

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: 2/13/2024

Property information

Tax map #: 114; Lot #(s): 8-3; Zoning district: Highway Commercial (HC)

Property address/location: 303 & 305 North Main Street, Rochester, New Hampshire 03866

Name of project (if applicable): _____

Property owner

Name (include name of individual): All Purpose Storage Rochester, LLC. C/O Jeremiah Boucher

Mailing address: 4007 Dean Martin Drive, Las Vegas, Nevada, 89103

Telephone #: 702-550-3808 Fax _____

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): Fieldstone Land Consultants, PLLC C/O Chad Brannon

Mailing address: 206 Elm Street, Milford, New Hampshire 03055

Telephone #: (603)-672-5456 Fax #: _____

Email address: CEBrannon@FieldstoneLandConsultants.com Professional license #: 12191

Proposed Project

Please describe the proposed project: The project will consist of the construction of two (2) contractor bay buildings,
associated parking, drainage improvements, and utility improvements.

Please describe the existing conditions: The front of the parcel (LCA 1 & 2) existing contained two (2) existing
restaurants. The rear (LCA 3) is vacant other than existing parking that was used for the existing restaurants.

Please fill in **one of the next two sections – for either Conditional Uses or Buffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

See attached letter.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

See attached letter.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

See attached letter.

(iv) Economic advantage is not the sole reason for the proposed location of work.

See attached letter.

(Buffer Reductions on next page)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, **or** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel **or** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

N/A

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

N/A

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

N/A

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

N/A

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

N/A

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: See attached LOA

Date: 2/12/2024

Signature of applicant/developer: See attached LOA

Date: 2/12/2024

Signature of agent: 

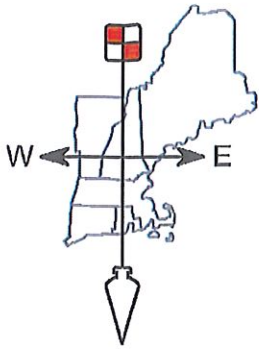
Date: 2/12/2024

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: See attached LOA

Date: 2/12/2024



FIELDSTONE

LAND CONSULTANTS, PLLC

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

October 4, 2021

RE: Patriot Holdings, LLC
303 & 305 North Main Street - Rochester, NH
Tax Map 114 Lot 8

To Whom It May Concern:

The undersigned hereby authorizes Patriot Holdings, LLC and Fieldstone Land Consultants, PLLC to act as their agents in filing and seeking the necessary local, state and federal approvals for the above referenced project.

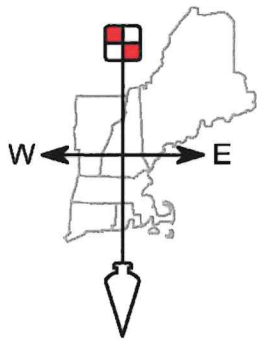
Very truly yours,

Owner:

Signature: _____

Print: Jeremiah Boucher
(Managing Member)

Date 7/05/22



FIELDSTONE

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

CONDITIONAL USE PERMIT CRITERIA

Tax Map Parcel 114-8-3
303 & 305 North Main Street

February 13, 2024

Prepared For:
All Purpose Storage Rochester, LLC.

The project is located at 303 and 305 North Main Street, and is known as Tax Map Parcel 114-8-3 on the Town of Raymonds Assessor's map. The applicant is proposing to construct two (2) contractor bay facilities with associated site improvements such as drainage, parking, and utilities. The site will be serviced by municipal sewer, water, and electric/communication services.

The numbered items below correlate to the requirements set forth in the City of Rochester Conditional Use Permit Application (in accordance with subsection 42.19 (i) (1) (A)).

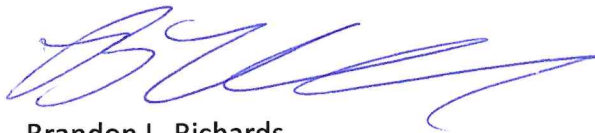
1. The proposed construction is essential to the productive use of land not in the COD:
The proposed construction within the COD is essential to the productive use of land not in the COD. The construction to take place in the COD will consist of the construction of stormwater management practices which will provide the treatment of the stormwater runoff resulting from the property. A small portion of pavement for the firetruck turnaround will lie within the COD, this is necessary to provide an adequate turning movement for the City of Rochester Fire Department.
2. Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use:
Proper erosion and sedimentation control measures shall be installed prior to construction to minimize the potential of any impacts upon wetlands. The site shall be restored in accordance to Conservation Overlay District Permitted Uses. Any areas that are to be cleared will be restored using New England Erosion Control & Restoration Mix from New England Wetland Plants, Inc. Wetlands are to be delineated/flagged by a certified soil scientist so that new lawns may be established beyond 25ft from the edge of the wetlands.
3. There is no feasible alternative route on land controlled by the applicant that does not cross the COD nor has less detrimental impact on the wetlands. Nothing in this section shall limit the applicant from exploring alternatives with abutting property owners.
To provide adequate turning for the City of Rochester Fire Department it is necessary for the proposed turnaround to enter the COD. The proposed rain gardens are sized to provide as much detention as possible for the property, because of this it is necessary for the southernmost rain garden to extend into the COD.

Autumn Trail Realty, LLC.
N.H. Route 27 – Raymond N.H.
Conditional Use Permit Application

Page 2 of 4

4. Economic advantage is not the sole reason for the proposed location of work.
The reasoning for the proposed location of work within the COD is not for economic advantage. The reasoning for the impacts is to provide adequate turning for the city of Rochester Fire Department in the event of an emergency and providing adequate access to the site, as well as providing the most detention possible while treating as much stormwater runoff possible prior to stormwater being released into the existing wetlands.

This information was prepared by:
Fieldstone Land Consultants, PLLC



Brandon L. Richards.
Project Engineer