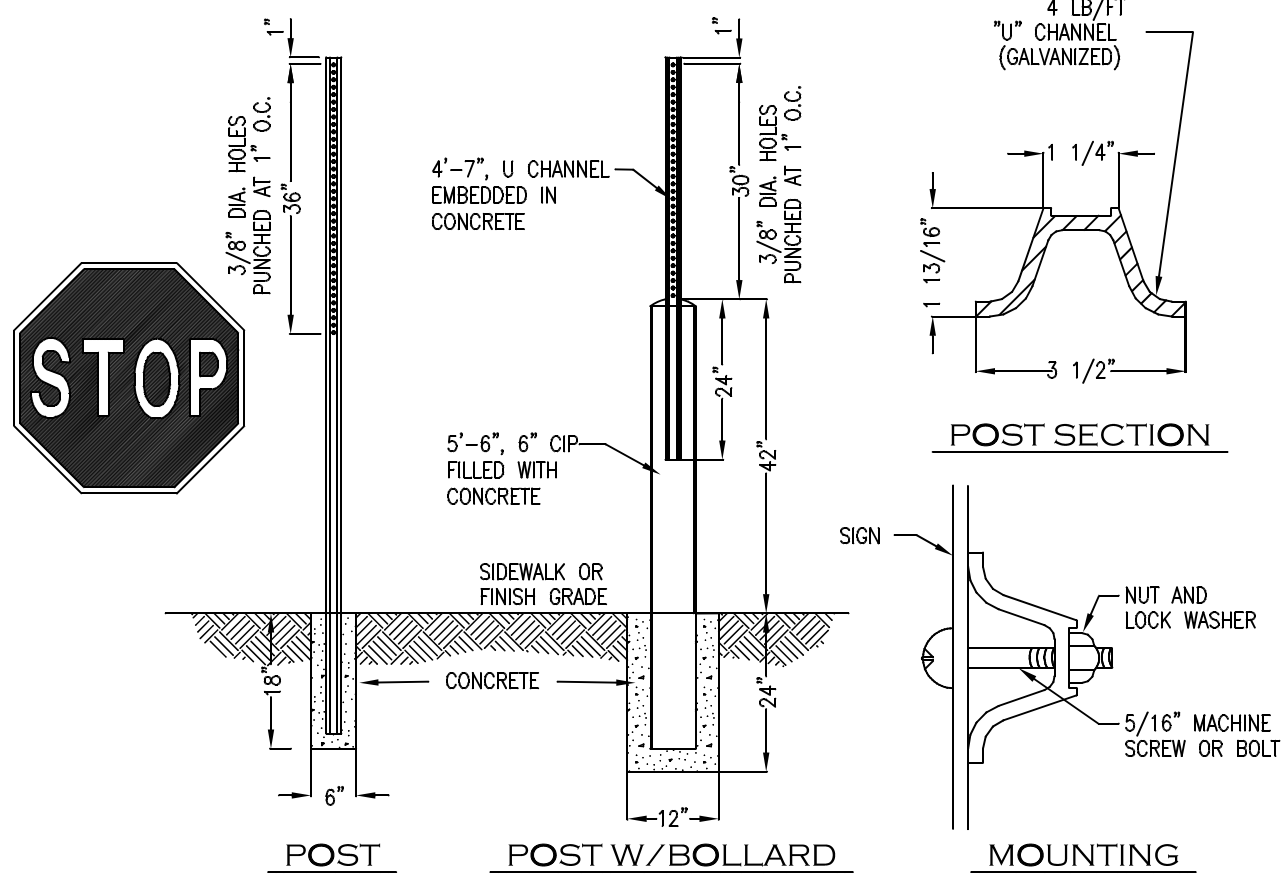
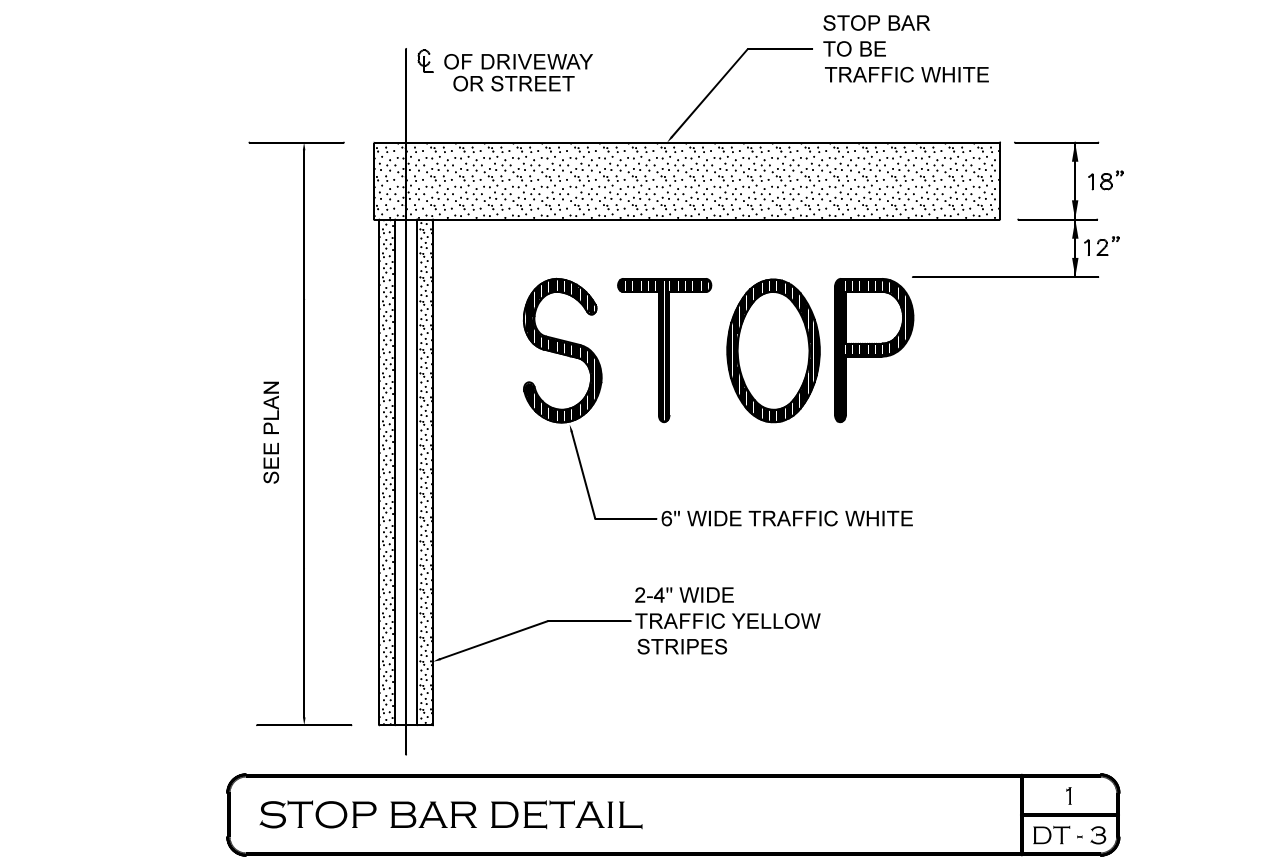
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PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103-4138

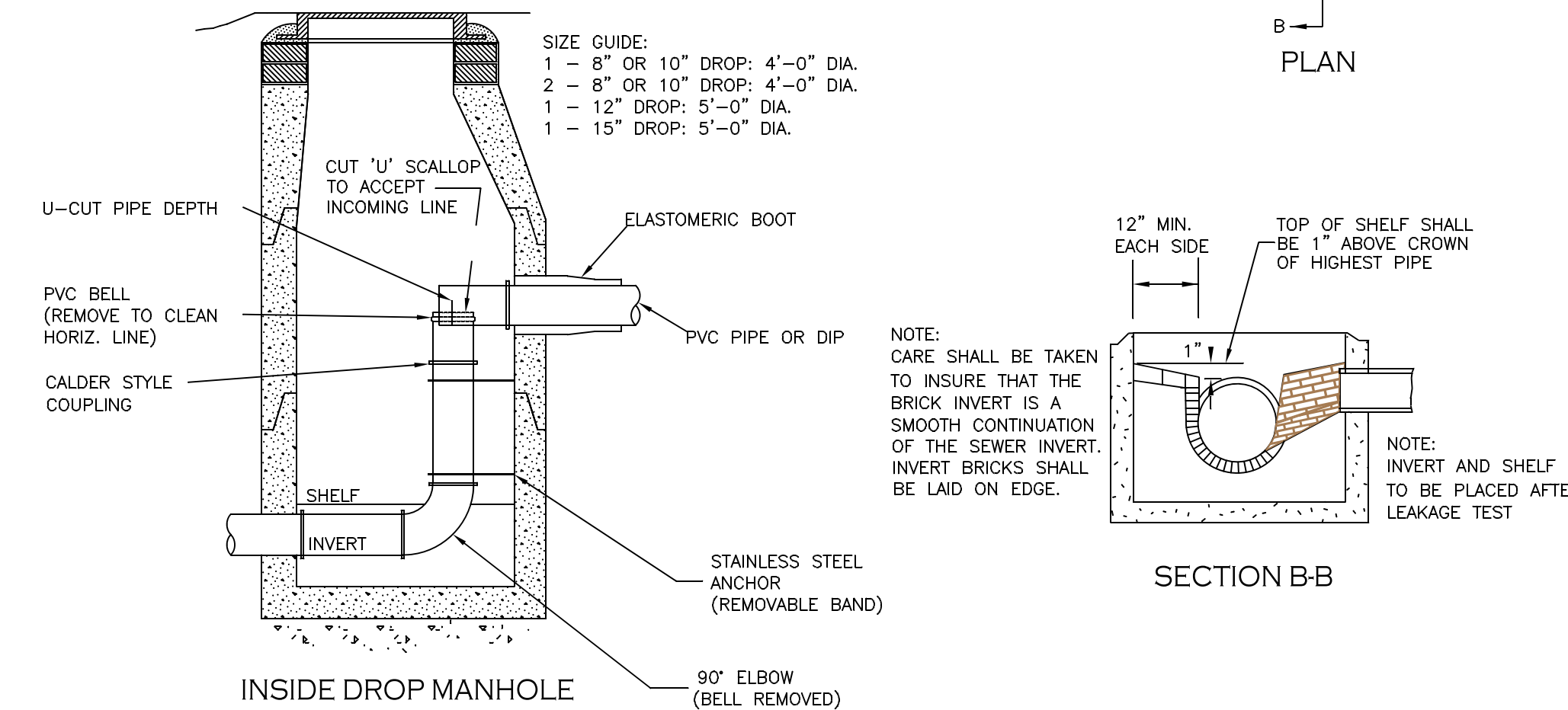
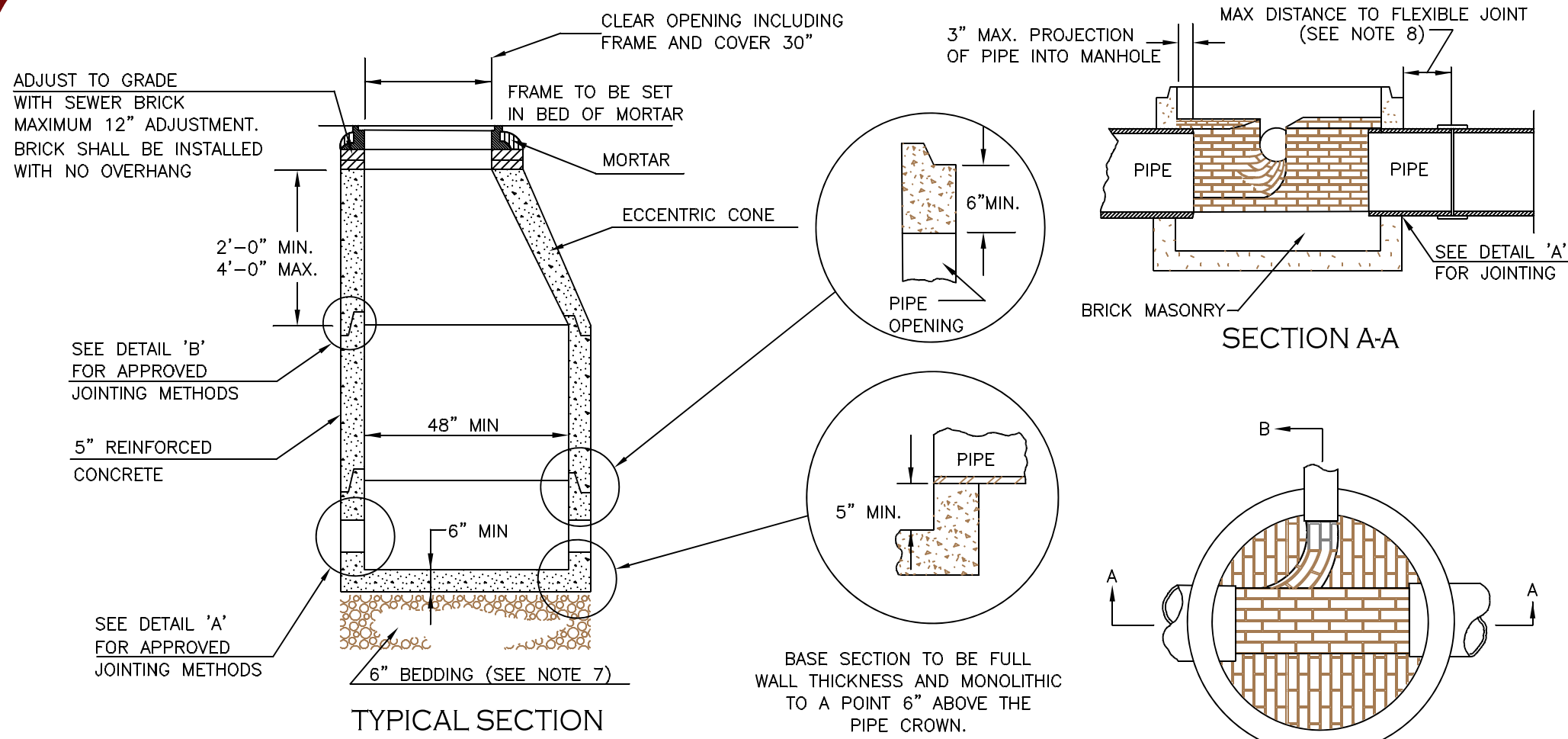
SCALE: NOT TO SCALE NOVEMBER 17, 2023

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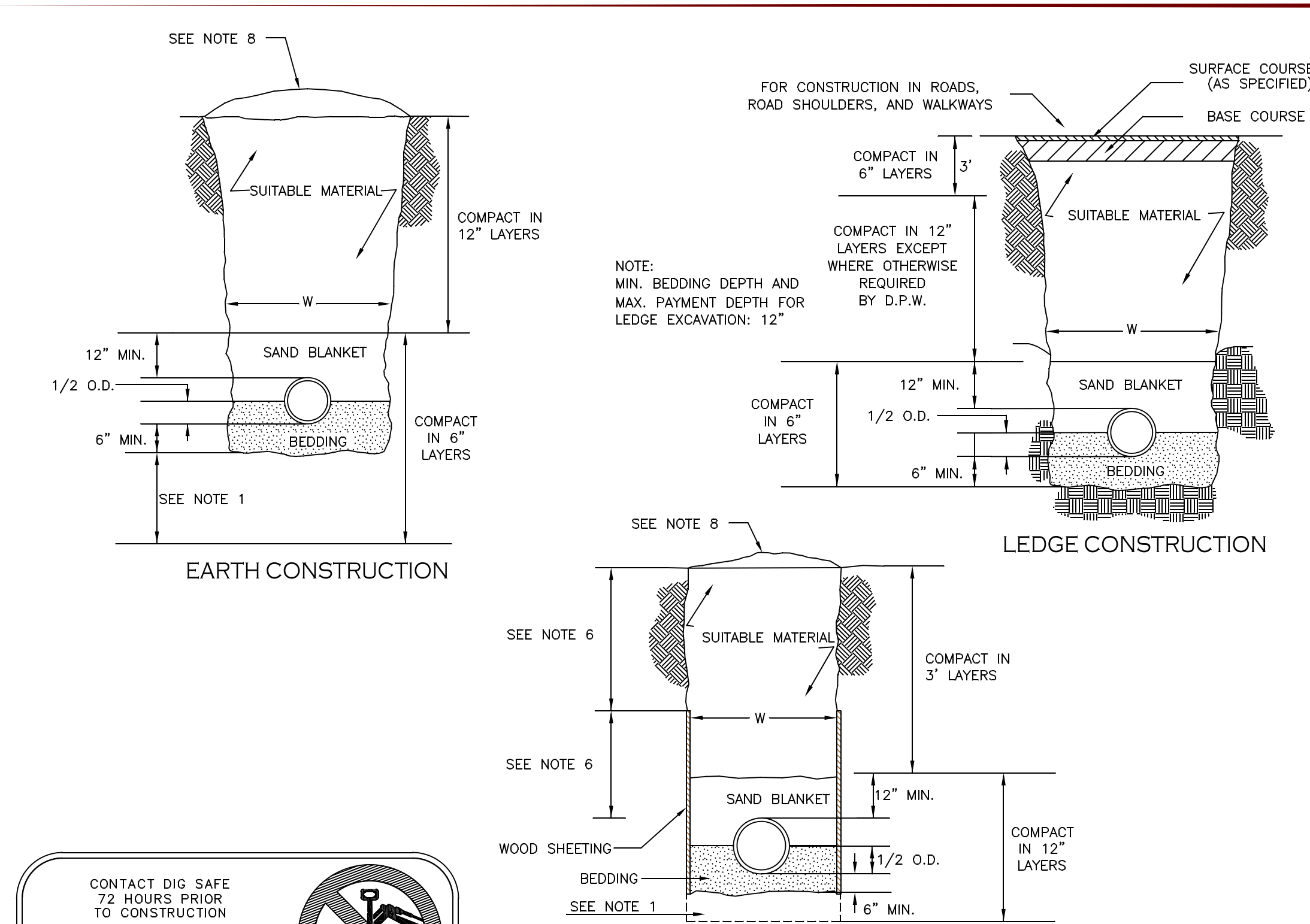
FILE: 3035DT00B.DWG PROJ. NO. 3035.00 SHEET: DT-3 PAGE NO. 11 OF 12



STANDARD MANHOLE - PART A

SCALE: N.T.S.

1 DT-4



STANDARD TRENCH SECTION

SCALE: N.T.S.

2 DT-4

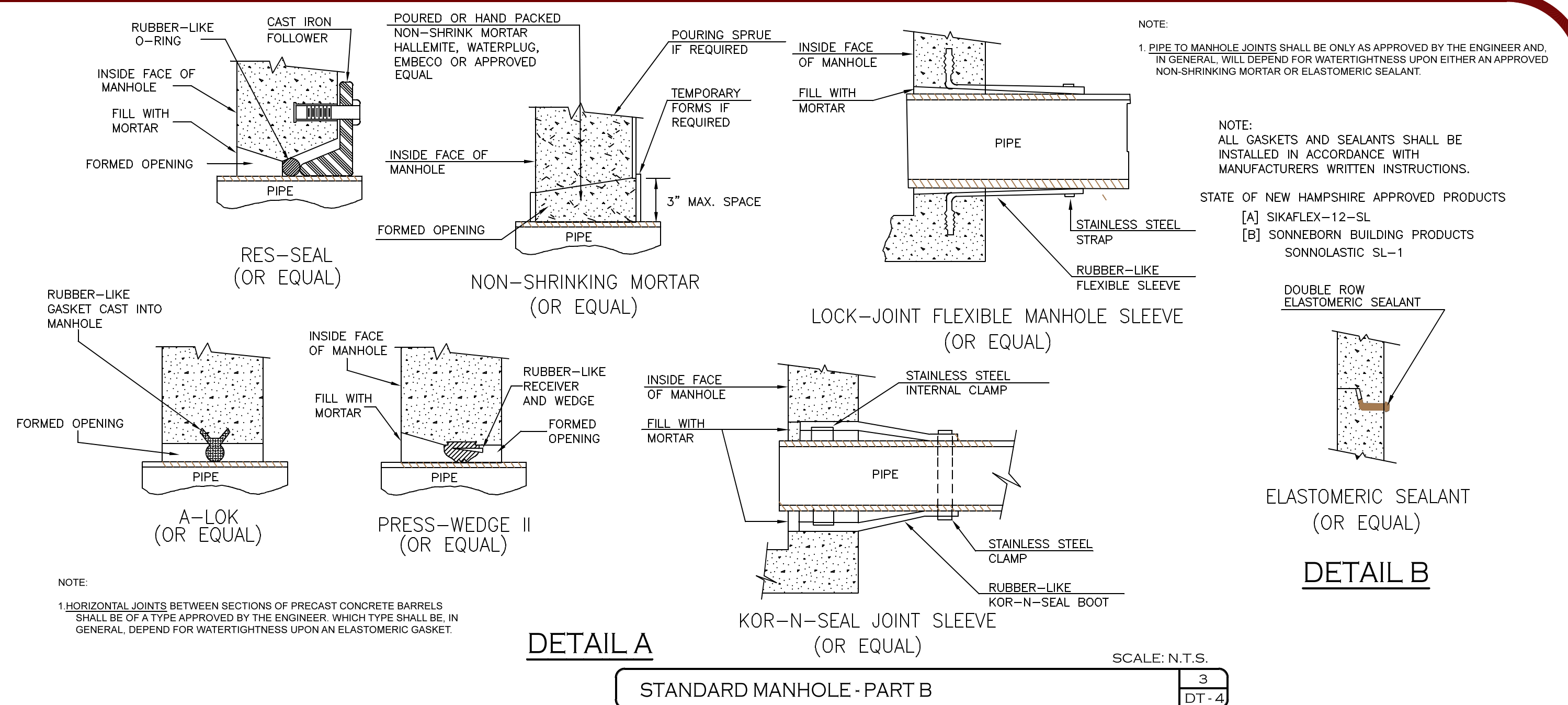
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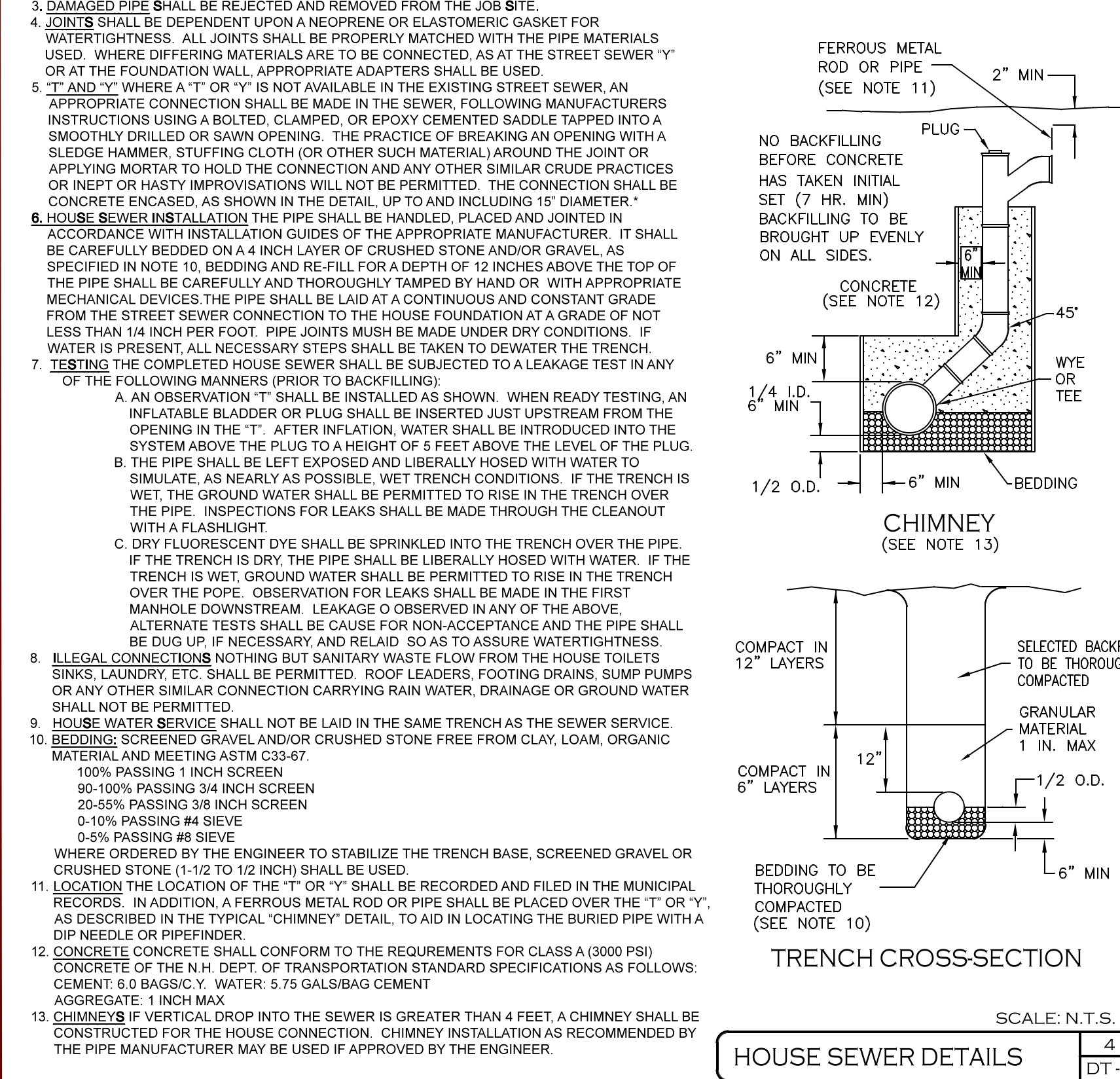
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- NOTES:
- IT IS INTENDED: THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWINGS. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT WITH ADEQUATE JOINTING PER ENR-WQ 704.10 (d). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 - BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
 - BASE SECTIONS SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
 - INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A48 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 3 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #57.
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-55% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/2 INCH SHALL BE USED.
 - FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
RCP & CI PIPE - ALL SIZES - 48"
PVC PIPE - UP THROUGH 15" DIAMETER - NO FLEXIBLE JOINT REQUIRED
 - SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE SEALED WITH A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH ENR-WQ 704.10 (f). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEFEND FOR WATERTIGHTNESS UPON AN MASTIC-LIKE OR ELASTOMERIC SEALANT.
 - PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEFEND FOR WATERTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
 - MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO ENR-WQ 704.10 (g) (8) THROUGH (14).
 - ALL SEWER CONSTRUCTION SHALL CONFORM TO SPECIFICATIONS DEFINED BY TOWN OF WILTON STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION. THESE STANDARD MANHOLE DRAWINGS ARE NOT COMPLETE WITHOUT THESE SPECIFICATIONS.

- NOTES:
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE, REFILL WITH BEDDING MATERIAL. (SEE ALSO NOTE 7).
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE #57
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-55% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE
 - SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 IS IN CONTACT WITH THE PIPE.
 - SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOPSOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT TO MAINTAIN THE COMPLETED CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP-SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE (AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY) WILL BE PRESERVED.
 - BASE COURSE: IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF N.H. DEPT. OF TRANSPORTATION.
 - WOOD SHEETING: IF REQUIRED, IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER. IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE THE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISH GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 - W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - CONCRETE: FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000#) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG OF CEMENT
MAXIMUM AGGREGATE SIZE: 1 INCH
NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.



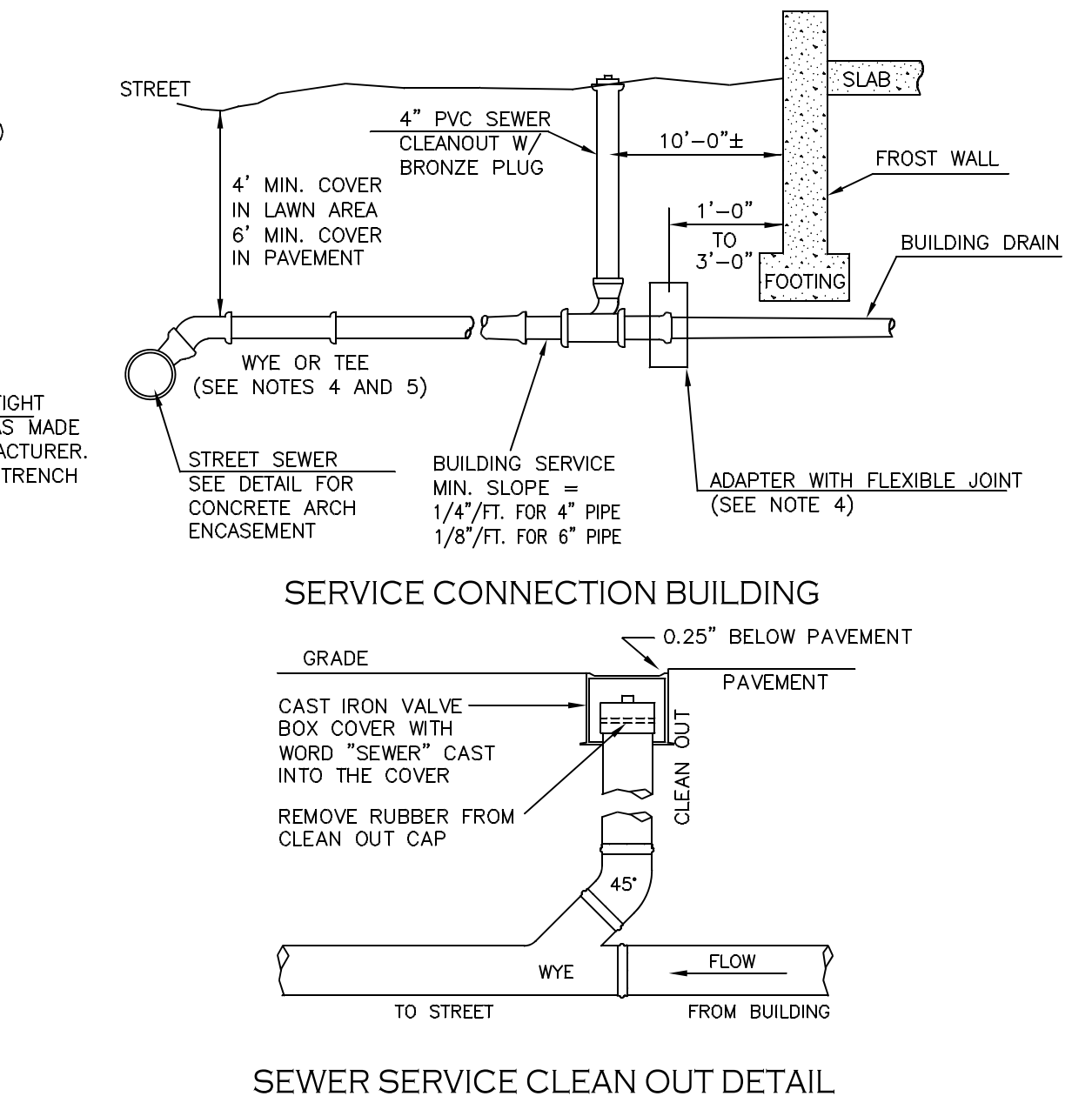
- NOTES:
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
 - PIPE AND JOINT MATERIALS
A. PLASTIC SEWER PIPE
1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
ASTM D3034 PVC (SOLID WALL)
F679 PVC (SOLID WALL)
F789 PVC (SOLID WALL)
F794 PVC (ROBBED WALL)
D2880 ABS (COMPOSITE WALL)
*PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
2. JOINTS SHALL BE SEALED WITH A RUBBER-LIKE GASKET OR ELASTOMERIC SEALANT. JOINTS SHALL BE PROPERLY MATED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
4. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATERTIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
5. "T" AND "Y" WHERE A "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO THE JOINT AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED, AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 15" DIAMETER.
6. HOUSE SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL, AS SPECIFIED IN NOTE 10, BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.
7. TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RELAID SO AS TO ASSURE WATERTIGHTNESS.
8. ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
9. HOUSE WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
10. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-67.
100% PASSING 1 INCH SCREEN
90-100% PASSING 3/4 INCH SCREEN
20-55% PASSING 3/8 INCH SCREEN
0-10% PASSING #4 SIEVE
0-5% PASSING #8 SIEVE
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/2 INCH SHALL BE USED.
11. LOCATION THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.
12. CONCRETE CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT: 6.0 BAGS/C.Y.
WATER: 5.75 GALS/BAG CEMENT
AGGREGATE: 1 INCH MAX
13. CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



HOUSE SEWER DETAILS

SCALE: N.T.S.

4 DT-4



C	REV.	DATE	DESCRIPTION	C/O	DR	CK
B	2/13/24		REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24		REV. PER TRG REVIEW COMMENTS		BLR	CEB
REV.	DATE		DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS

TAX MAP 114 LOT 8

(303 & 305 NORTH MAIN STREET)

ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:

PATRIOT HOLDINGS, LLC

4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103-4138

SCALE: NOT TO SCALE

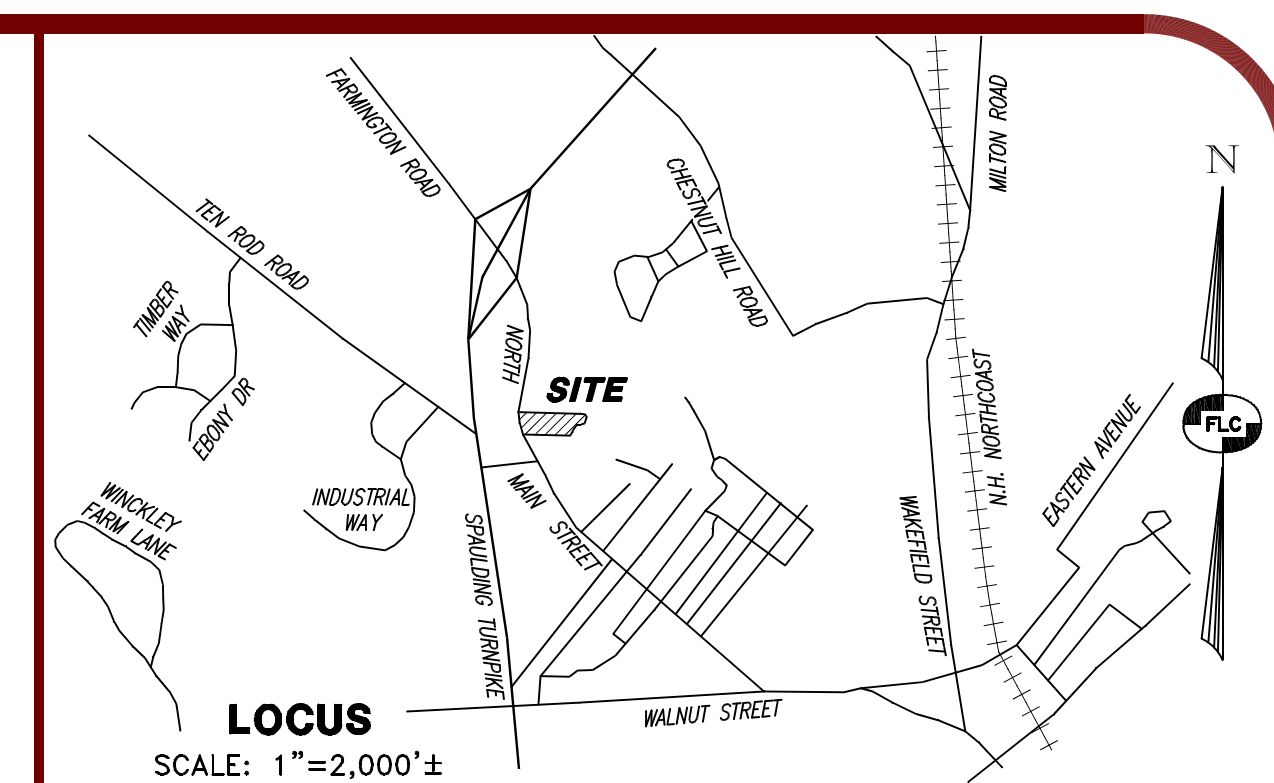
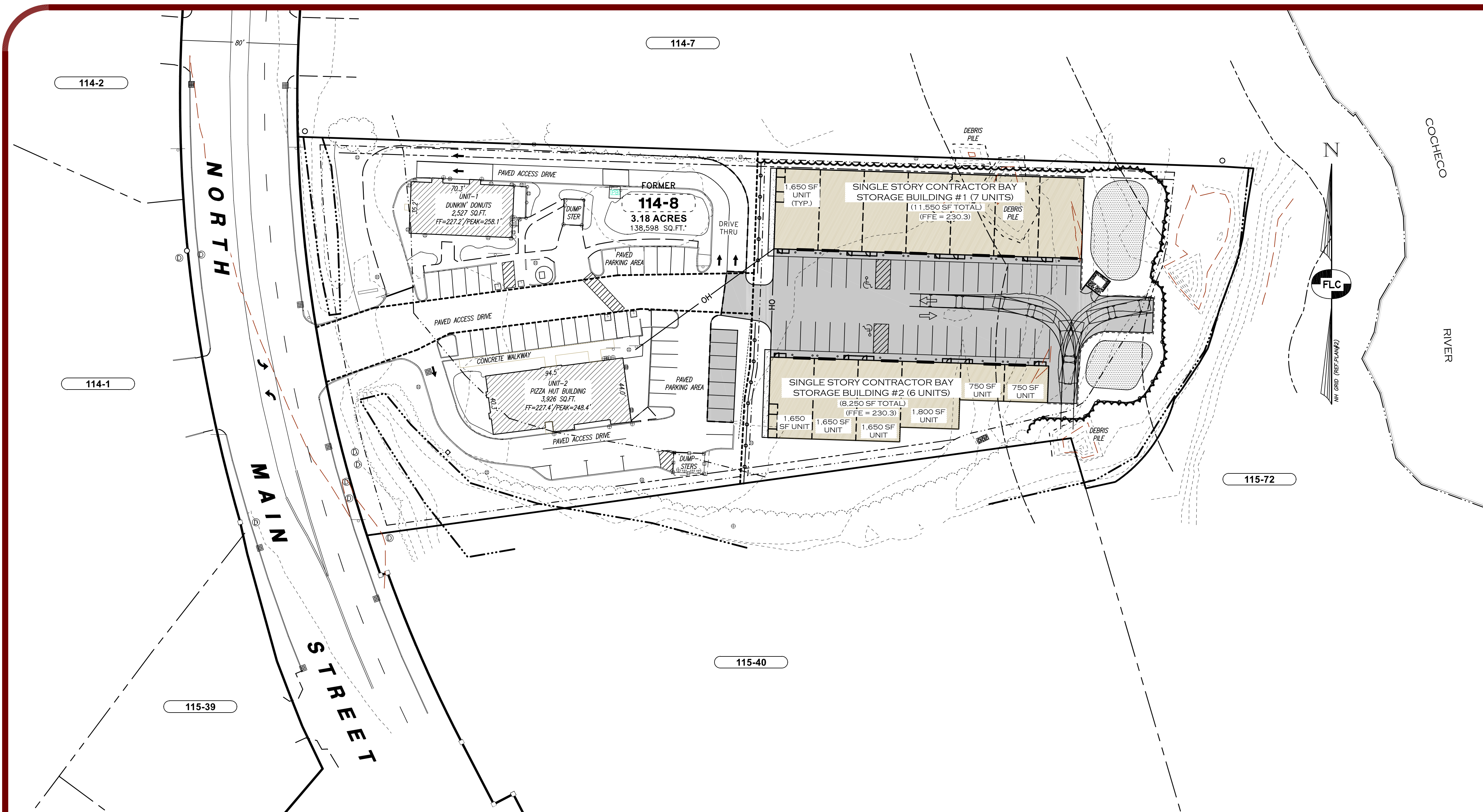
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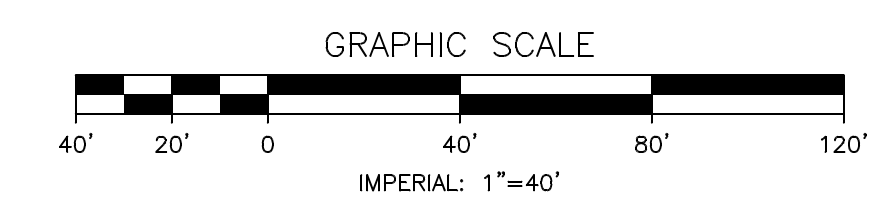
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NOTES:
1. FIRETRUCK BASED ON MODEL PROVIDED BY CITY OF ROCHESTER FIRE DEPARTMENT.

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - LIMITS OF COMMON AREA
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EDGE OF LANDSCAPING
 - EXISTING EASEMENT LINE
 - CURB LINE
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - ADDRESS ON NORTH MAIN STREET
 - EXISTING BUILDING
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CURBLINE (CAPE COD BERM)
 - TEMPORARY SILT FENCE
 - PARKING LINE
 - SAWCUT
 - 1 FT. CONTOUR
 - 2 FT. CONTOUR
 - 10 FT. CONTOUR
 - SPOT GRADE ELEVATION
 - SPOT ELEVATION AT CURB
 - STORM WATER DRAINAGE
 - DRAIN MANHOLE
 - SILT SOCK FOR ALL CATCH BASINS
 - SOIL TEST PIT
 - PROPOSED SANITARY SEWER
 - CULVERT W/ END SECTION & RIP-RAP
 - HYDRANT, GATE VALVE & WATER MAIN
 - G.V.
 - GAS LINE, PROPANE
 - ELECTRICAL TRANSFORMER & UNDERGROUND
 - POLE & BUILDING MOUNTED LIGHTS
 - SIGN
- PROPOSED FEATURES**
- ASPHALT PAVED AREA
 - STORMWATER BASIN
 - BUILDING
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - CONCRETE PAD/SIDEWALK
 - HANDICAP PARKING STALL
 - LIGHT POST



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	--	--	--	--	--
B	2/12/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR	CEB

FIRETRUCK TURNING EXHIBIT

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

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