

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: 2/13/2024

Property information

Tax map #: 114; Lot #(s): 8-3; Zoning district: Highway Commercial (HC)

Property address/location: 303 & 305 North Main Street, Rochester, New Hampshire 03866

Name of project (if applicable): _____

Property owner

Name (include name of individual): All Purpose Storage Rochester, LLC. C/O Jeremiah Boucher

Mailing address: 4007 Dean Martin Drive, Las Vegas, Nevada, 89103

Telephone #: 702-550-3808 Fax _____

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): Fieldstone Land Consultants, PLLC C/O Chad Brannon

Mailing address: 206 Elm Street, Milford, New Hampshire 03055

Telephone #: (603)-672-5456 Fax #: _____

Email address: CEBrannon@FieldstoneLandConsultants.com Professional license #: 12191

Proposed Project

Please describe the proposed project: The project will consist of the construction of two (2) contractor bay buildings,
associated parking, drainage improvements, and utility improvements.

Please describe the existing conditions: The front of the parcel (LCA 1 & 2) existing contained two (2) existing
restaurants. The rear (LCA 3) is vacant other than existing parking that was used for the existing restaurants.

Please fill in **one of the next two sections – for either Conditional Uses or Buffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

See attached letter.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

See attached letter.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

See attached letter.

(iv) Economic advantage is not the sole reason for the proposed location of work.

See attached letter.

(Buffer Reductions on next page)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, **or** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel **or** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

N/A

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

N/A

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

N/A

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

N/A

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

N/A

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: See attached LOA

Date: 2/12/2024

Signature of applicant/developer: See attached LOA

Date: 2/12/2024

Signature of agent: 

Date: 2/12/2024

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: See attached LOA

Date: 2/12/2024

Conservation Commission Recommendation:

Name of project

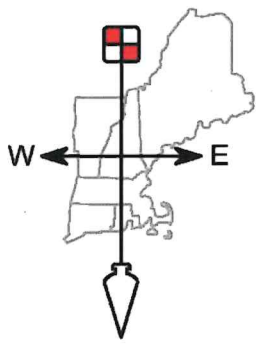
Recommendation:

- Comments/recommended conditions:

Conservation Commission

Planning Department

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[revised 4/2/2015]



FIELDSTONE

LAND CONSULTANTS, PLLC

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

CONDITIONAL USE PERMIT CRITERIA

Tax Map Parcel 114-8-3
303 & 305 North Main Street

February 13, 2024

Las Revised: March 12, 2024

Prepared For:
All Purpose Storage Rochester, LLC.

The project is located at 303 and 305 North Main Street, and is known as Tax Map Parcel 114-8-3 on the City of Rochester Assessor's map. The applicant is proposing to construct two (2) contractor bay facilities with associated site improvements such as drainage, parking, and utilities. The site will be serviced by municipal sewer, water, and electric/communication services.

The numbered items below correlate to the requirements set forth in the City of Rochester Conditional Use Permit Application (in accordance with subsection 275-12.9(A)(2) of the City of Rochester Zoning Ordinance). The Conditional Use Permit Application being submitted is for 639± S.F. of disturbance within the 50ft Wetland Buffer.

- I. The proposed construction is essential to the productive use of land not in the Conservation Overlay District (COD):
The proposed construction within the COD is essential to the productive use of land not in the COD. The construction to take place in the COD will consist of the construction of stormwater management practices which will provide the treatment of the stormwater runoff resulting from the property. Along with minor grading from the proposed stormwater practice within the COD, there will be impacts from grading for the outlet structure located within the southern COD buffer. This impact is necessary to properly outlet stormwater from the proposed stormwater management areas.
- II. Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use:
Proper erosion and sedimentation control measures shall be installed prior to construction to minimize the potential of any impacts upon wetlands. The site shall be restored in accordance to Conservation Overlay District Permitted Uses. Any areas that are to be cleared will be restored using New England Erosion Control & Restoration Mix from New England Wetland Plants, Inc. Wetlands are to be delineated/flagged by a certified soil scientist so that new lawns may be established beyond 25ft from the edge of the wetlands.

All Purpose Storage Rochester, LLC. Tax Map Parcel 114-8
303 & 305 North Main Street – Rochester N.H.
Conditional Use Permit Application

Page 2 of 2

- III. There is no feasible alternative route on land controlled by the applicant that does not cross the COD nor has less detrimental impact on the wetlands. Nothing in this section shall limit the applicant from exploring alternatives with abutting property owners.

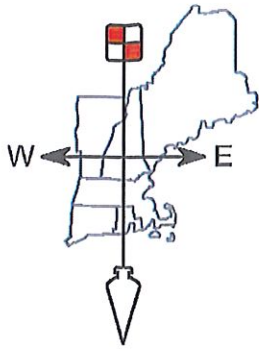
All impacts to the COD buffer have been mitigated as much as possible. Some grading and riprap from the stormwater management area (Rain Garden) as well as outlet structure (FES-1) remains within the COD buffer. The grading from the stormwater management area is required in order to provide adequate treatment for the proposed site as well as mitigate runoff rates to minimize downstream impacts. The impact resulting from the stormwater outlet structure is necessary as this is the only location on-site that has the elevation necessary to outlet stormwater.

- IV. Economic advantage is not the sole reason for the proposed location of work.
The reasoning for the proposed location of work within the COD is not for economic advantage. The reasoning for the impacts is to provide adequate stormwater treatment and rate control as well as being able to provide a location for the stormwater management areas to outlet on-site.

This information was prepared by:
Fieldstone Land Consultants, PLLC



Brandon L. Richards.
Project Engineer



FIELDSTONE

LAND CONSULTANTS, PLLC

Surveying ♦ Engineering
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456
www.FieldstoneLandConsultants.com

October 4, 2021

RE: Patriot Holdings, LLC
303 & 305 North Main Street - Rochester, NH
Tax Map 114 Lot 8

To Whom It May Concern:

The undersigned hereby authorizes Patriot Holdings, LLC and Fieldstone Land Consultants, PLLC to act as their agents in filing and seeking the necessary local, state and federal approvals for the above referenced project.

Very truly yours,

Owner:

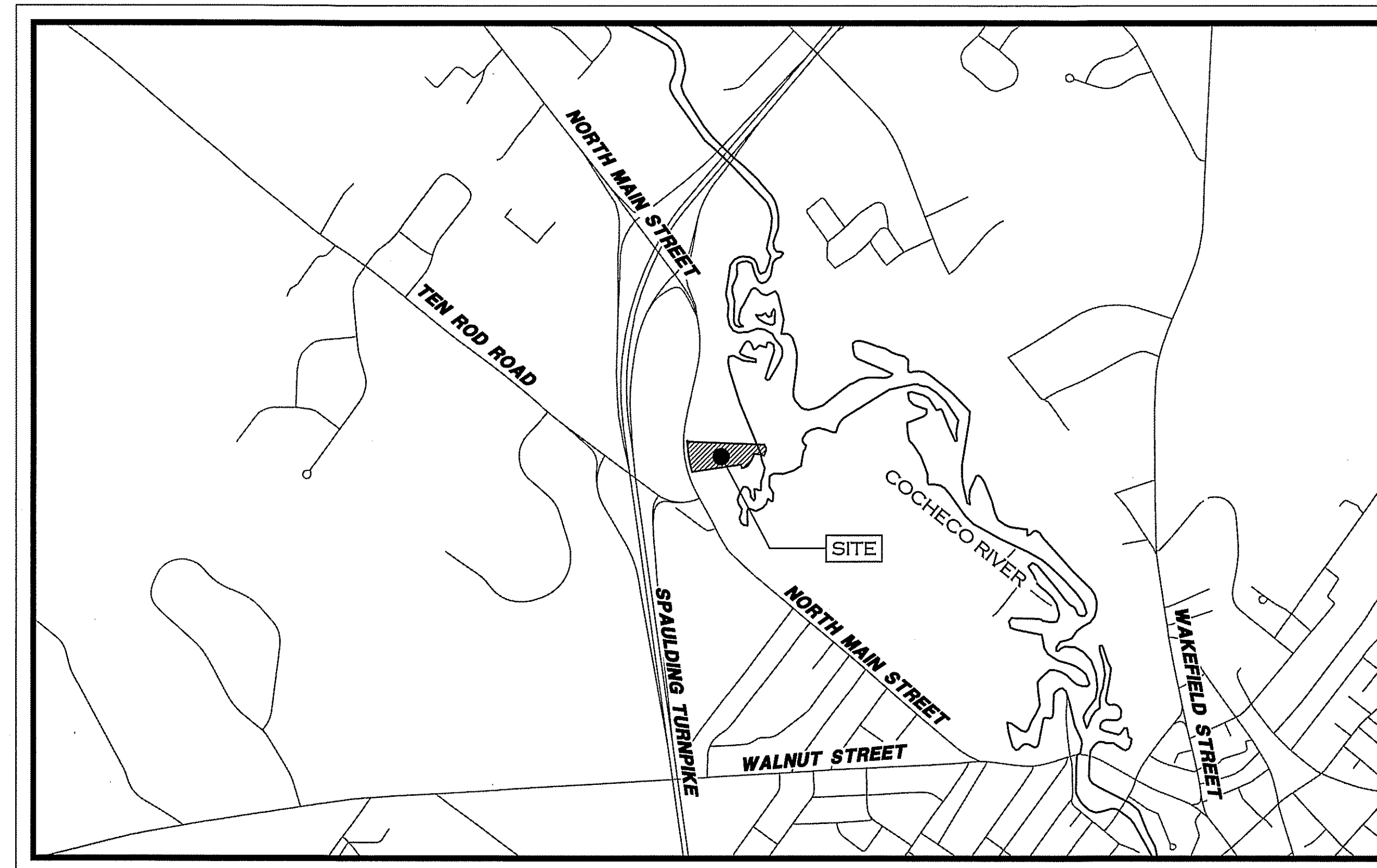
Signature: 

Print: Jeremiah Boucher Date 7/05/22
(Managing Member)

SITE DEVELOPMENT PLANS
- TAX MAP 114, LOT 8 -
LIGHT INDUSTRIAL / FACILITY

(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

NOVEMBER 17, 2023
LAST REVISED: MARCH 12, 2024



SCALE: 1"=1,000'

PREPARED FOR:
PATRIOT HOLDINGS LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE
ROCHESTER, LLC.
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SHEET INDEX		
PAGE	SHEET	TITLE
1	CV-1	COVER SHEET
2	EX-1	EXISTING CONDITIONS PLAN (ALTA)
3	SP-1	SITE PLAN
4	GR-1	GRADING & DRAINAGE PLAN
5	EC-1	EROSION & SEDIMENTATION CONTROL PLAN
6	UT-1	UTILITY PLAN
7	LT-1	LIGHTING PLAN
8	LS-1	LANDSCAPING PLAN
9	DT-1	EROSION CONTROL DETAILS
10	DT-2	CONSTRUCTION DETAILS
11	DT-3	CONSTRUCTION DETAILS
12	DT-4	CONSTRUCTION DETAILS (SEWER)

ARCHITECTURAL SHEET INDEX		
PAGE	SHEET	TITLE
1	A1	ARCHITECTURAL ELEVATIONS
2	A2	ARCHITECTURAL ELEVATIONS
3	EH-1	TURNING EXHIBIT

OWNER'S SIGNATURE: _____ DATE: _____

APPROVED BY THE ROCHESTER PLANNING BOARD	
ON: _____	CERTIFIED BY THE
CHAIRPERSON: _____	AND BY
THE DIRECTOR OF PLANNING _____	

1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.

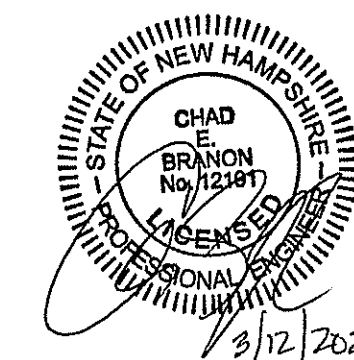
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
KNOW WHAT'S BELOW

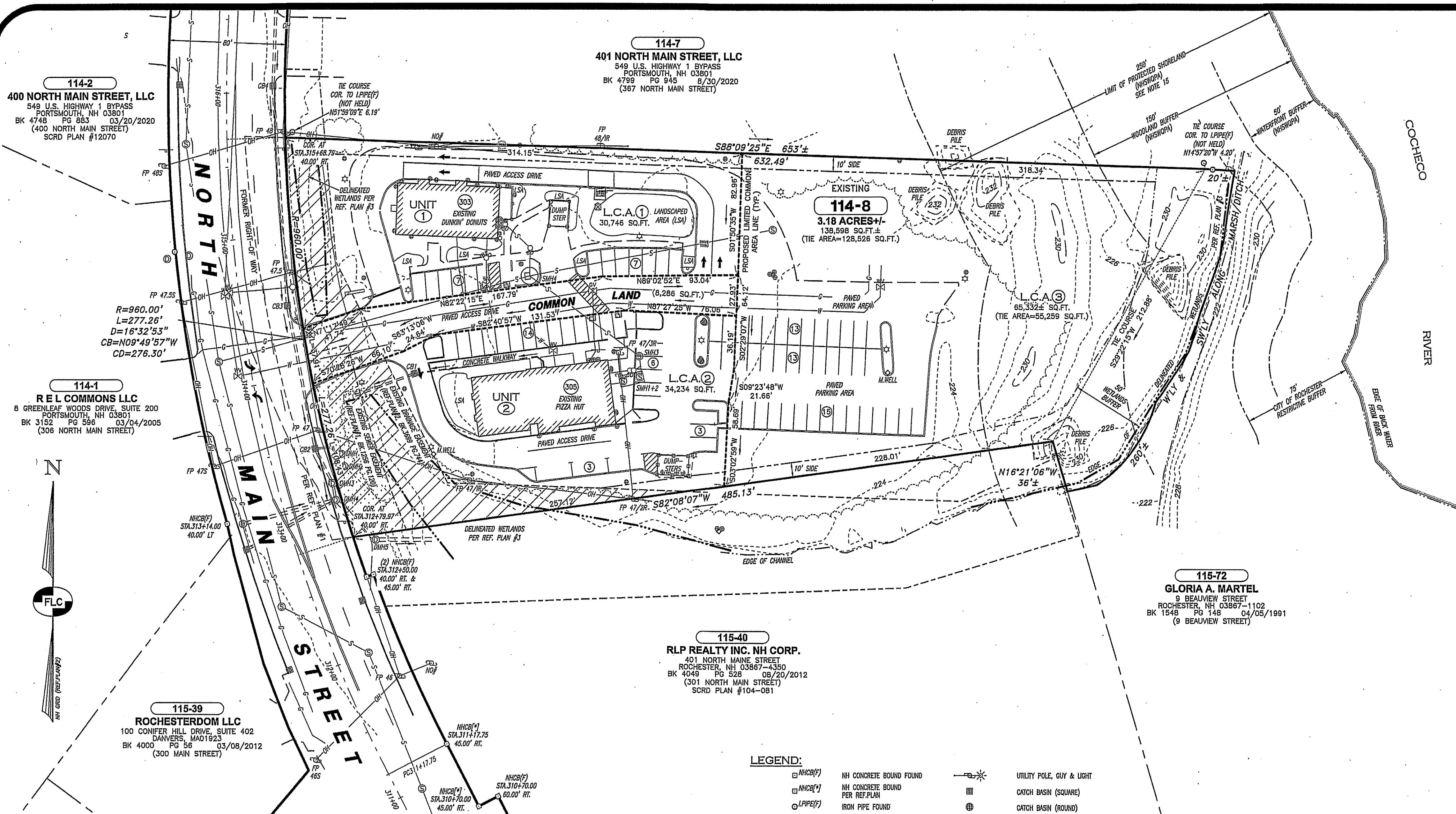
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C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK
FILE:3035CV00C.DWG PROJ. NO. 3035.00 SHEET: CV-1 PAGE NO. 1 OF 12					

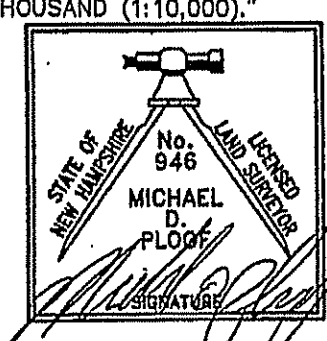


<p>114-2 400 NORTH MAIN STREET, LLC 549 U.S. HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801 BK 4748 PG 883 03/20/2020 (400 NORTH MAIN STREET) SCRD PLAN #12070</p>	<p>114-1 REL COMMONS LLC 8 GREENLEAF WOODS DRIVE, SUITE 200 PORTSMOUTH, NH 03801 BK 3152 PG 596 03/04/2005 (308 NORTH MAIN STREET)</p>	<p>115-39 ROCHESTERDOM LLC 100 CONIFER HILL DRIVE, SUITE 402 DANVERS, MA 01923 BK 4000 PG 56 03/08/2012 (300 MAIN STREET)</p>	<p>114-7 401 NORTH MAIN STREET, LLC 549 U.S. HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801 BK 4799 PG 945 8/20/2020 (367 NORTH MAIN STREET)</p>	<p>115-40 RLP REALTY INC. NH CORP. 401 NORTH MAIN STREET ROCHESTER, NH 03867-4350 BK 4049 PG 528 08/20/2012 (301 NORTH MAIN STREET) SCRD PLAN #104-081</p>	<p>115-72 GLORIA A. MARTEL 9 BEAUVUE STREET ROCHESTER, NH 03867-1102 BK 1548 PG 148 04/05/1991 (9 BEAUVUE STREET)</p>
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CERTIFICATION:

"I HEREBY CERTIFY THAT THE BOUNDARY INFORMATION AND THE EXISTING CONDITIONS SHOWN WERE DEVELOPED FROM THE REFERENCE PLANS CITED HEREON AND FROM A FIELD SURVEY PERFORMED BY FIELDSTONE LAND CONSULTANTS, PLLC DURING THE MONTH OF AUGUST 2021 THAT HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000)."

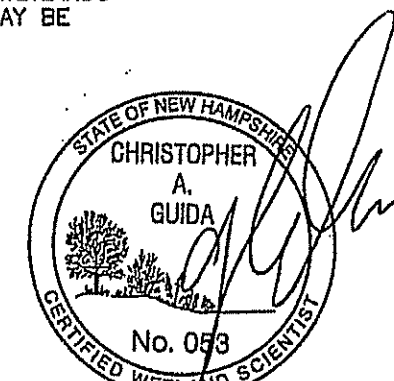
DATE: 1/12/24



CERTIFICATION:

JURISDICTIONAL WETLANDS SHOWN HEREON WERE DEVELOPED FROM REFERENCE PLAN #5. PORTIONS OF ON-SITE WETLANDS ARE PART OF EXISTING DRAINAGE EASEMENTS AND MAY BE SUBJECT TO ASSOCIATED MAINTENANCE ACTIVITIES.

DATE: 1/12/24

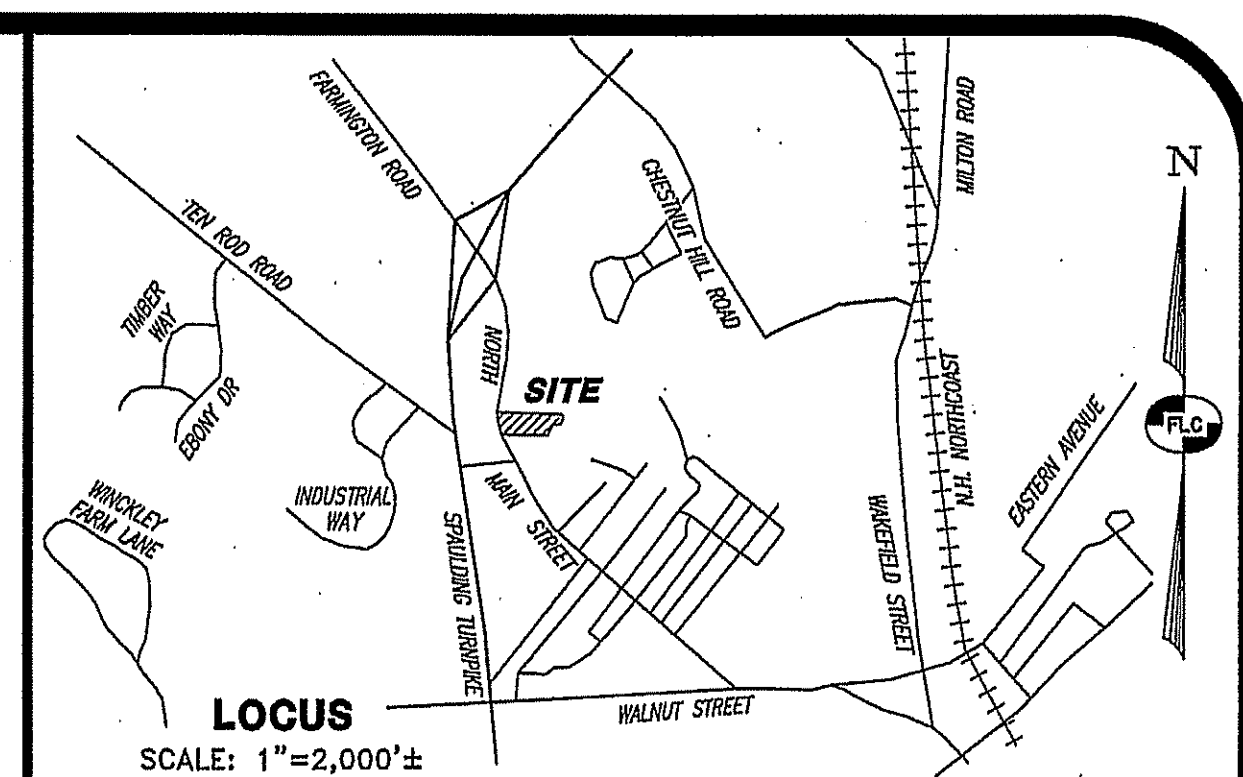
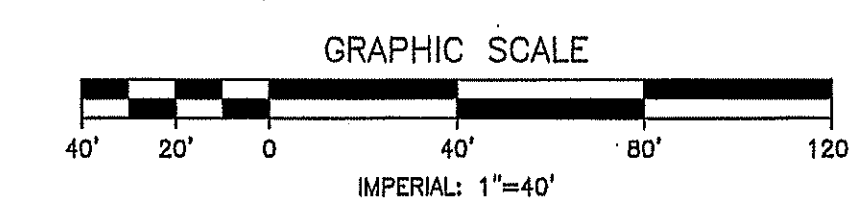


LEGEND:

<p>— NHCB(F) — NH CONCRETE BOUND FOUND</p> <p>— NHCB(F) — NH CONCRETE BOUND PER REF-PLAN</p> <p>— LPIPE(F) — IRON PIPE FOUND</p> <p>— RIGHT-OF-WAY LINE</p> <p>— BOUNDARY LINE</p> <p>— ABUTTING LOT LINE</p> <p>— BUILDING SETBACK LINE</p> <p>— EDGE OF PAVED ROAD</p> <p>— EDGE OF GRAVEL ROAD</p> <p>— CURB LINE</p> <p>— EDGE OF TREE LINE</p> <p>— EDGE OF WETLANDS</p> <p>— WETLANDS BUFFER LINE</p> <p>— EXISTING EASEMENT LINE</p> <p>— 230 — 10' CONTOUR INTERVAL</p> <p>— 228 — 2' CONTOUR INTERVAL</p> <p>— CHAIN-LINK FENCE</p> <p>— STOCKADE FENCE</p> <p>— TIE COURSE LINE</p> <p>— FORMER TRACT LINE</p> <p>— CULVERT OR DRAIN LINE</p> <p>— S — SEWER LINE</p> <p>— OH — OVERHEAD UTILITY LINE</p> <p>— U/G — UNDERGROUND UTILITY LINE</p> <p>— G — GAS LINE</p> <p>— W — WATER LINE</p> <p>— 114-8 — TAX MAP & LOT NUMBER</p>	<p>— UTILITY POLE, GUY & LIGHT</p> <p>— CATCH BASIN (SQUARE)</p> <p>— CATCH BASIN (ROUND)</p> <p>— DRAIN MAN-HOLE</p> <p>— SEWER MAN-HOLE</p> <p>— SEWER CLEAN-OUT</p> <p>— SEWER COVER</p> <p>— WATER HYDRANT</p> <p>— WATER VALVE</p> <p>— WATER SHUT-OFF</p> <p>— GAS VALVE</p> <p>— ELECTRICAL PULLBOX</p> <p>— IRRIGATION CONTROL BOX</p> <p>— LIGHT POST</p> <p>— SINGLE SIGN POST</p> <p>— BOLLARD</p> <p>— LANDFILL GAS VENT</p> <p>— MONITORING WELL</p> <p>— HANDICAPPED PARKING</p> <p>— ORNAMENTAL TREES</p> <p>— LANDSCAPED AREA</p> <p>— EXISTING DRAINAGE EASEMENT (REF-PLAN#2) (BK.3699 PG.744)</p> <p>— EXISTING SEWER EASEMENT (REF-PLAN #1) (BK.1256 PG.120)</p>
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REFERENCE PLANS:

- "PLAN OF LAND - FOR J. PEIRCE TRUST, MEREDITH PEIRCE, TRUSTEE AND WILLIAM "CHIP" ALBEE - NEW HAMPSHIRE ROUTE 11 - ROCHESTER, NEW HAMPSHIRE - TAX MAP #114 LOT 8" - SCALE: 1"=40', DATED: MARCH, 2001, PREPARED BY: LAND TECHNICAL SERVICE CORPORATION AND RECORDED IN THE S.C.R.D. AS PLAN #64-21.
- "STATE OF NEW HAMPSHIRE - DEPARTMENT OF TRANSPORTATION-BUREAU OF HIGHWAY DESIGN - FARMINGTON ROAD - RIGHT-OF-WAY PLAN - COUNTY OF: STRAFFORD - CITY OF: ROCHESTER - STATE PROJECT NO.: 10620-D", SHEETS 1, 2, 3 & 11, SCALE 1"=20', DATE OF FINAL CHECK: JANUARY 11, 2011, BY CLOUGH HARBOUR & ASSOCIATED LLP & VERMONT SURVEY AND ENGINEERING, RECORDED IN THE S.C.R.D. AS PLANS 101-045, 101-046, 101-047 & 101-055.
- "DEVELOPMENT PLANS FOR MULTI-TENANT COMMERCIAL DEVELOPMENT - ROCHESTER, NEW HAMPSHIRE - 303 NORTH MAIN STREET" - SCALE: 1"=30', DATED APRIL, 2003, PREPARED BY: GORRILL-PALMER CONSULTING ENGINEERS, INC.
- "CONDOMINIUM SITE PLAN - TAX MAP 114 LOT 8 - (303 & 305 NORTH MAIN STREET) - ROCHESTER, NEW HAMPSHIRE - PREPARED FOR: PATRIOT HOLDINGS, LLC - LAND OF: ALL PURPOSE STORAGE ROCHESTER LLC, SCALE 1"=40', DATED NOVEMBER 3, 2021 AND LAST REVISED JULY 5, 2022, BY FIELDSTONE LAND CONSULTANTS, PLLC.



NOTES:

- THE OWNER OF RECORD FOR TAX MAP 114 LOT 8 IS ALL PURPOSE STORAGE ROCHESTER LLC, 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103. THE DEED REFERENCE FOR THE PARCEL IS BK.4865 PG.155 DATED SEPTEMBER 14, 2021 IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR CONDOMINIUM UNIT 3 OF EXISTING TAX MAP 114 LOT 8, PLANNED FOR FUTURE DEVELOPMENT.
- THE TOTAL AREA OF TAX MAP 114 LOT 8 IS 3.18± ACRES, OR 138,598± SQ. FT. WITH 277.26 FT. OF FRONTAGE ALONG NORTH MAIN STREET (AKA FARMINGTON ROAD).
- THE LIMITED COMMON AREA OF CONDOMINIUM UNIT 3 IS 65,332± SQ. FT. (TIE AREA = 55,259 SQ. FT.). CONDOMINIUM UNIT 3 HAS THE BENEFIT OF 8,286 SQ. FT. OF COMMON LAND PROVIDING A PAVED ACCESS DRIVEWAY.
- ZONING FOR THE ENTIRE PARCEL IS (HC) - HIGHWAY COMMERCIAL DISTRICT - MINIMUM LOT SIZE = 20,000 SQ. FT. MINIMUM FRONTAGE REQUIREMENT = 100 FT. FRONT SETBACKS=20 FT. SIDE SETBACKS=10 FT. REAR SETBACKS=25 FT.
- HORIZONTAL ORIENTATION IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM (REFERENCE PLAN #2). VERTICAL DATUM IS NAVD83, BASED ON FIELD GPS OBSERVATIONS THAT WERE UPLOADED TO AND CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE (OPUS).
- THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE THE RESULT OF AN ON-SITE SURVEY PERFORMED BY THIS OFFICE. THE BOUNDARY INFORMATION WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE SURVEY PERFORMED BY THIS OFFICE IN AUGUST 2021.
- A PORTION OF TAX MAP 114 LOT 8 LIES WITHIN THE CONSERVATION PROTECTION OVERLAY DISTRICT - A 50 FT. BUFFER EXISTS FROM DELINEATED WETLANDS AND A 75 FT. BUFFER EXISTS FROM COCHECO RIVER.
- WETLAND LOCATIONS SHOWN ARE PER REFERENCE PLAN #3.
- SOUTHERLY AND EASTERLY PORTIONS OF TAX MAP LOT 114-8 LIE WITHIN THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD PER FEMA FIRM PANEL NUMBER 33017C0203D, DATED MAY 17, 2005 FOR THE CITY OF ROCHESTER, COMMUNITY NUMBER 330150.
- TAX MAP LOT 114-8 LIES WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT PER THE CITY OF ROCHESTER GIS AQUIFER MAP.
- TAX MAP LOT 114-8 IS SUBJECT TO A CROSS EASEMENT AGREEMENT (BK. 3502 PG.156 01/26/17). THE SITE IS ALSO SUBJECT TO A SEWER EASEMENT TO THE CITY OF ROCHESTER (BK.1256 PG.120 07/02/86) AND A DRAINAGE EASEMENT TO N.H.D.O.T. (BK.3699 PG.744 12/15/08).
- CONDOMINIUM UNIT 1 CURRENTLY HAS AN EXISTING "DUNKIN' DONUTS" RESTAURANT ON IT. EXISTING CONDOMINIUM UNIT 2 CURRENTLY HAS AN EXISTING "PIZZA HUT" RESTAURANT ON IT. CONDOMINIUM LOT 3 IS CURRENTLY VACANT.
- ALL UNITS ARE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND NATURAL GAS UTILITIES. THEY ARE ALSO SERVICED BY MUNICIPAL SEWER AND WATER.
- PARCEL IS SUBJECT TO THE SHORELAND WATER QUALITY PROTECTION ACT (RSA 483-B) AND ITS ASSOCIATED RULES, ENV-WQ 1400.

A	1/10/24	ADD ADDITIONAL TOPO	CDP	JGL	MDP
REV.	DATE	DESCRIPTION	C/O	DR	CK

EXISTING CONDITIONS PLAN
TAX MAP 114 LOT 8 - CONDOMINIUM UNIT 3
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

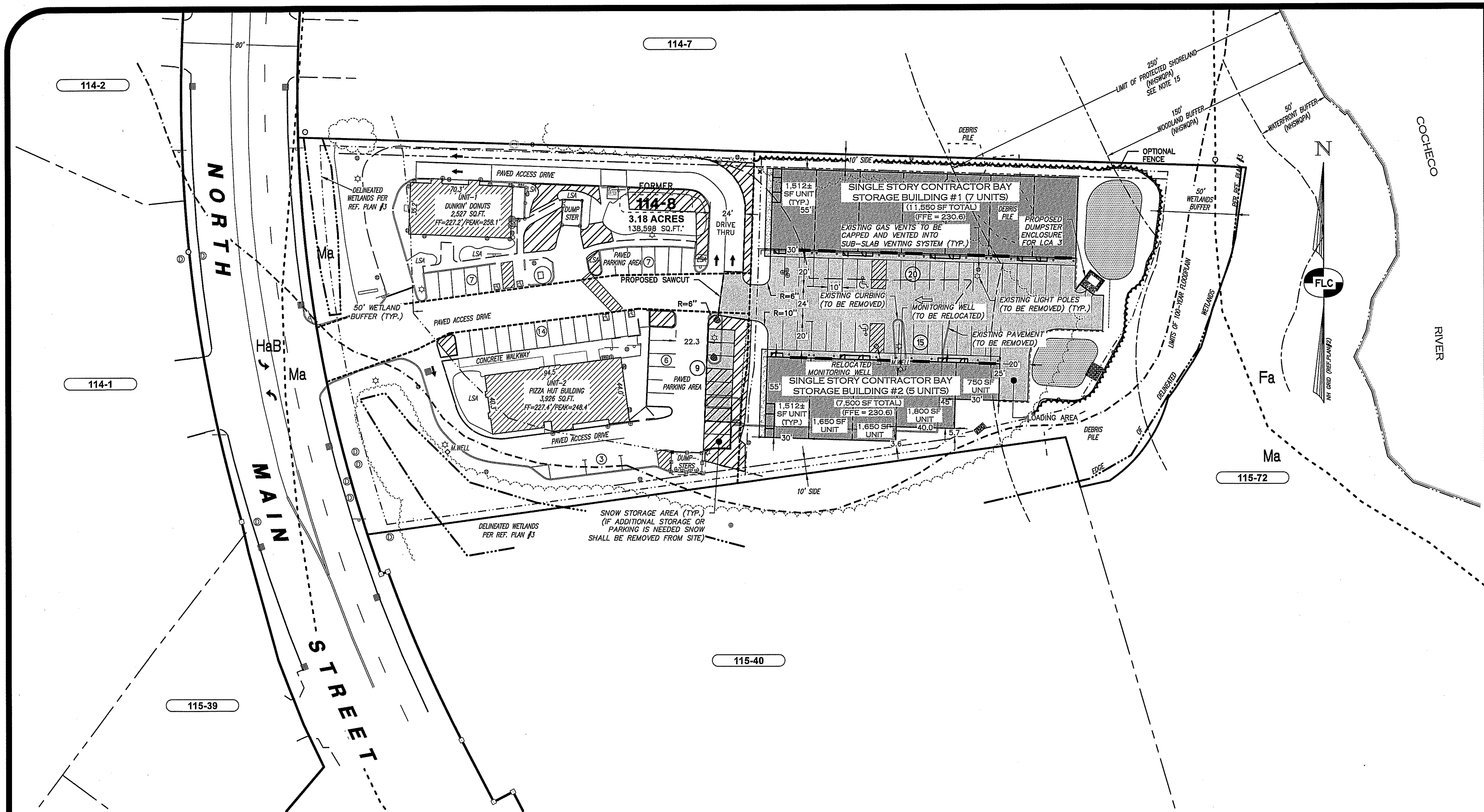
LAND OF:
ALL PURPOSE STORAGE ROCHESTER LLC
 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

Surveying + Engineering + Land Planning + Permitting + Septic Designs

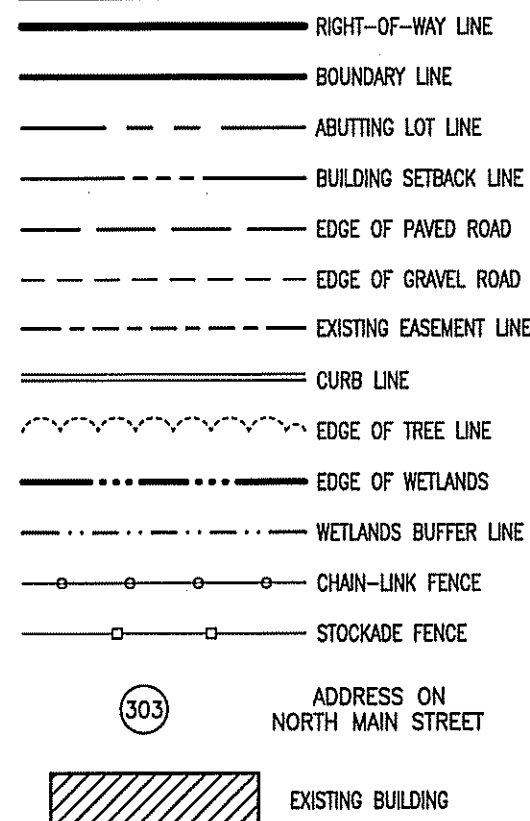
FIELDSTONE LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

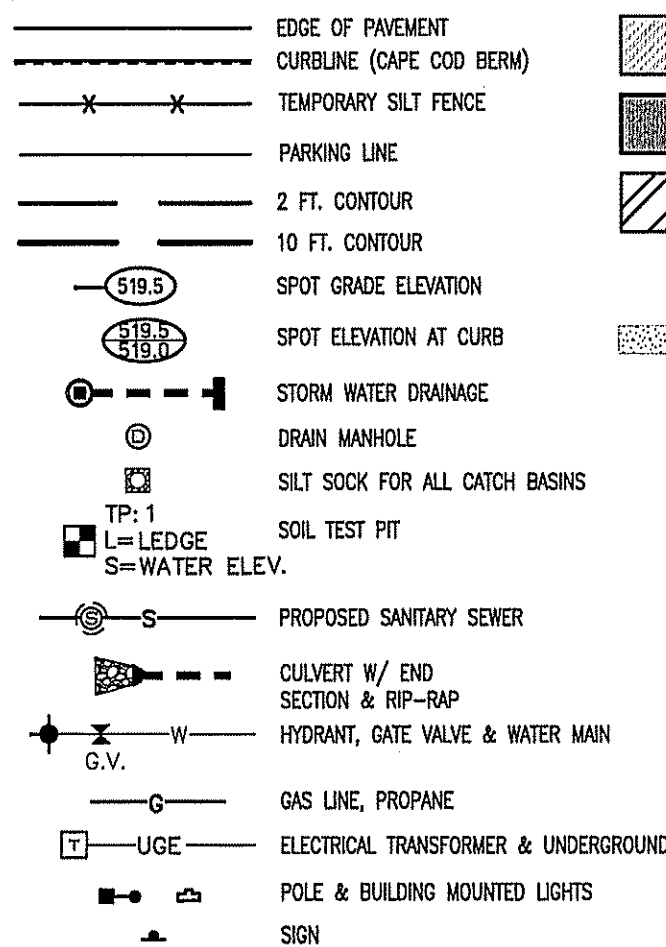


LEGEND:

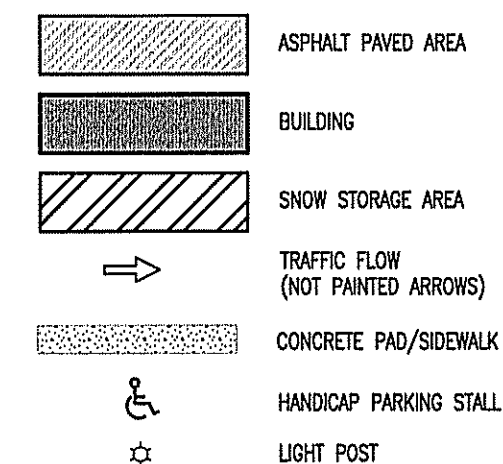
EXISTING FEATURES



PROPOSED FEATURES



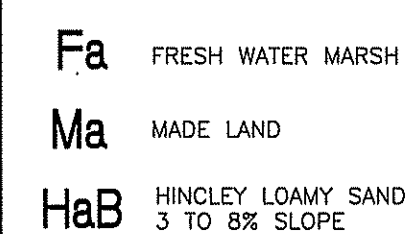
PROPOSED FEATURES



NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

----- SOIL BOUNDARY



REFERENCE PLANS:

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- "DEVELOPMENT PLANS FOR MULTI-TENANT COMMERCIAL DEVELOPMENT - ROCHESTER, NEW HAMPSHIRE - 303 NORTH MAIN STREET" - SCALE: 1"=30', DATED APRIL, 2003, PREPARED BY: GORRILL-PALMER CONSULTING ENGINEERS, INC.

NOTES CONTINUED

14. SNOW STORAGE CALCULATION:

1 SQUARE FOOT OF SNOW STORAGE PER 5 TO 10 SQ. FT. OF AREA TO BE CLEARED

COMMON AREA:

8,251 S.Q. FT. TO BE CLEARED = 825 S.Q. FT. OF SNOW STORAGE

LCA #1

14,253 S.Q. FT. TO BE CLEARED = 1,425 S.Q. FT. OF SNOW STORAGE

LCA #2

16,250 S.Q. FT. TO BE CLEARED = 1,625 S.Q. FT. OF SNOW STORAGE

LCA #3

14,481 S.Q. FT. TO BE CLEARED = 1,448 S.Q. FT. OF SNOW STORAGE

TOTAL REQUIRED:

5,323 S.Q. FT. OF REQUIRED SNOW STORAGE (MIN.)

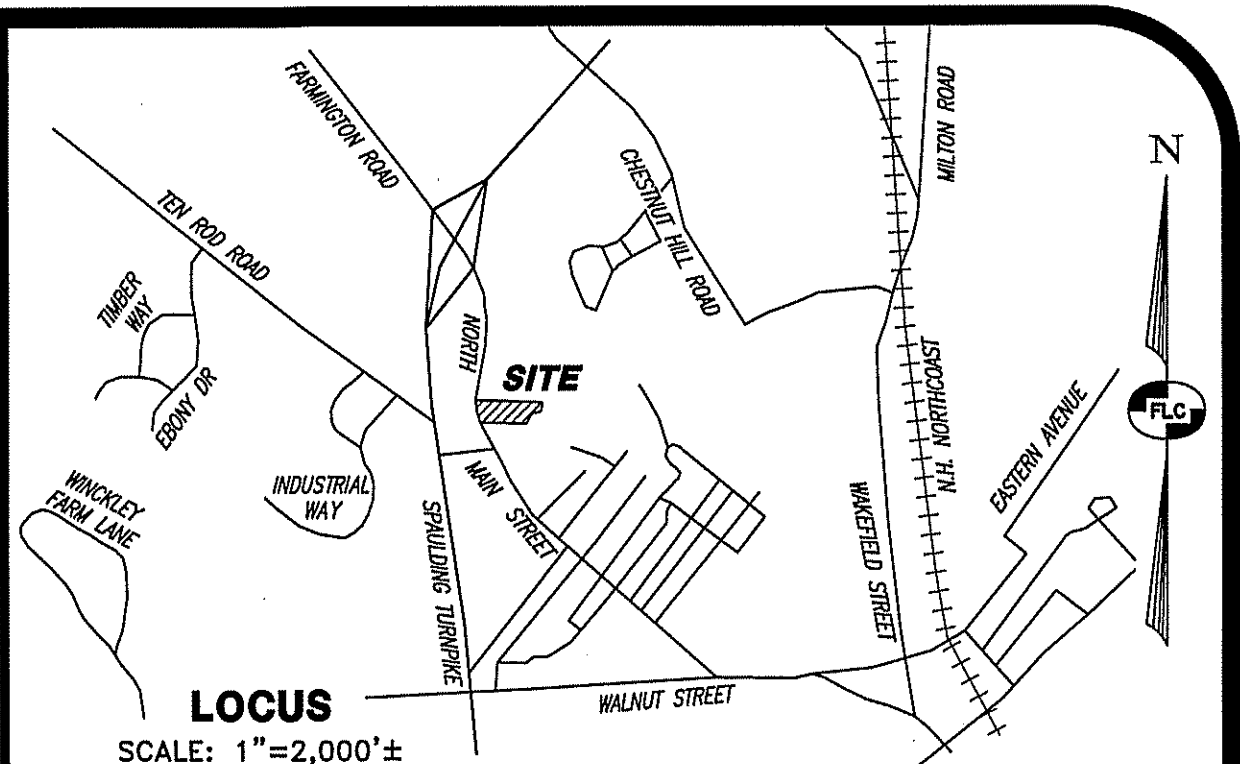
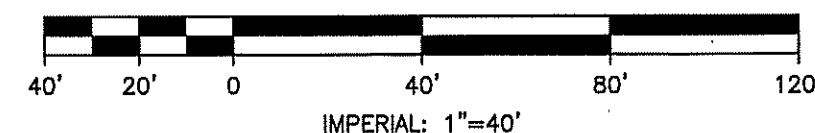
PROVIDED:

5,472± S.Q. FT. OF SNOW STORAGE PROVIDED.

IF ADDITIONAL SNOW STORAGE OR PARKING NEEDED THEN SNOW SHALL BE REMOVED FROM SITE.

- FERTILIZERS SHOULD NOT BE APPLIED WITHIN 50FT. OF WETLAND OR WITHIN THE 100-YEAR AND 500-YEAR FLOODPLAINS. NO FERTILIZER SHOULD BE APPLIED TO LCA #3 RESPECTIVELY.
- PERMANENT MARKERS WILL BE REQUIRED AT THE 25FT WETLAND BUFFER.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, FLAGS WILL NEED TO IDENTIFY THE BOUNDARY OF THE WETLANDS, AS WELL AS THE 25FT AND 50FT WETLAND BUFFER.
- NO OUTDOOR STORAGE IS ALLOWED.
- A KNOX BOX IS TO BE INSTALLED TO PROVIDE ACCESS TO THE PROPOSED BUILDING FOR EMERGENCY SERVICES.

GRAPHIC SCALE



NOTES:

- THE OWNER OF RECORD FOR TAX MAP 114 LOT 8 IS ALL PURPOSE STORAGE ROCHESTER LLC, 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103. THE DEED REFERENCE FOR THE PARCEL IS BK.4955 PG.155 DATED SEPTEMBER 14, 2021 IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO DEPICT A SITE PLAN WITH A CONTRACTOR BAY DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS ON EXISTING TAX MAP 114 LOT 8.
- THE TOTAL AREA OF TAX MAP 114 LOT 8 IS 3.18± ACRES, OR 138,598± SQ.FT. WITH 277.26 FT. OF FRONTAGE ALONG NORTH MAIN STREET (AKA FARMINGTON ROAD)
- ZONING FOR THE ENTIRE PARCEL IS (HC) - HIGHWAY COMMERCIAL DISTRICT - MINIMUM LOT SIZE = 20,000 SQ.FT. MINIMUM FRONTAGE REQUIREMENT= 100 FT. FRONT SETBACKS=20 FT. SIDE SETBACKS=10 FT. REAR SETBACKS=25 FT. THE LOT IS ALSO SUBJECT TO THE REGULATIONS OF THE CONSERVATION PROTECTION OVERLAY DISTRICT AND THE AQUIFER PROTECTION OVERLAY DISTRICT.
- THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE THE RESULT OF AN ON-SITE SURVEY PERFORMED BY THIS OFFICE. THE BOUNDARY INFORMATION WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE SURVEY PERFORMED BY THIS OFFICE IN AUGUST 2021.
- WETLAND LOCATIONS SHOWN ARE PER REFERENCE PLAN #3.
- SOUTHERLY AND EASTERLY PORTIONS OF TAX MAP LOT 114-B LIE WITHIN THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD PER FEMA FIRM PANEL NUMBER 33017C0203D, DATED MAY 17, 2005 FOR THE CITY OF ROCHESTER, COMMUNITY NUMBER 330150.
- PARKING CALCULATION:
INDUSTRIAL - LIGHT REQUIRED:
1 SPACE/1,000 S.F. OF G.F.A. PLUS 3 SPACES/1,000 S.F. FOR AREA DEDICATED TO OFFICES OR RETAIL SALES.
ASSUMED 22 S.F. OF OFFICE SPACE PER UNIT
20 PARKING SPACES REQUIRED
TOTAL PROVIDED:
35 PARKING SPACES (INCLUDING 2 ADA SPACES)
- ALL MONITORING WELLS AND GAS VENTS THAT ARE TO BE IMPACTED SHALL BE RELOCATED AS NECESSARY.
- ALL STRUCTURES (CURBING, PAVEMENT, ROCKS, LIGHT POLES, ETC) THAT ARE TO BE IMPACTED SHALL BE REMOVED.
- THE EXISTING FREESTANDING SIGN SHALL REMAIN AS IS. THE SIGN IS LIGHTED BY GROUND MOUNTED LIGHTS WHICH ALSO SHALL REMAIN. ANY FUTURE SIGNS OR MODIFICATIONS TO THE EXISTING SIGN MUST BE IN COMPLIANCE WITH THE ROCHESTER ZONING ORDINANCE.
- CERTIFIED GREEN SNOW PRO APPLICATORS SHALL BE USED FOR SALT APPLICATION ON-SITE.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN PLEASE CONTACT FIELDSTONE LAND CONSULTANTS, PLLC.

C	3/12/24	REV. PER TRG III REVIEW COMMENTS	BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

SITE PLAN

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

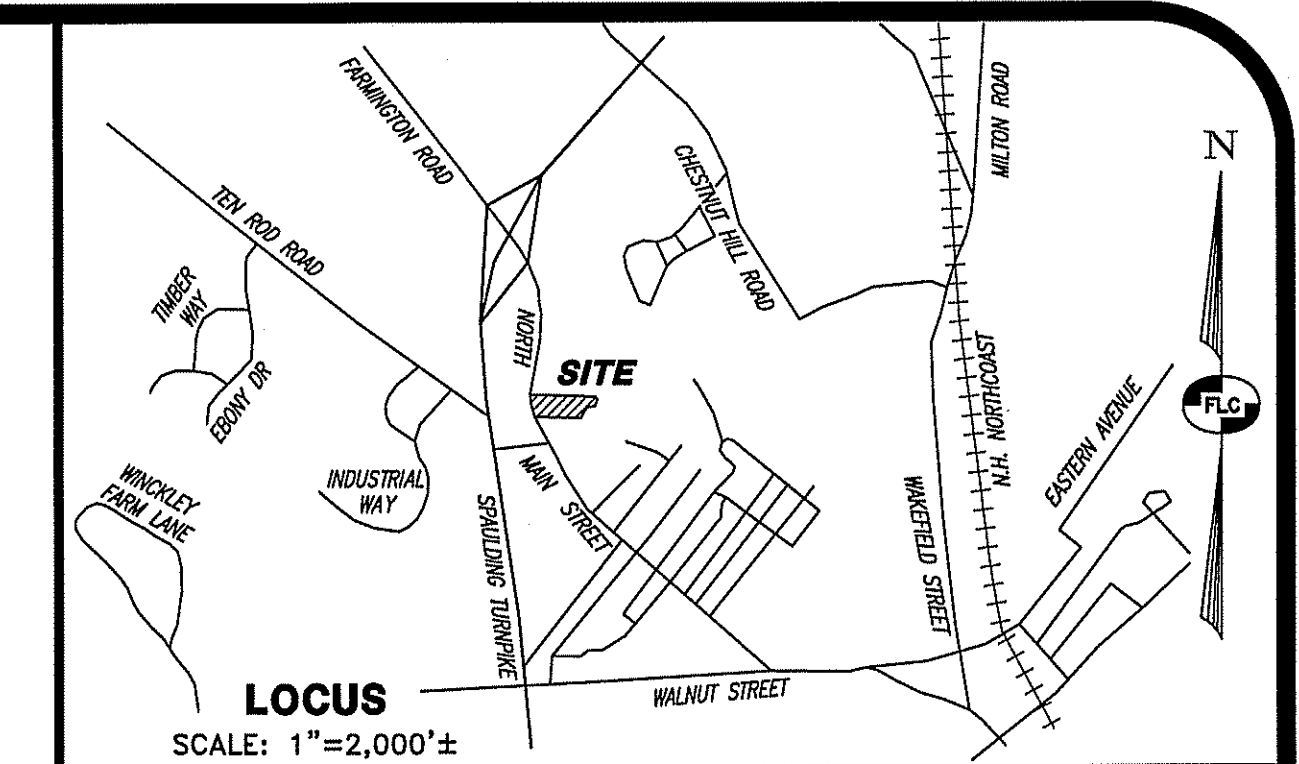
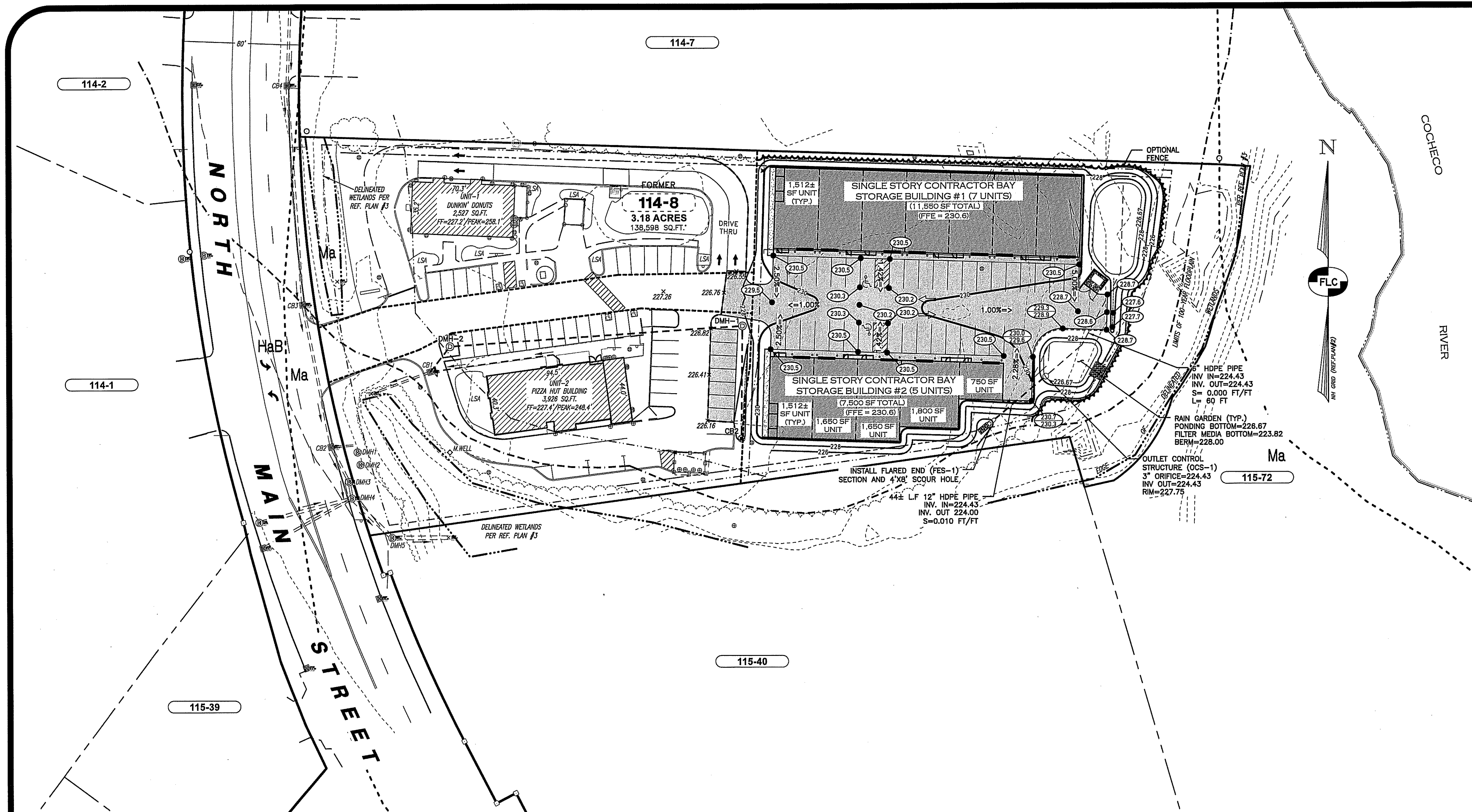
LAND OF:
**ALL PURPOSE STORAGE
ROCHESTER LLC**
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

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206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



- CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF ROCHESTER AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF ROCHESTER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF ROCHESTER FIRE DEPARTMENT REGULATIONS
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ENTIRE ROOF AREA SHALL BE CAPTURED BY GUTTERS AND DRAINED INTO THE PROPOSED RAIN GARDEN.
 11. THE SITE IS EXPECTED TO REQUIRE ROUGHLY 3,500 C.Y. OF FILL.

REV.	DATE	DESCRIPTION	C/O	DR	CK
C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
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A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR	CEB

GRADING & DRAINAGE PLAN

**TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE**

**PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103**

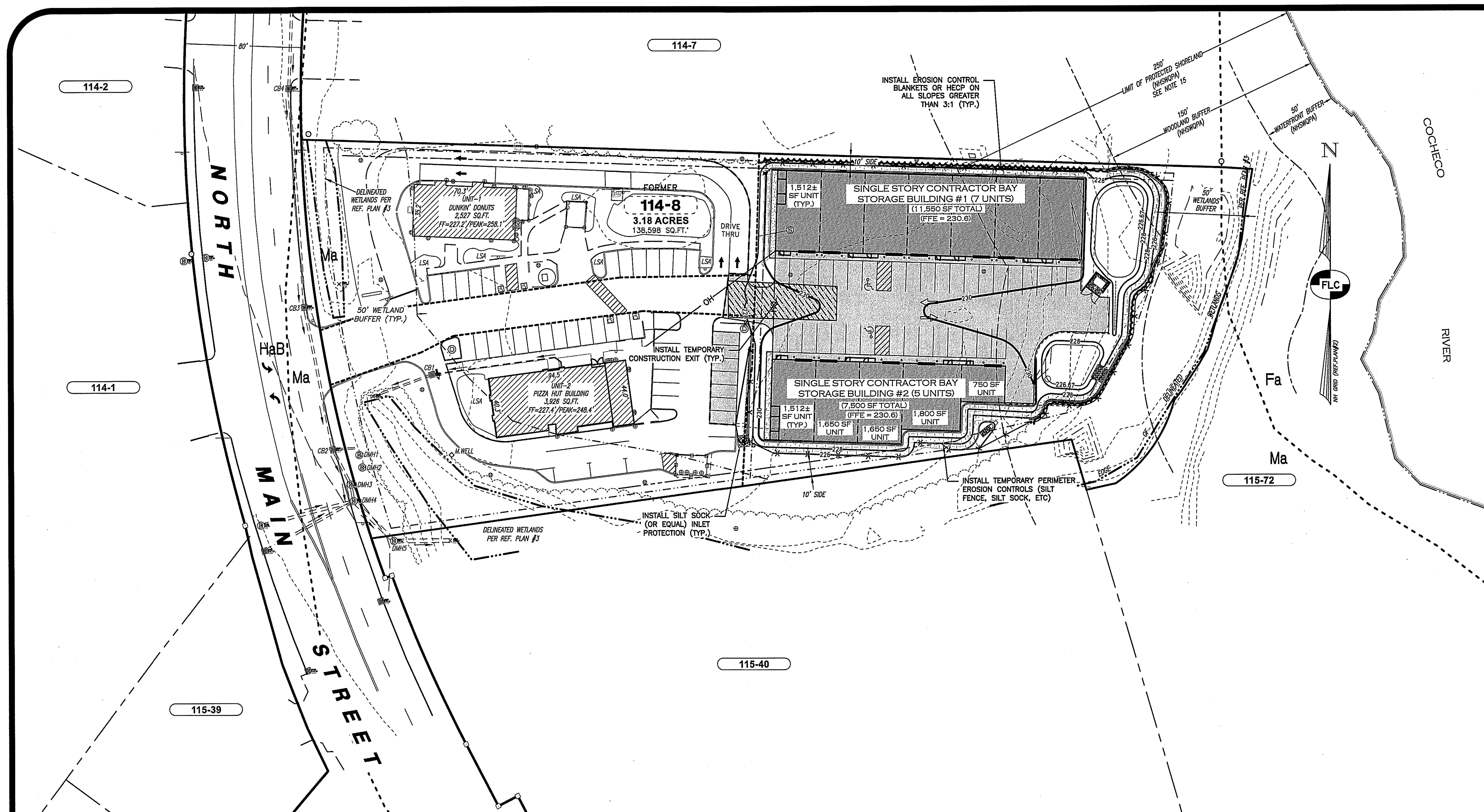
**LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103**

SCALE: 1"=40' NOVEMBER 17, 2023

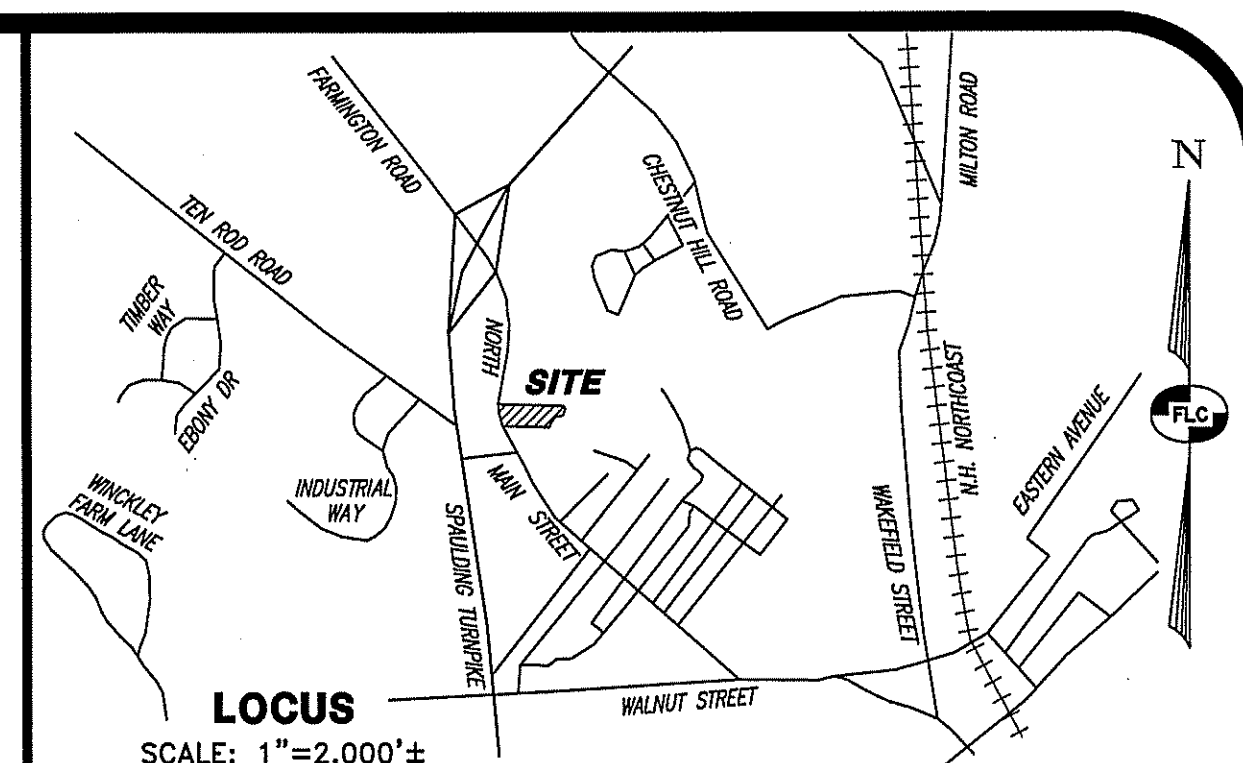
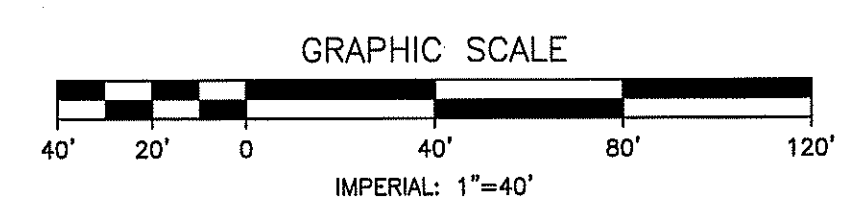
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LEGEND:	
EXISTING FEATURES	
	RIGHT-OF-WAY LINE
	BOUNDARY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK LINE
	EDGE OF PAVED ROAD
	EDGE OF GRAVEL ROAD
	EXISTING EASEMENT LINE
	CURB LINE
	EDGE OF TREE LINE
	EDGE OF WETLANDS
	WETLANDS BUFFER LINE
	CHAIN-LINK FENCE
	STOCKADE FENCE
	ADDRESS ON NORTH MAIN STREET
	EXISTING BUILDING
PROPOSED FEATURES	
	EDGE OF PAVEMENT
	CURBLINE (CAPE COD BERM)
	TEMPORARY SILTY FENCE
	PARKING LINE
	2 FT. CONTOUR
	10 FT. CONTOUR
	SPOT GRADE ELEVATION
	SPOT ELEVATION AT CURB
	STORM WATER DRAINAGE
	DRAIN MANHOLE
	SILT SOCK FOR ALL CATCH BASINS
	SOIL TEST PIT
	PROPOSED SANITARY SEWER
	CULVERT W/ END SECTION & RIP-RAP
	HYDRANT, GATE VALVE & WATER MAIN
	GAS LINE, PROPANE
	ELECTRICAL TRANSFORMER & UNDERGROUND
	POLE & BUILDING MOUNTED LIGHTS
	SIGN
PROPOSED FEATURES	
	ASPHALT PAVED AREA
	BUILDING
	SNOW STORAGE AREA
	TRAFFIC FLOW (NOT PAINTED ARROWS)
	CONCRETE PAD/SIDEWALK
	HANDICAP PARKING STALL
	LIGHT POST



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 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
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 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ENTIRE ROOF AREA SHALL BE CAPTURED BY GUTTERS AND DRAINED INTO THE PROPOSED RAIN GARDEN.

C	3/12/24	REV. PER TRG III REVIEW COMMENTS	BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

EROSION & SEDIMENTATION CONTROL PLAN

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

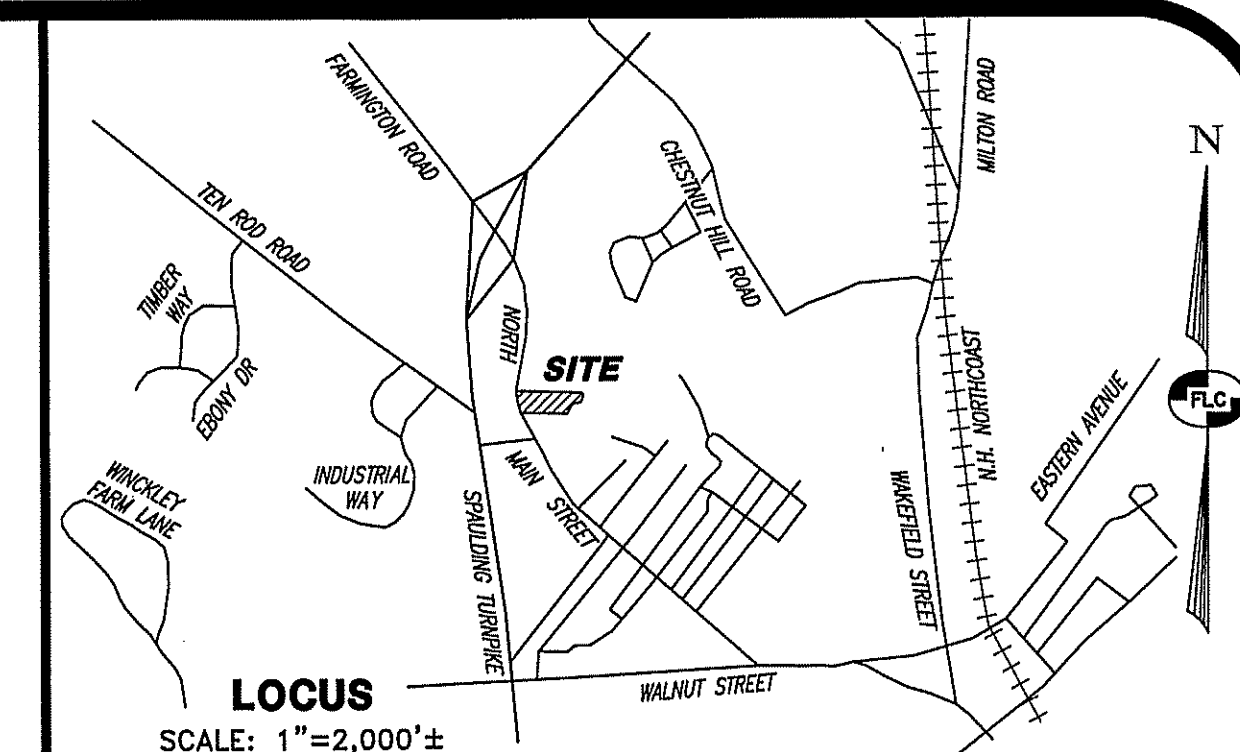
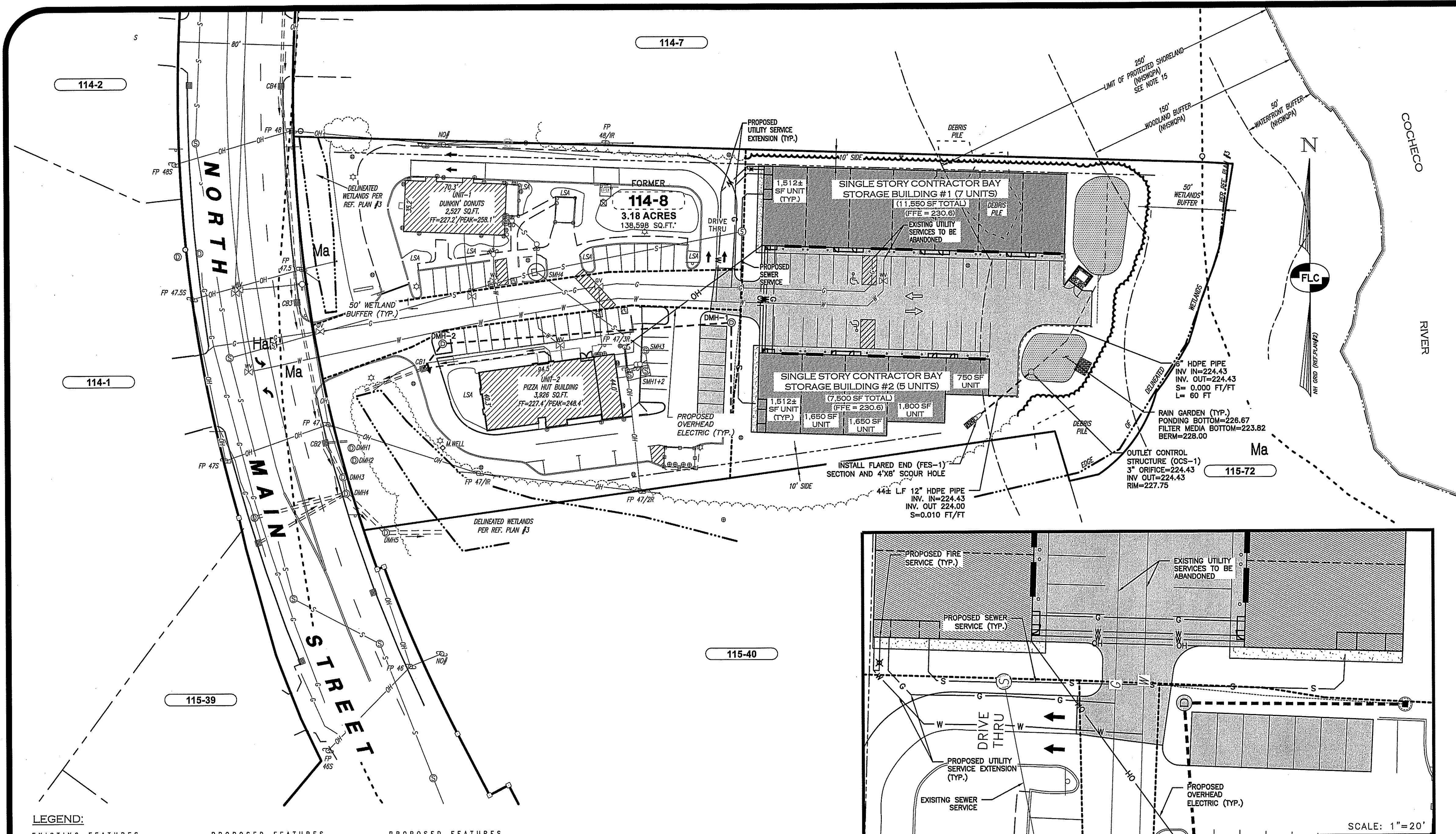
SCALE: 1"=40' NOVEMBER 17, 2023

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FILE: 303SSPOCC.DWG PROJ. NO. 3035.00 SHEET NO. EC-1 PAGE NO. 5 OF 12



- UTILITY NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
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 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
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 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO EVERSOURCE & NHEC STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO THE SPECIFICATIONS OF THE LOCAL PROVIDER.
 - THE SITE WILL BE SERVICED BY MUNICIPAL SEWER AND WATER.
 - ALL FIRE PREVENTION MEASURES, SUCH AS FIRE ALARM SYSTEMS AND KNOX BOXES, SHALL BE INSTALLED AS REQUESTED BY THE ROCHESTER FIRE DEPARTMENT.
 - ALL OIL, GREASE, CHEMICALS, AND HAZARDOUS MATERIALS/WASTE SHALL BE HANDLED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.
 - THE SPRINKLER SYSTEM FOR THE TWO (2) BUILDINGS WILL NEED TO HAVE TESTABLE BACKFLOW PREVENTION DEVICES, THESE BACKFLOW PREVENTION DEVICES SHALL BE PERMITTED THROUGH THE CITY'S OPENGOV PERMITTING PORTAL PRIOR TO CONSTRUCTION.
 - A SEWER AND WATER CONNECTION PERMIT APPLICATION MUST BE SUBMITTED TO THE CITY OF ROCHESTER WITH ALL APPLICABLE FEES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - ALL WATER LINE, VALVES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS.
 - A MASTER METER WILL BE REQUIRED FOR ALL DOMESTIC/FIRE SERVICE DEMANDS.
 - DOMESTIC DEMANDS FOR BATHROOMS MAY REQUIRE TESTABLE BACKFLOW PREVENTION DEVICES, CONTRACTORS ARE TO INSTALL SERVICES PER CITY OF ROCHESTER STANDARDS.

C	3/12/24	REV. PER TRG III REVIEW COMMENTS	BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS	BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS	BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

UTILITY PLAN
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
 PREPARED FOR:
PATRIOT HOLDINGS, LLC
 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103
 LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
 4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

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FILE: 303GSP00C.DWG PROJ. NO. 3035.00 SHEET NO. UT-1 PAGE NO. 6 OF 12

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EXISTING EASEMENT LINE
 - CURB LINE
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - ADDRESS ON NORTH MAIN STREET
 - EXISTING BUILDING
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CURBLINE (CAPE COD BERM)
 - TEMPORARY SILT FENCE
 - PARKING LINE
 - 2 FT. CONTOUR
 - 10 FT. CONTOUR
 - SPOT GRADE ELEVATION
 - SPOT ELEVATION AT CURB
 - STORM WATER DRAINAGE
 - DRAIN MANHOLE
 - SILT SOCK FOR ALL CATCH BASINS
 - SOIL TEST PIT
 - TP-1
 - L=LEDGE
 - S=WATER ELEV.
 - PROPOSED SANITARY SEWER
 - CULVERT W/ END SECTION & RIP-RAP
 - HYDRANT, GATE VALVE & WATER MAIN
 - GAS LINE, PROPANE
 - ELECTRICAL TRANSFORMER & UNDERGROUND
 - POLE & BUILDING MOUNTED LIGHTS
 - SIGN
- PROPOSED FEATURES**
- ASPHALT PAVED AREA
 - BUILDING
 - SNOW STORAGE AREA
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - CONCRETE PAD/SIDEWALK
 - HANDICAP PARKING STALL
 - LIGHT POST

CB1 (#1088)
 RIM=224.94
 INV.IN= 221.94 (6" PVC)
 INV.OUT=221.93 (18" HDPE)
 SUMP=218.98

CB4 (#2281)
 RIM=227.72
 INV.IN= 221.64 (18" HDPE)
 INV.OUT=221.62 (18" HDPE)
 SUMP=218.76

CB3 (#2288)
 RIM=228.69
 INV.IN= 220.83 (18" HDPE)
 INV.OUT=221.06 (18" HDPE)
 SUMP=218.54

CB2 (#2264)
 RIM=229.47
 INV.IN= 220.65 (CB3) (18" HDPE)
 INV.IN= 220.66 (HDBE) (12" HDPE)
 INV.OUT=221.39 (18" HDPE)

DMH3 (#12281)
 RIM=230.12
 INV.IN= 220.20 (CB2) (18" RCP)
 INV.IN= 220.38 (HDBE) (12" HDPE)
 INV.OUT=220.22 (DMH4) (18" RCP)
 SUMP=226.03

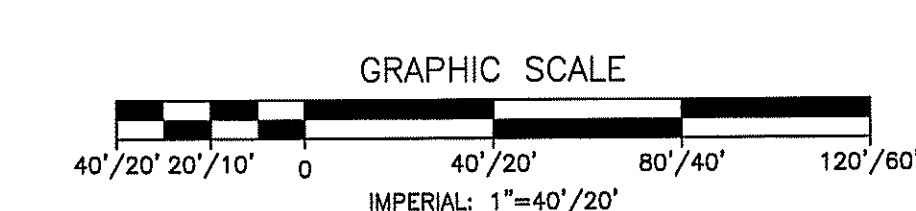
DMH4 (#2260)
 RIM=230.30
 INV.IN= 220.25 (DMH3) (18" RCP)
 INV.IN= 219.83 (S70W) (24" RCP)
 INV.IN= 220.15 (S81W) (18" RCP)
 INV.OUT=219.49 (30" HDPE)
 SUMP=217.85

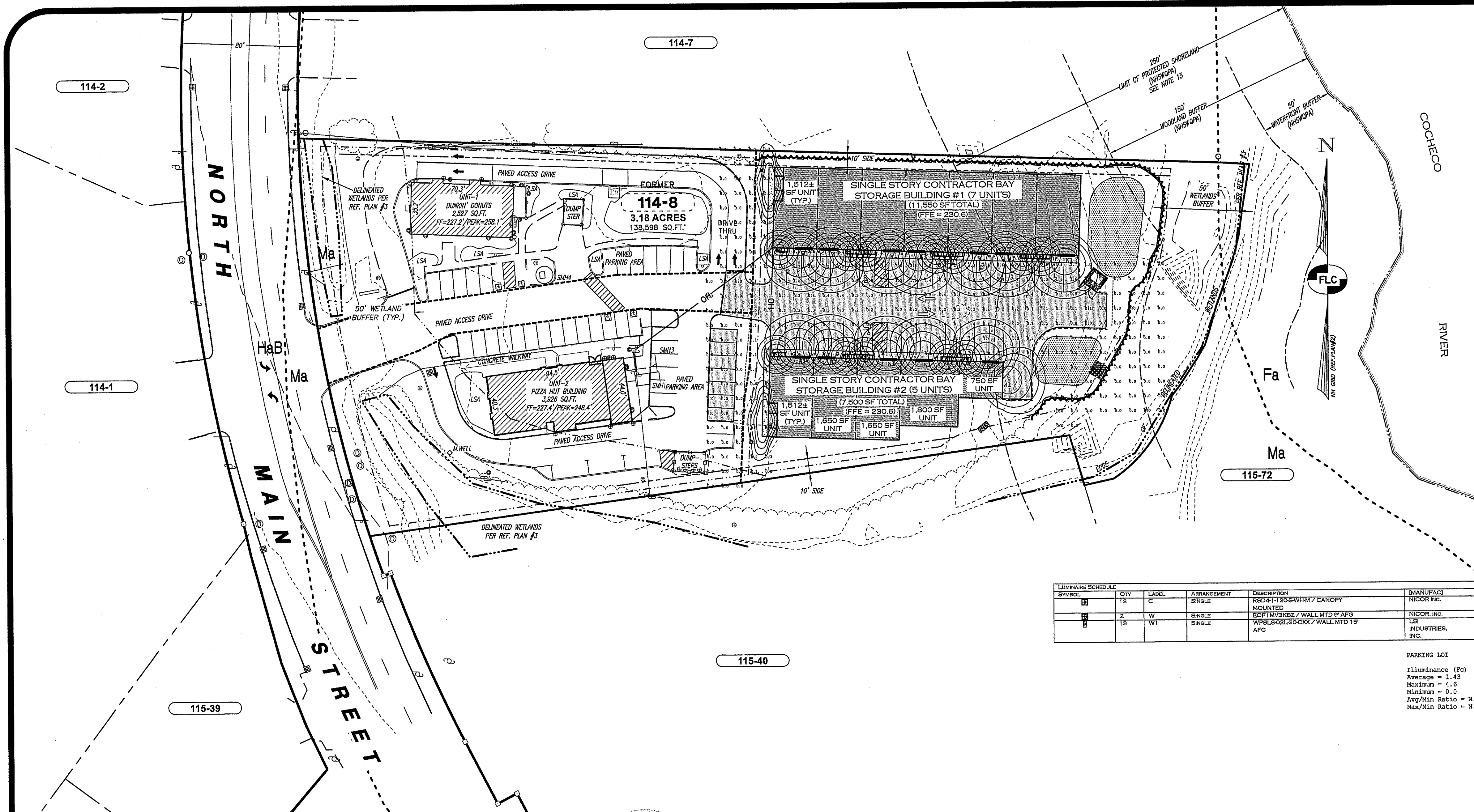
DMH5 (#2258)
 RIM=229.85
 INV.IN= 220.59 (30" HDPE)
 INV.IN= 220.48 (30" HDPE)
 SUMP=220.02

SMH1 (#1476)
 RIM=227.29
 SMH2 (#1530)
 226.75
 SEPTIC TANK COVERS
 INV.OUT=223.30

SMH3 (#1479)
 RIM=226.67
 INV.IN= 221.82 (TANK) (8" PVC)
 INV.OUT=221.89 (SMH4) (8" PVC)
 TABLE=223.48
 BOTTOM=221.91

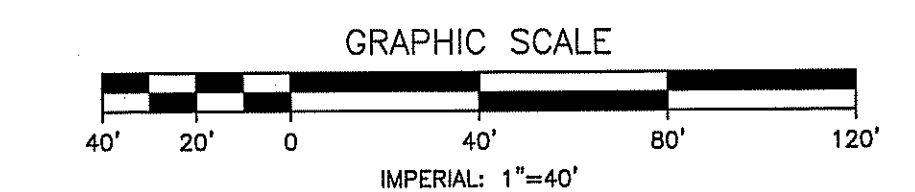
SMH4
 PUMP STATION
 (#1586-1589)
 RIM=227.49
 INV.IN= 222.94 (8" PVC)
 INV.IN= 222.89 (8" PVC)
 TABLE=223.53
 BOTTOM=222.96





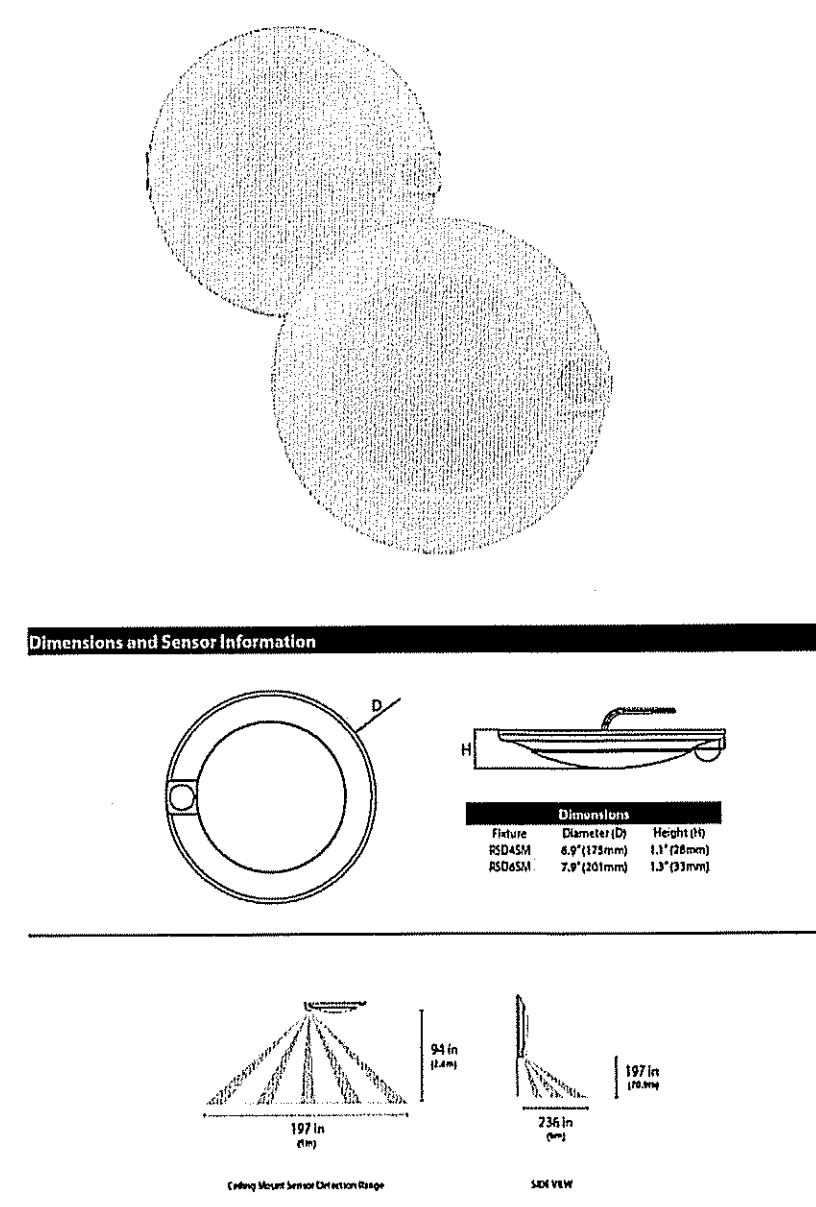
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1	12	C	SINGLE	RSD4-1120S-WHM / CANOPY MOUNTED	NICOR, INC.
2	2	W	SINGLE	ECOFITW3K6Z / WALL MTD 9' AFG	NICOR, INC.
3	13	W1	SINGLE	WPSLS02L30CXX / WALL MTD 15' AFG	LSI INDUSTRIES, INC.

PARKING LOT
Illuminance (Fc)
Average = 1.45
Maximum = 4.6
Minimum = 0.0
Avg/Mln Ratio = N.A.
Max/Mln Ratio = N.A.

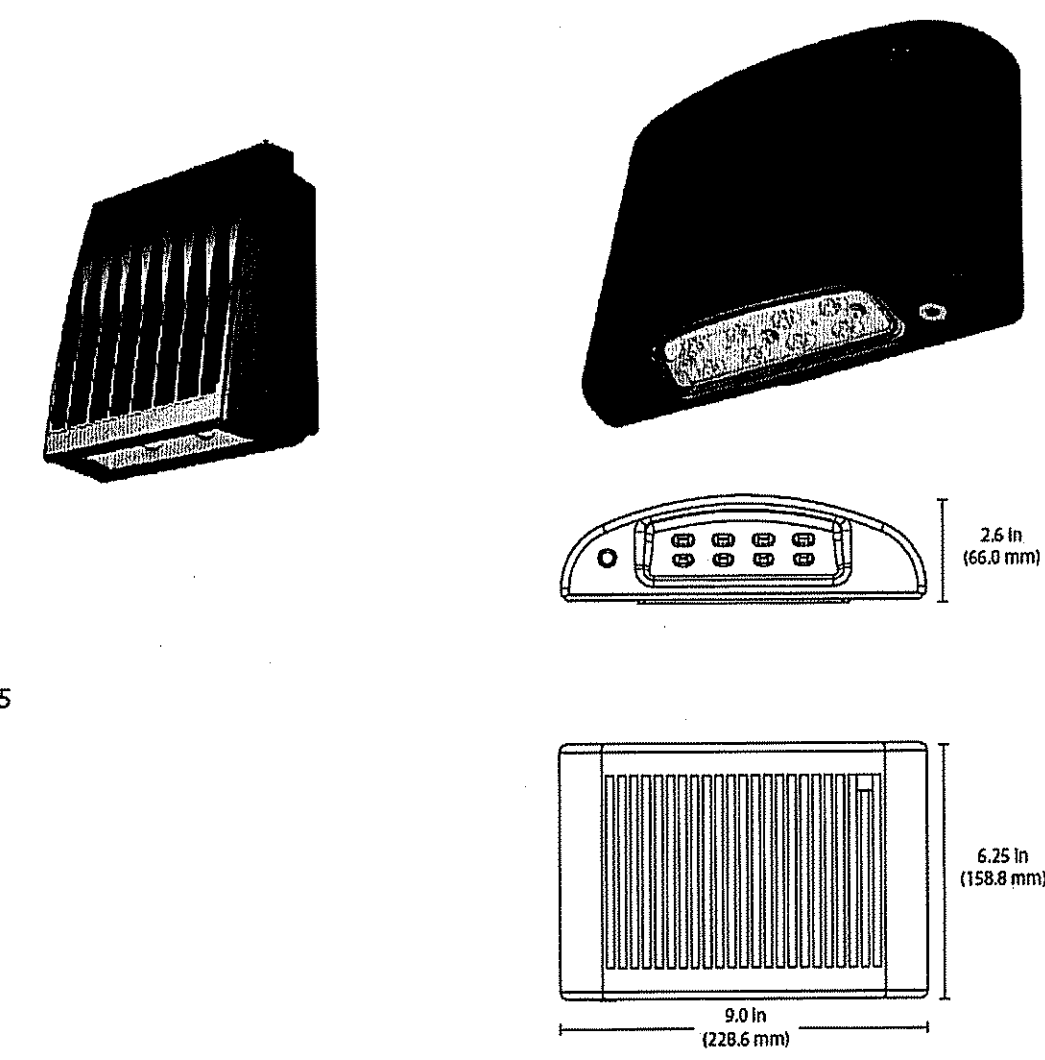


REV.	DATE	DESCRIPTION	C/D	DR	CK
C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG I REVIEW COMMENTS		BLR	CEB

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EXISTING EASEMENT LINE
 - CURB LINE
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - ADDRESS ON NORTH MAIN STREET
 - EXISTING BUILDING
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CURBLINE (CAPE COD BERM)
 - TEMPORARY SILT FENCE
 - PARKING LINE
 - 2 FT. CONTOUR
 - 10 FT. CONTOUR
 - SPOT GRADE ELEVATION
 - SPOT ELEVATION AT CURB
 - STORM WATER DRAINAGE
 - DRAIN MANHOLE
 - SILT SOCK FOR ALL CATCH BASINS
 - SOIL TEST PIT
 - PROPOSED SANITARY SEWER
 - CULVERT W/ END SECTION & RIP-RAP
 - HYDRANT, GATE VALVE & WATER MAIN
 - G.V.
 - GAS LINE, PROPANE
 - ELECTRICAL TRANSFORMER & UNDERGROUND
 - POLE & BUILDING MOUNTED LIGHTS
 - SIGN
- PROPOSED FEATURES**
- ASPHALT PAVED AREA
 - BUILDING
 - SNOW STORAGE AREA
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - CONCRETE PAD/SIDEWALK
 - HANDICAP PARKING STALL
 - LIGHT POST



Slim Wall Pack (WPSLS)
Small LED Slim Wall Pack



LIGHTING PLAN
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE
ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

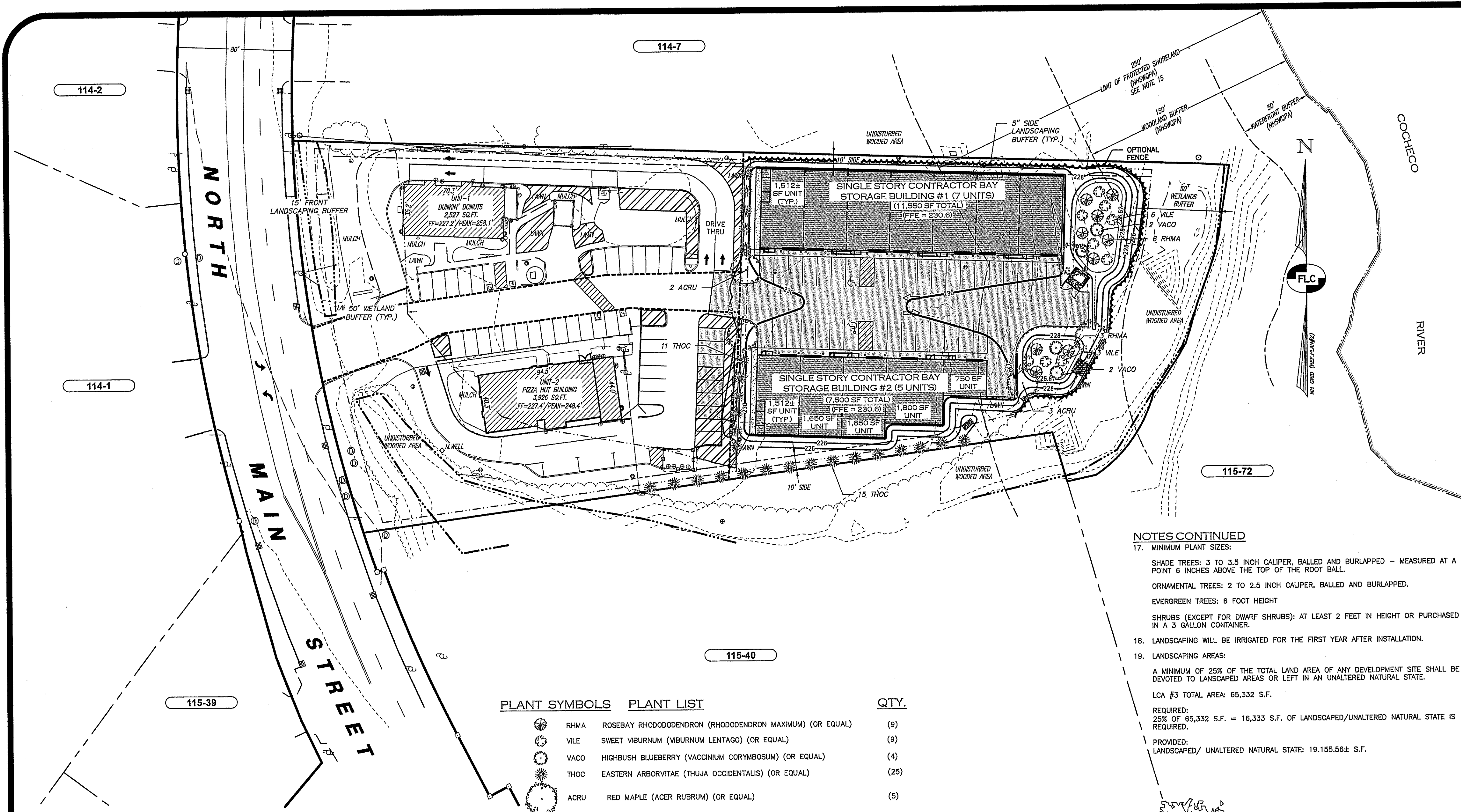
SCALE: 1"=40' NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS PLLC

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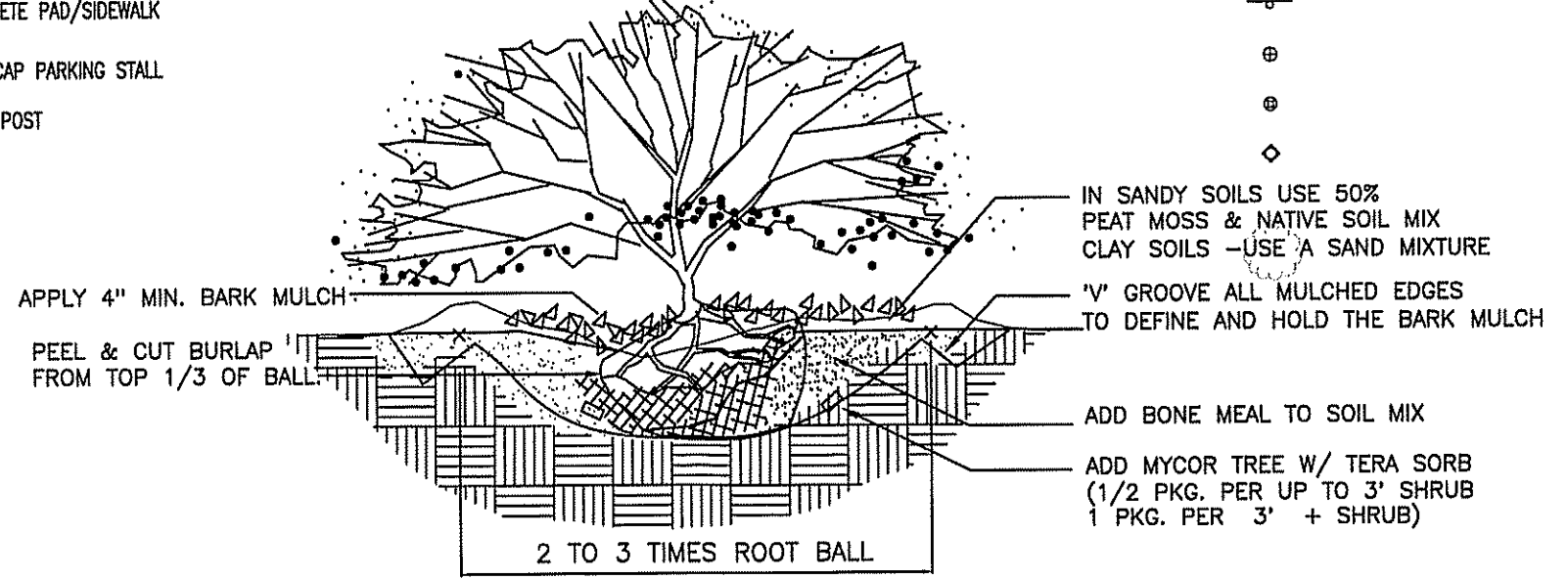


- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - EXISTING EASEMENT LINE
 - CURB LINE
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - ADDRESS ON NORTH MAIN STREET
 - EXISTING BUILDING

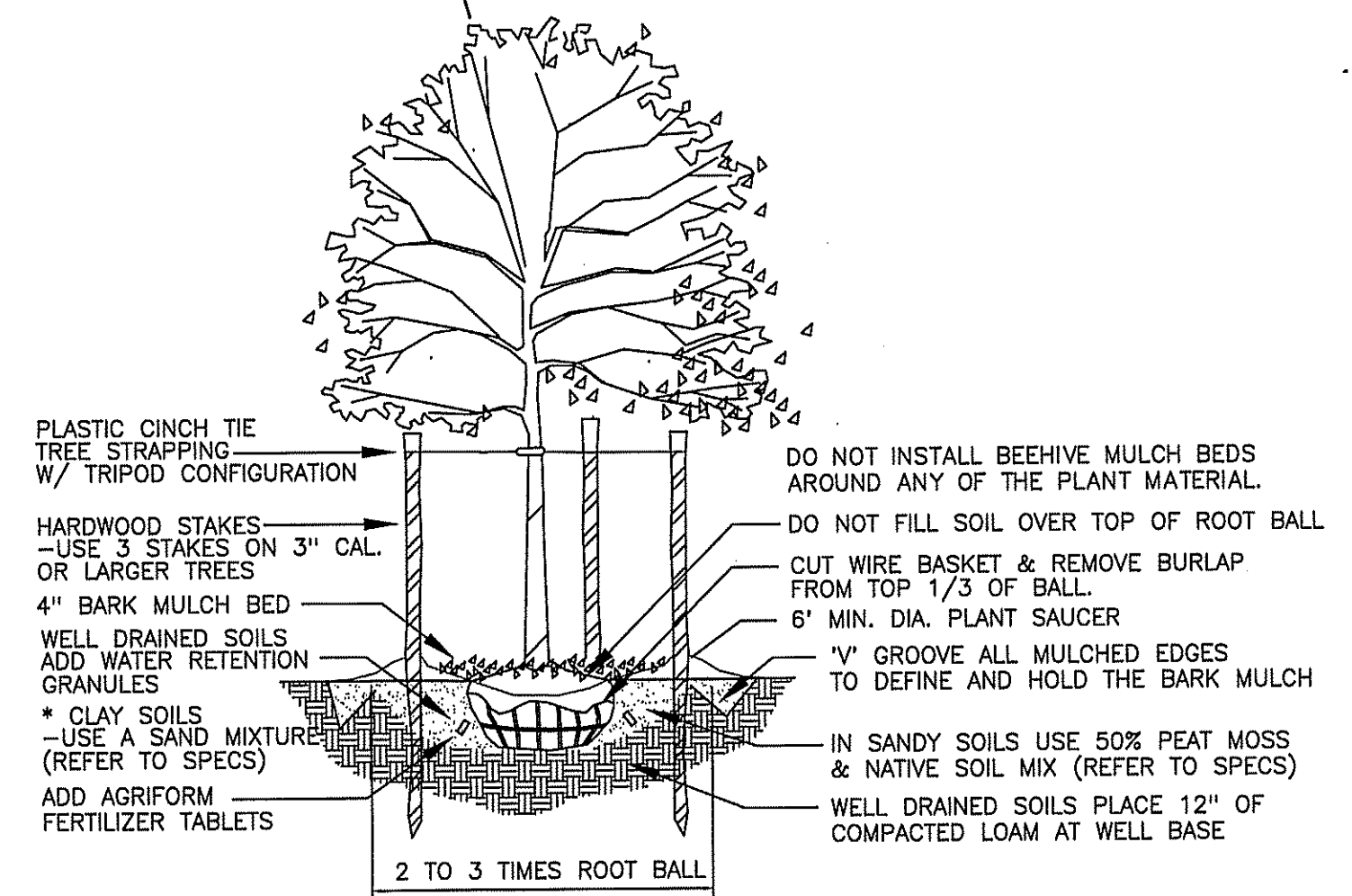
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CURBLINE (CAPE COD BERM)
 - TEMPORARY SILT FENCE
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 - 2 FT. CONTOUR
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 - SPOT ELEVATION AT CURB
 - STORM WATER DRAINAGE
 - DRAIN MANHOLE
 - SILT SOCK FOR ALL CATCH BASINS
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 - POLE & BUILDING MOUNTED LIGHTS
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- PROPOSED FEATURES**
- ASPHALT PAVED AREA
 - BUILDING
 - SNOW STORAGE AREA
 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - CONCRETE PAD/SIDEWALK
 - HANDICAP PARKING STALL
 - LIGHT POST

PLANT SYMBOLS	PLANT LIST	QTY.
	RHMA ROSEBAY RHODODENDRON (RHODODENDRON MAXIMUM) (OR EQUAL)	(9)
	VILE SWEET VIBURNUM (VIBURNUM LENTAGO) (OR EQUAL)	(9)
	VACO Highbush Blueberry (VACCINIUM CORYMBOSUM) (OR EQUAL)	(4)
	THOC EASTERN ARBORVITAE (THUJA OCCIDENTALIS) (OR EQUAL)	(25)
	ACRU RED MAPLE (ACER RUBRUM) (OR EQUAL)	(5)



B & B SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL

NOTES CONTINUED

17. MINIMUM PLANT SIZES:

SHADE TREES: 3 TO 3.5 INCH CALIPER, BALLED AND BURLAPPED - MEASURED AT A POINT 6 INCHES ABOVE THE TOP OF THE ROOT BALL.

ORNAMENTAL TREES: 2 TO 2.5 INCH CALIPER, BALLED AND BURLAPPED.

EVERGREEN TREES: 6 FOOT HEIGHT

SHRUBS (EXCEPT FOR DWARF SHRUBS): AT LEAST 2 FEET IN HEIGHT OR PURCHASED IN A 3 GALLON CONTAINER.

18. LANDSCAPING WILL BE IRRIGATED FOR THE FIRST YEAR AFTER INSTALLATION.

19. LANDSCAPING AREAS:

A MINIMUM OF 25% OF THE TOTAL LAND AREA OF ANY DEVELOPMENT SITE SHALL BE DEVOTED TO LANDSCAPED AREAS OR LEFT IN AN UNALTERED NATURAL STATE.

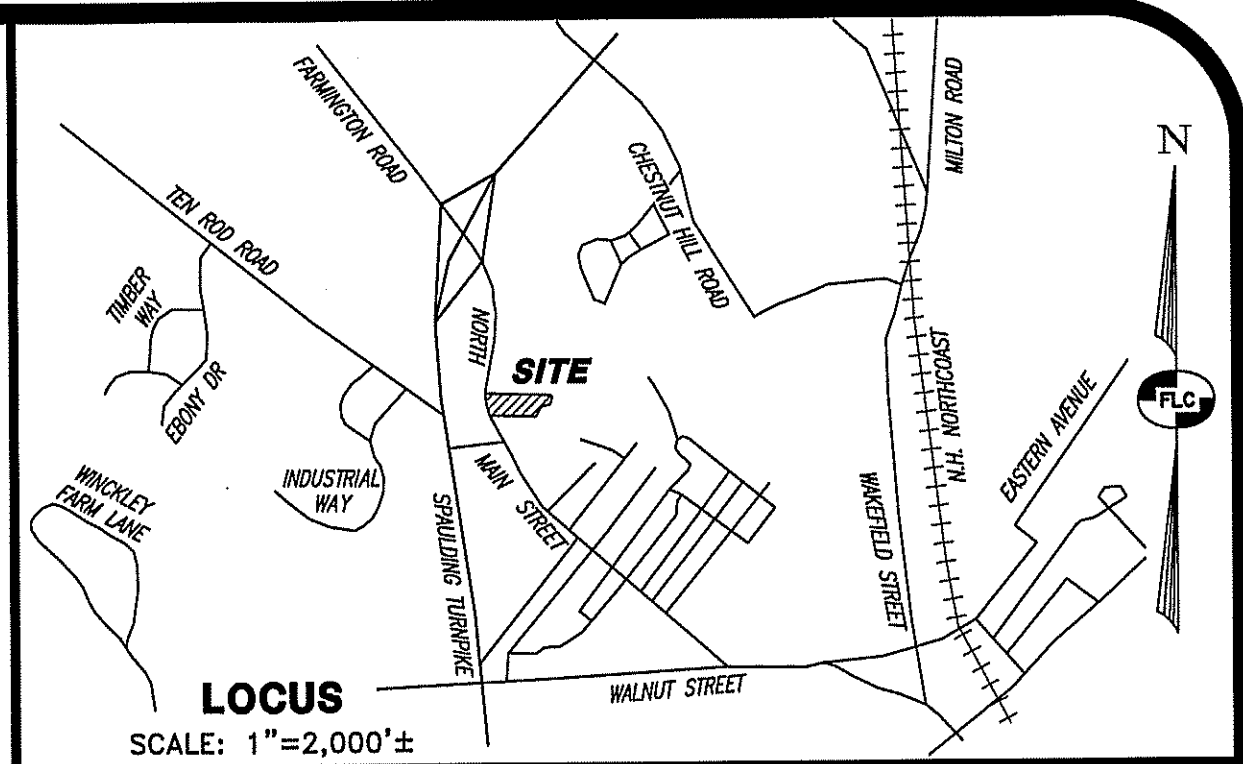
LCA #3 TOTAL AREA: 65,332 S.F.

REQUIRED:

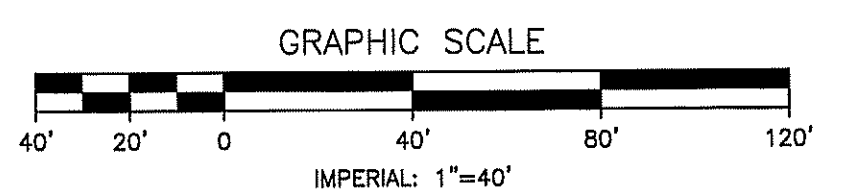
25% OF 65,332 S.F. = 16,333 S.F. OF LANDSCAPED/UNALTERED NATURAL STATE IS REQUIRED.

PROVIDED:

LANDSCAPED/ UNALTERED NATURAL STATE: 19,155.6± S.F.



- LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES.
 - EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1-YEAR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS FIRST.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 6" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION.
 - ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT ENTRANCE.
 - ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 - THE PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES, OR UNDERGROUND UTILITIES.
 - FERTILIZERS SHOULD NOT BE APPLIED WITHIN 50FT OF WETLAND OR WITHIN THE 100-YEAR AND 500-YEAR FLOODPLAINS. NO FERTILIZER SHOULD BE APPLIED TO LCA #3 RESPECTIVELY.



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG I REVIEW COMMENTS		BLR	CEB

LANDSCAPING PLAN

TAX MAP 114 LOT 8

(303 & 305 NORTH MAIN STREET)

ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:

PATRIOT HOLDINGS, LLC

4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:

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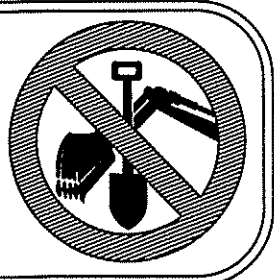
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1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF STORMWATER BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.25-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL). UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 6 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLAND PLANTS INC., AMHERST, MA.
15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLAND PLANTS, INC., AMHERST MA.
B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE AND COMMENTS |
|--------------------------|---|--|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 920 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE. |
| CRUSHED STONE | SPREAD TO GREATER THAN 1/4 TO 1-1/2" DIA. | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED |
16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER.
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.
23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES

1
DT-1

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
IT'S SMART. IT'S FREE. IT'S THE LAW.



1. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED. STABILIZATION METHODS SHALL INCLUDE SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL OR PROPERLY INSTALLED EROSION CONTROL BLANKETS COVERED WITH HAY. OTHER STABILIZATION OPTIONS ARE TO BE APPROVED BY THE APPROPRIATE AGENCIES AND THE DESIGN ENGINEER. IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER MONTHS THEN THE ROAD SHOULD BE CLEARED OF ACCUMULATED SNOW AFTER EACH STORM EVENT.

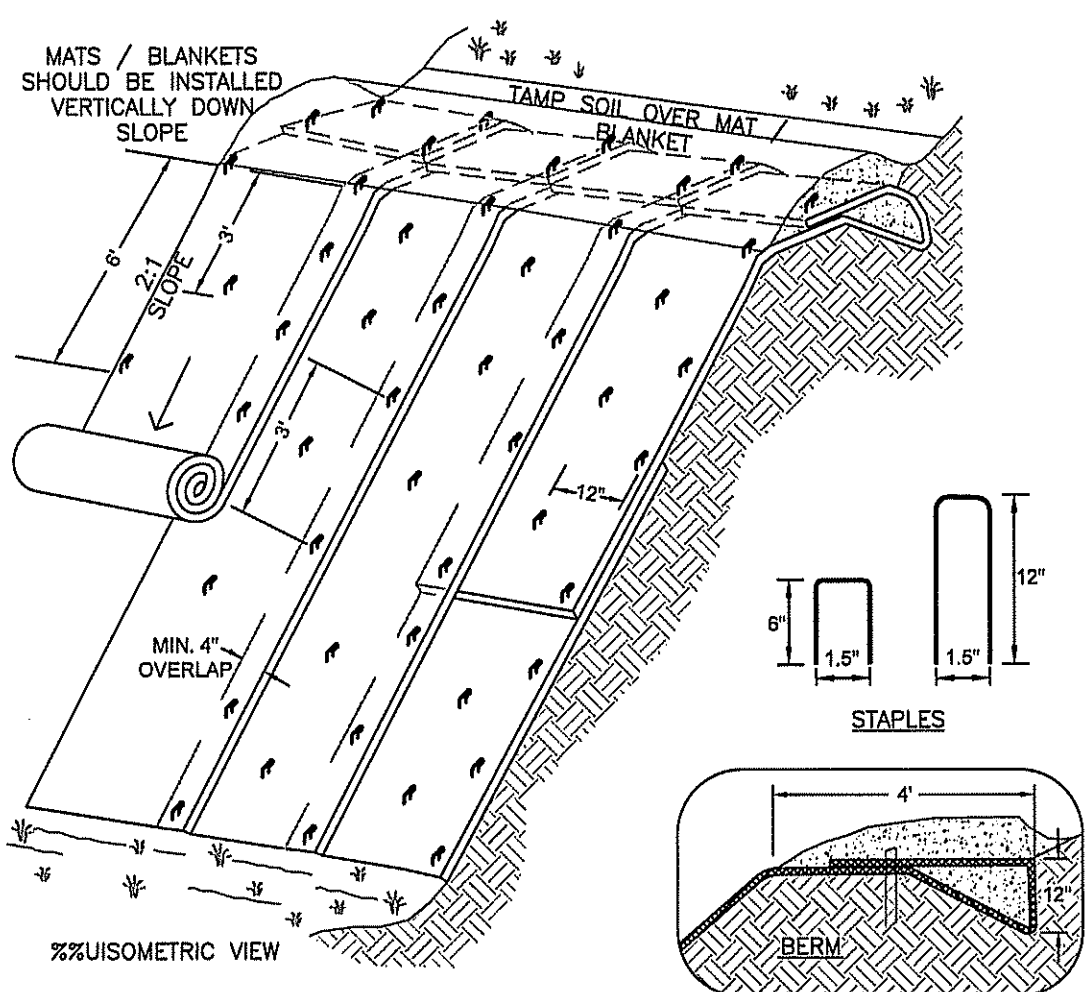
WINTER CONSTRUCTION NOTES

2
DT-1

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. BEGIN BUILDING CONSTRUCTION.
7. CONSTRUCT GRAVEL PARKING AREA (PAVEMENT OPTIONAL) AND BUILDING PAD. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
8. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
9. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
10. FINISH GRADING TO PREPARE FOR PAVING (IF ANY) AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
11. FINISH PAVING (IF ANY). PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF PARKING AREA (SEE EROSION CONTROL NOTES).
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
14. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.
15. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INTIAL DISTURBANCE.

CONSTRUCTION SEQUENCE

3
DT-1

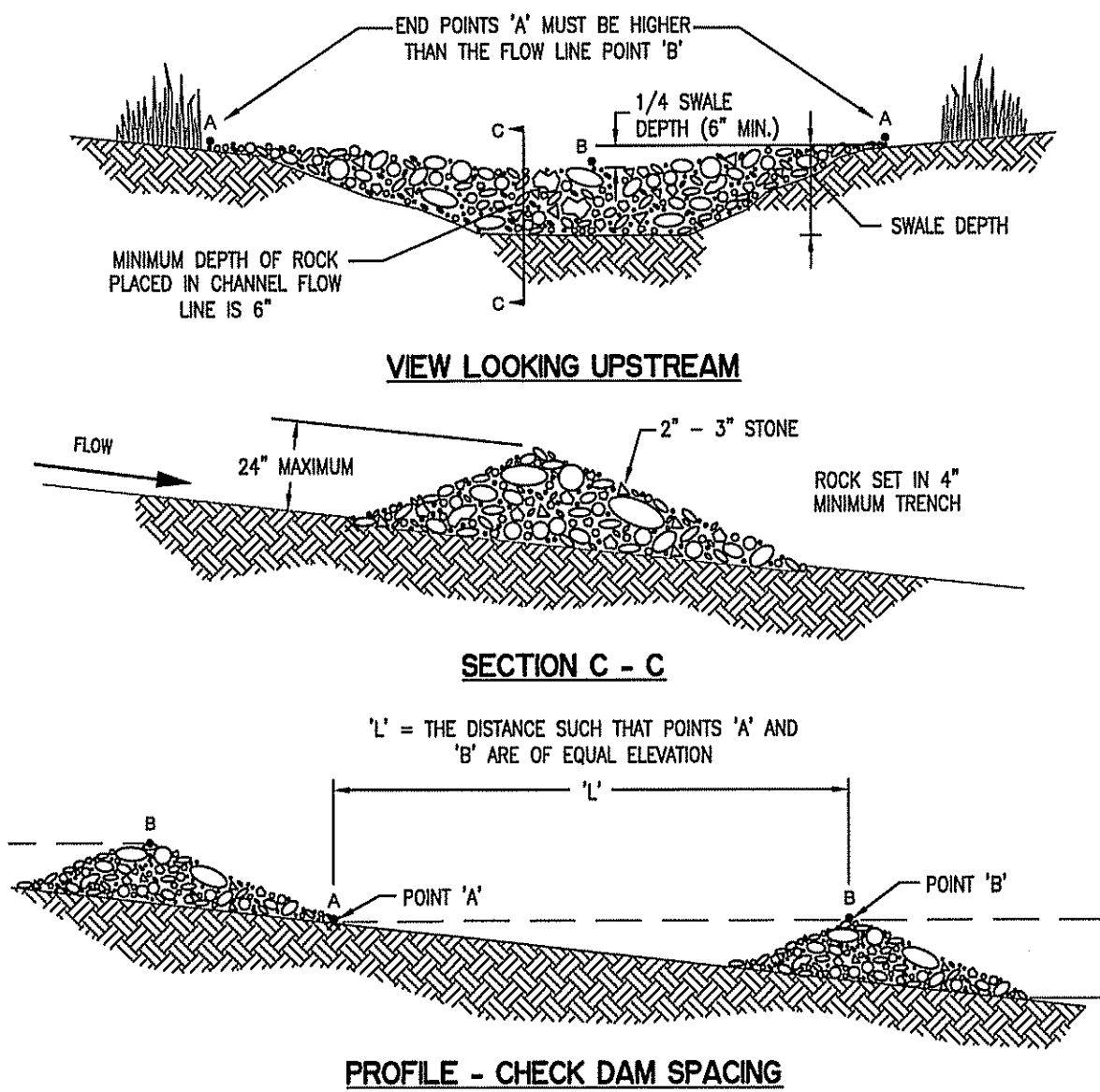


NOTES:

1. DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES: DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC150 OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ : 1' VERT.
3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
4. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
5. APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
6. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
7. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
8. IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
9. THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION

4
DT-1

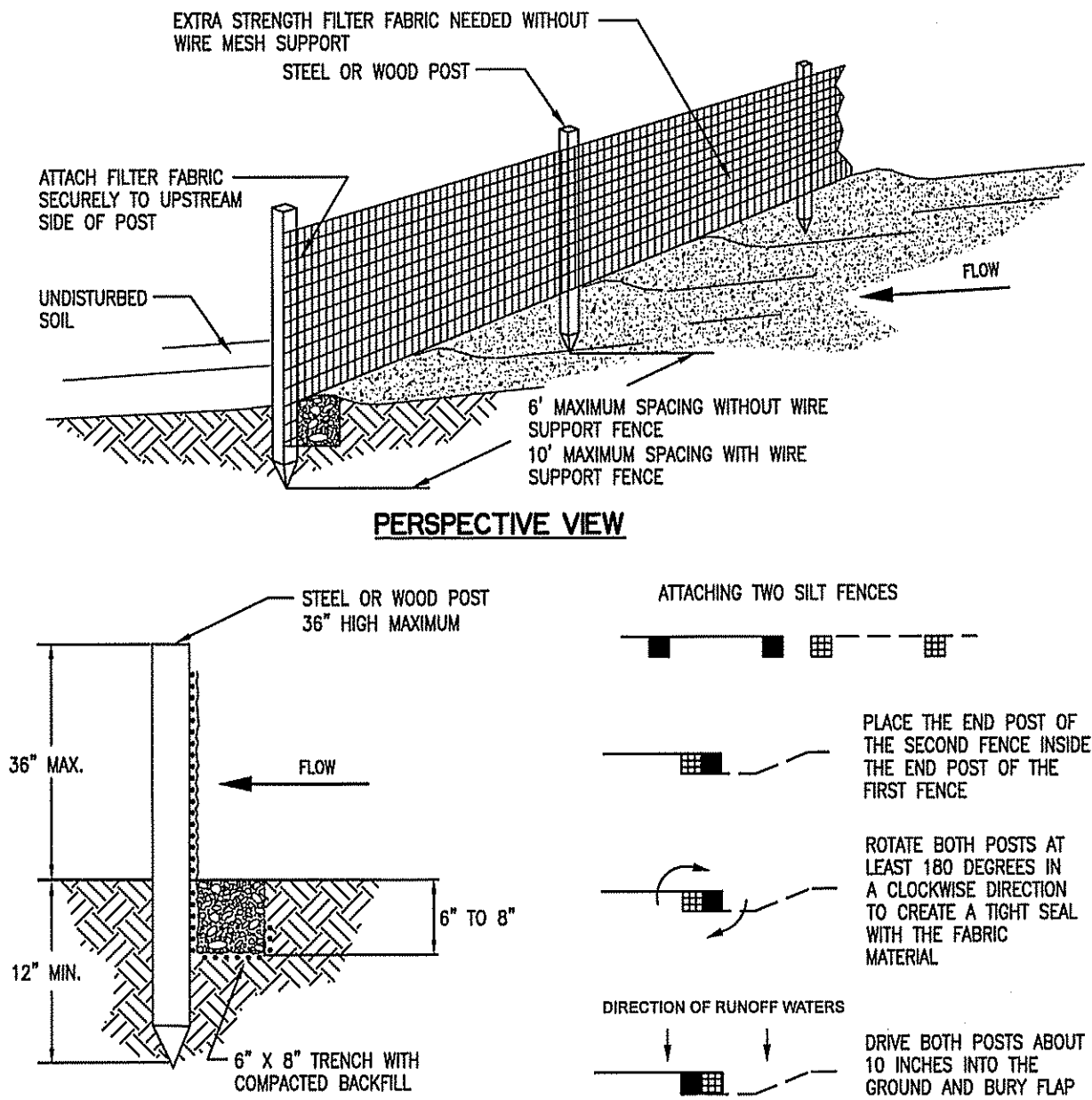


NOTES:

1. STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
3. STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
4. STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
5. WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 18-INCHES TO PREVENT FLOW AROUND THE DAM.
6. STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM

5
DT-1



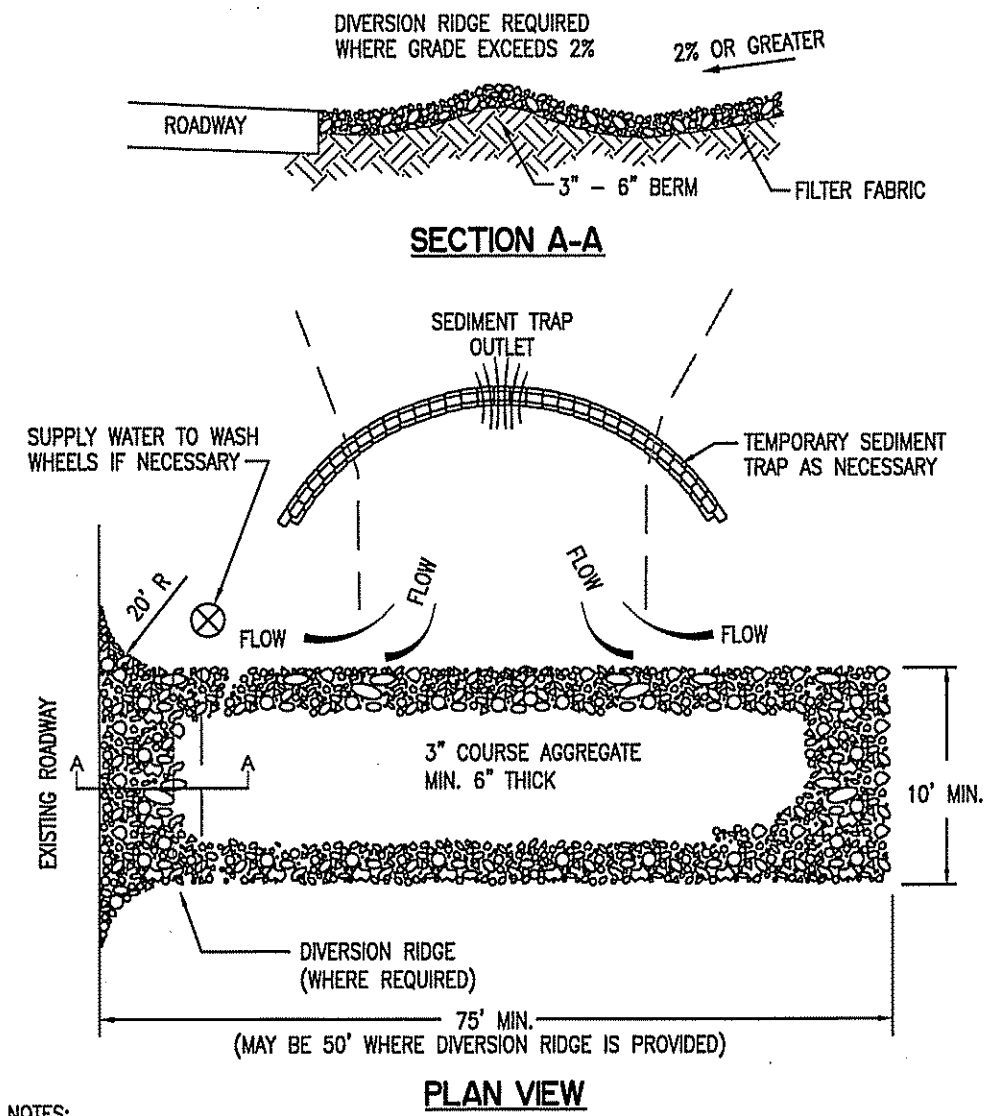
SECTION VIEW

NOTES:

1. SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
2. SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
3. IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
4. SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
5. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
6. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
7. SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

6
DT-1



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
3. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
4. THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
5. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
6. THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
7. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
8. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
9. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
10. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
11. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SCALE: N.T.S.

GRAVEL CONSTRUCTION EXIT

7
DT-1

C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

EROSION CONTROL DETAILS

TAX MAP 114 LOT 8

(303 & 305 NORTH MAIN STREET)

ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:

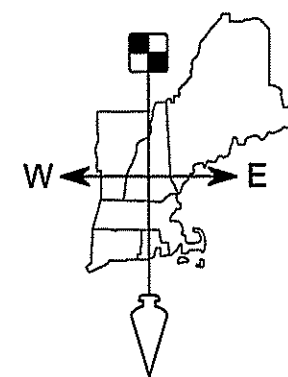
PATRIOT HOLDINGS, LLC

4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103-4138

SCALE: NOT TO SCALE

NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS, PLLC

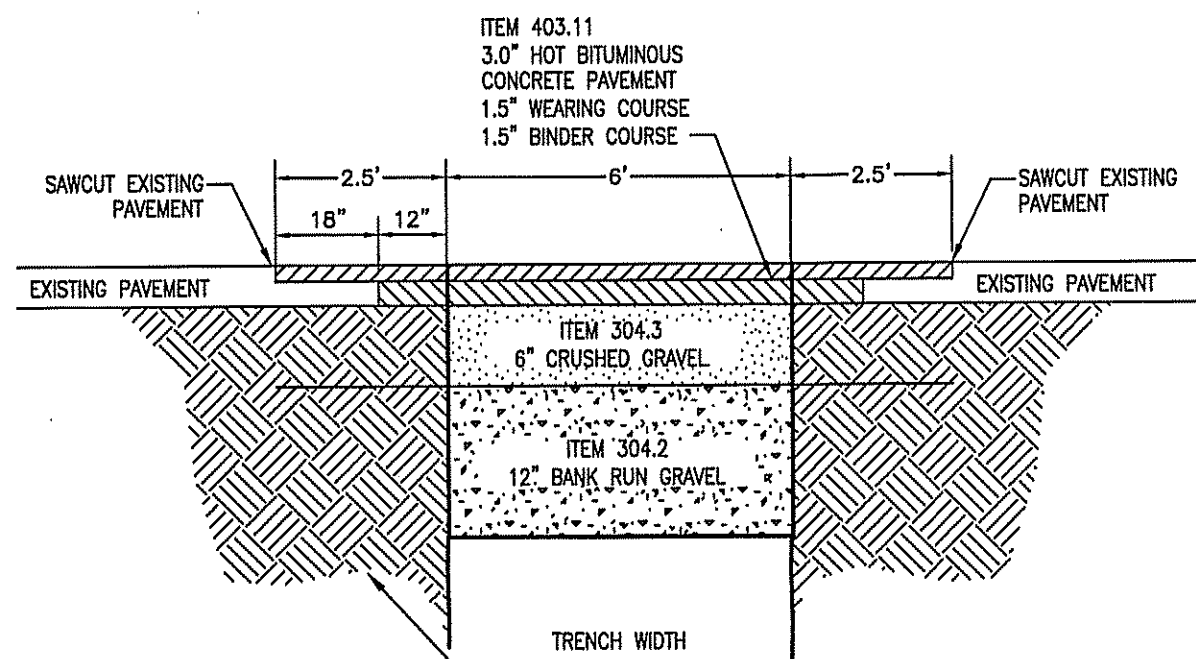
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 303SDT00C.DWG PROJ. NO. 3459.00 SHEET: DT-1 PAGE NO. 9 OF 12

1. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF ROCHESTER
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. FIELDSTONE LAND CONSULTANTS, PLLC, AS THE DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL CONTACT "DIGSAFE" 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-800-255-4977 IN NH, 1-888-344-7233 IN MA).
4. COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, ZONING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
5. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND FIELDSTONE LAND CONSULTANTS, PLLC PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.
8. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 430:53 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

GENERAL CONSTRUCTION NOTES

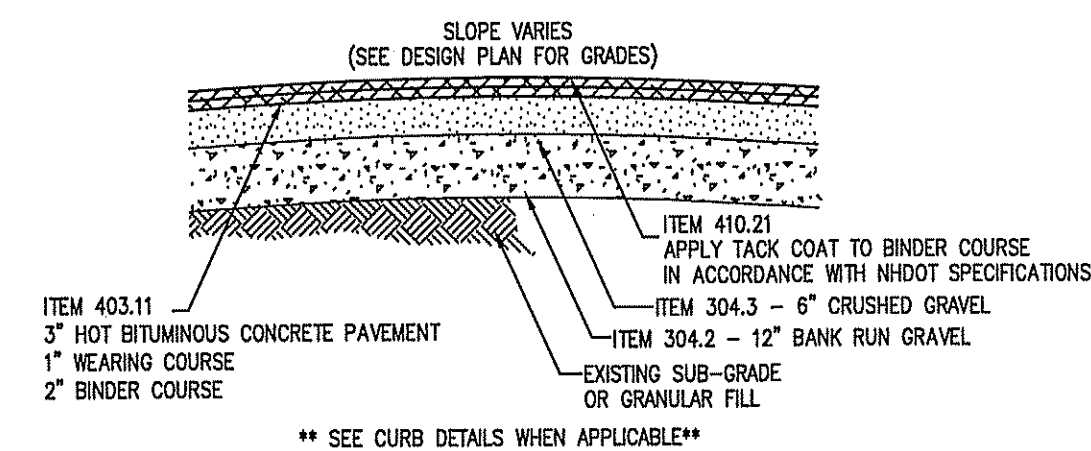
1
DT-2



NOTE:
THE BINDER COURSE SHALL BE PLACED IMMEDIATELY AFTER TRENCH CONSTRUCTION AND ALLOWED TO STAND A MINIMUM OF 90 DAYS. A LEVELING COURSE SHALL BE APPLIED OVER THE TRENCH AFTER 90 DAYS AND THE ENTIRE ROAD OVERLAD TO THE LIMITS SHOWN ON THE PLANS.

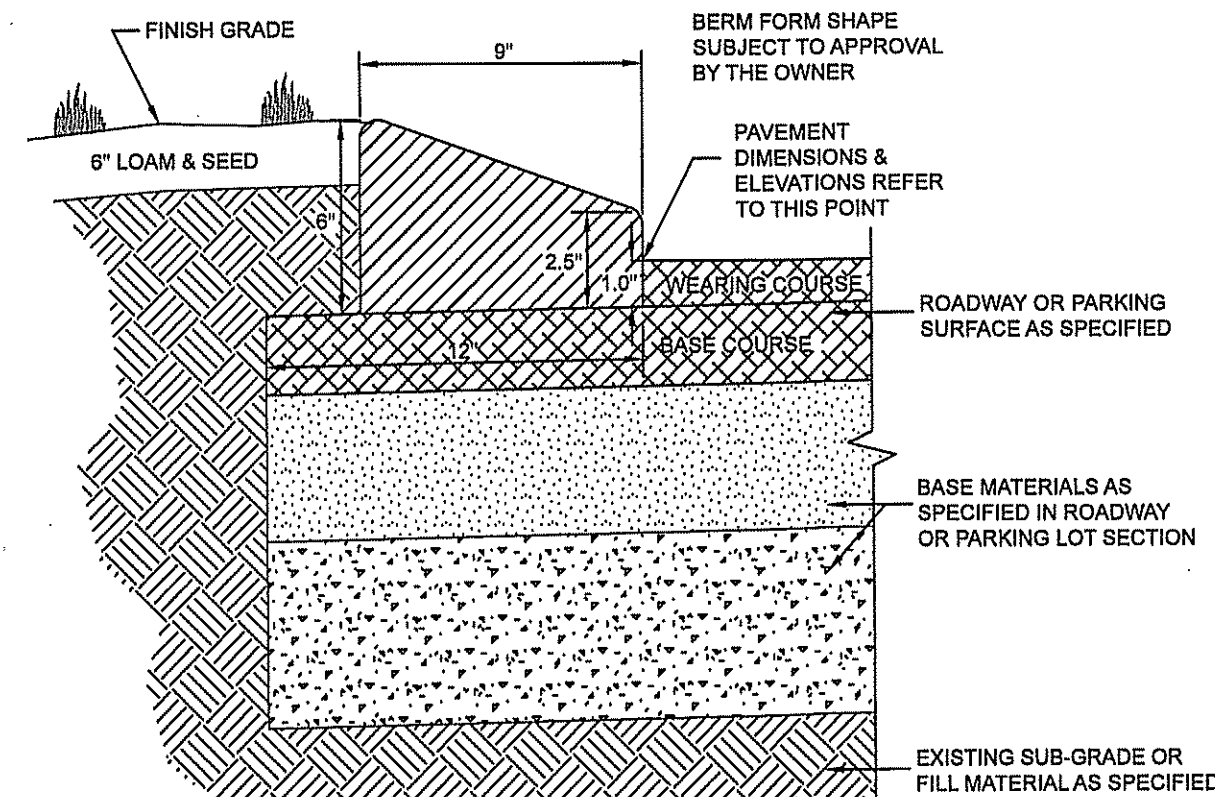
PAVEMENT TRENCH PATCH

2
DT-2



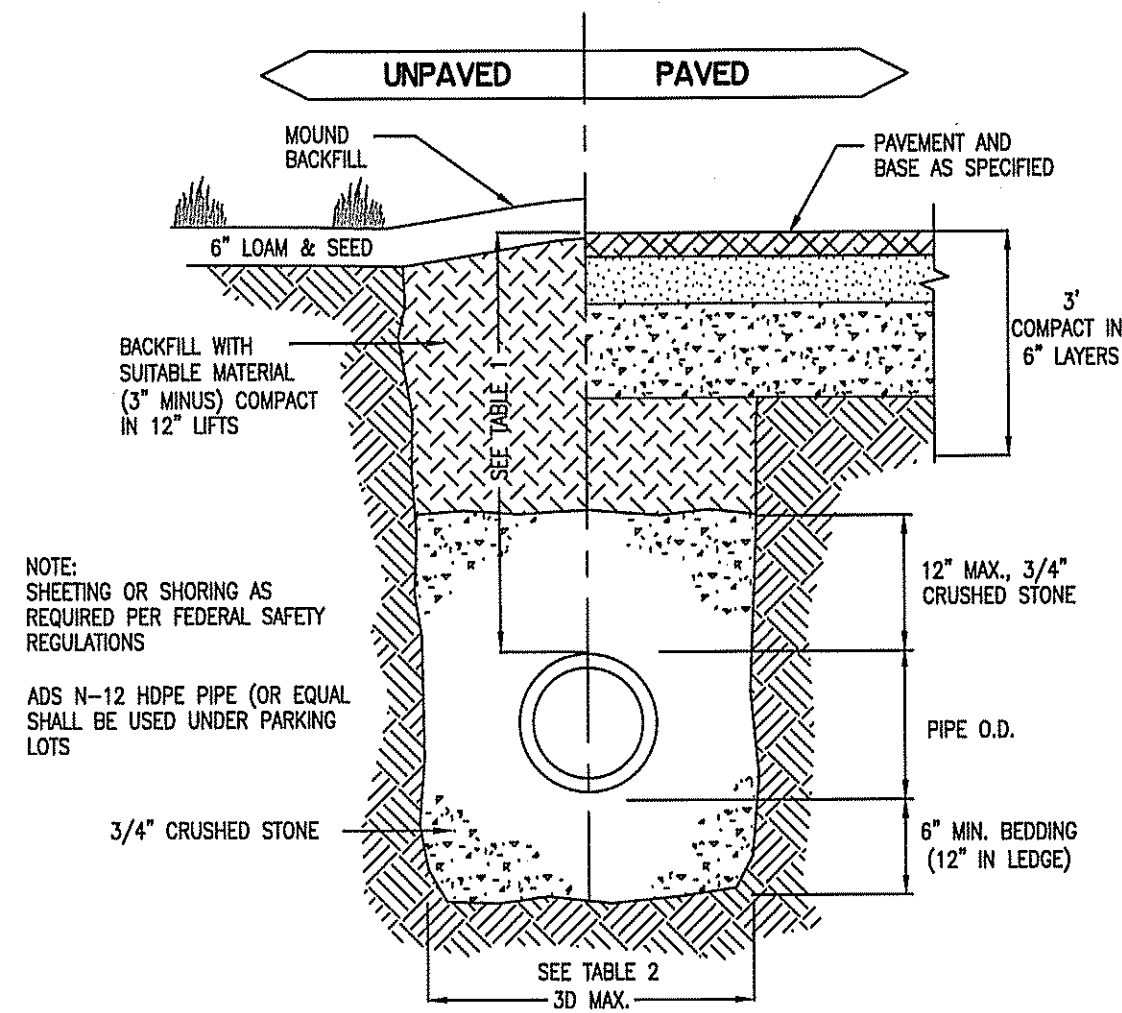
PAVEMENT SECTION

3
DT-2



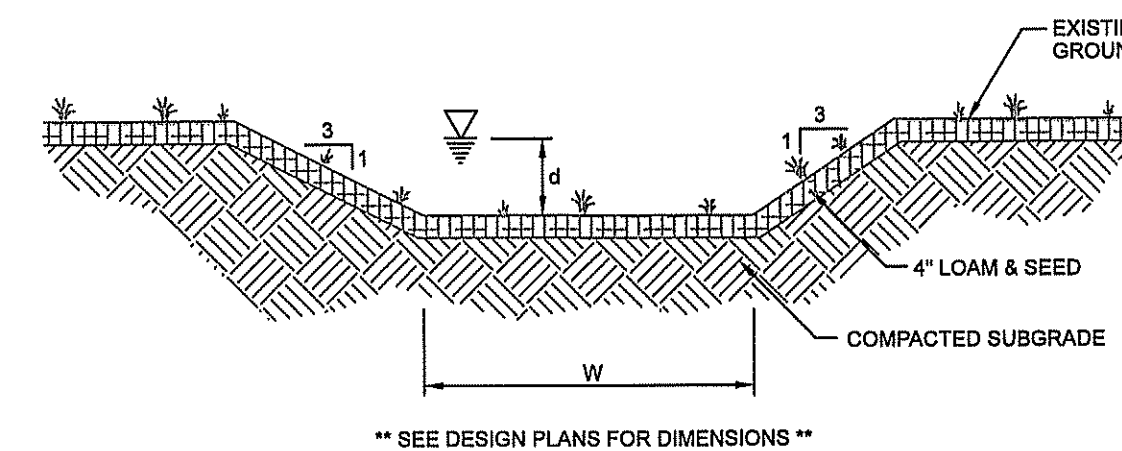
CURB - ASPHALT (CAPE COD BERM)

4
DT-2



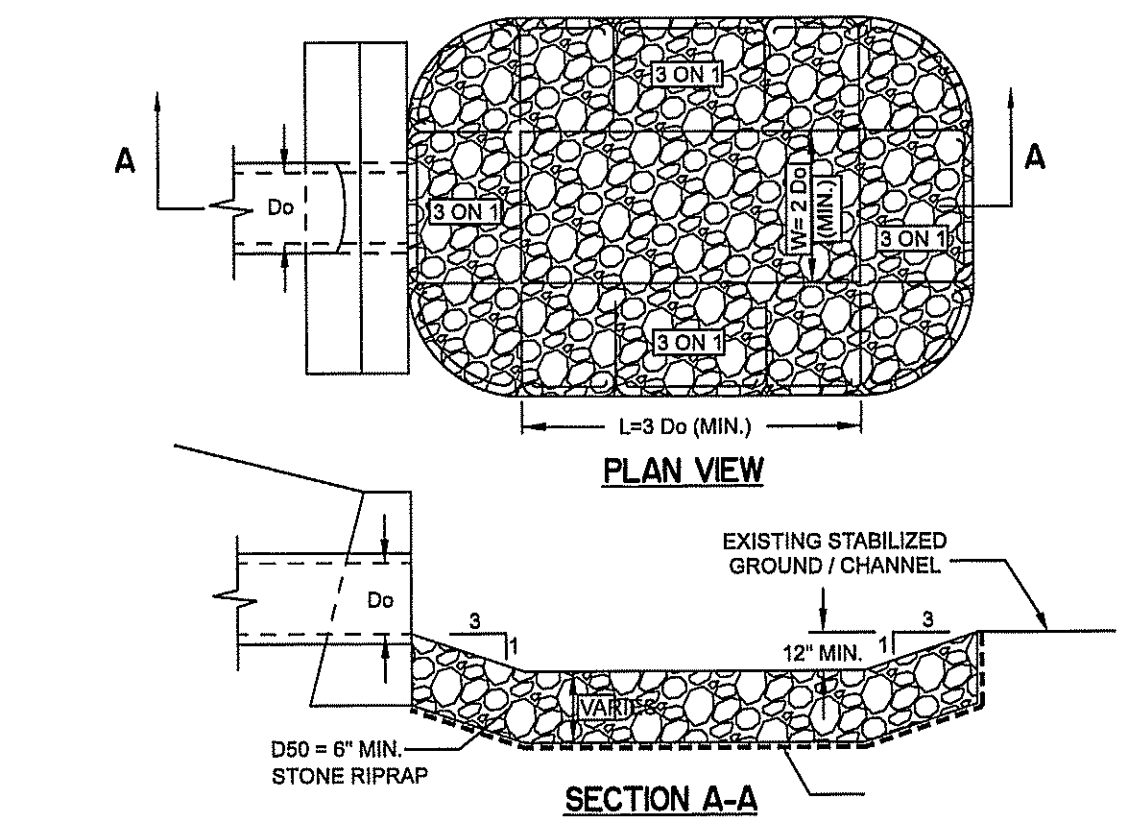
DRAINAGE TRENCH (TYPICAL)

5
DT-2



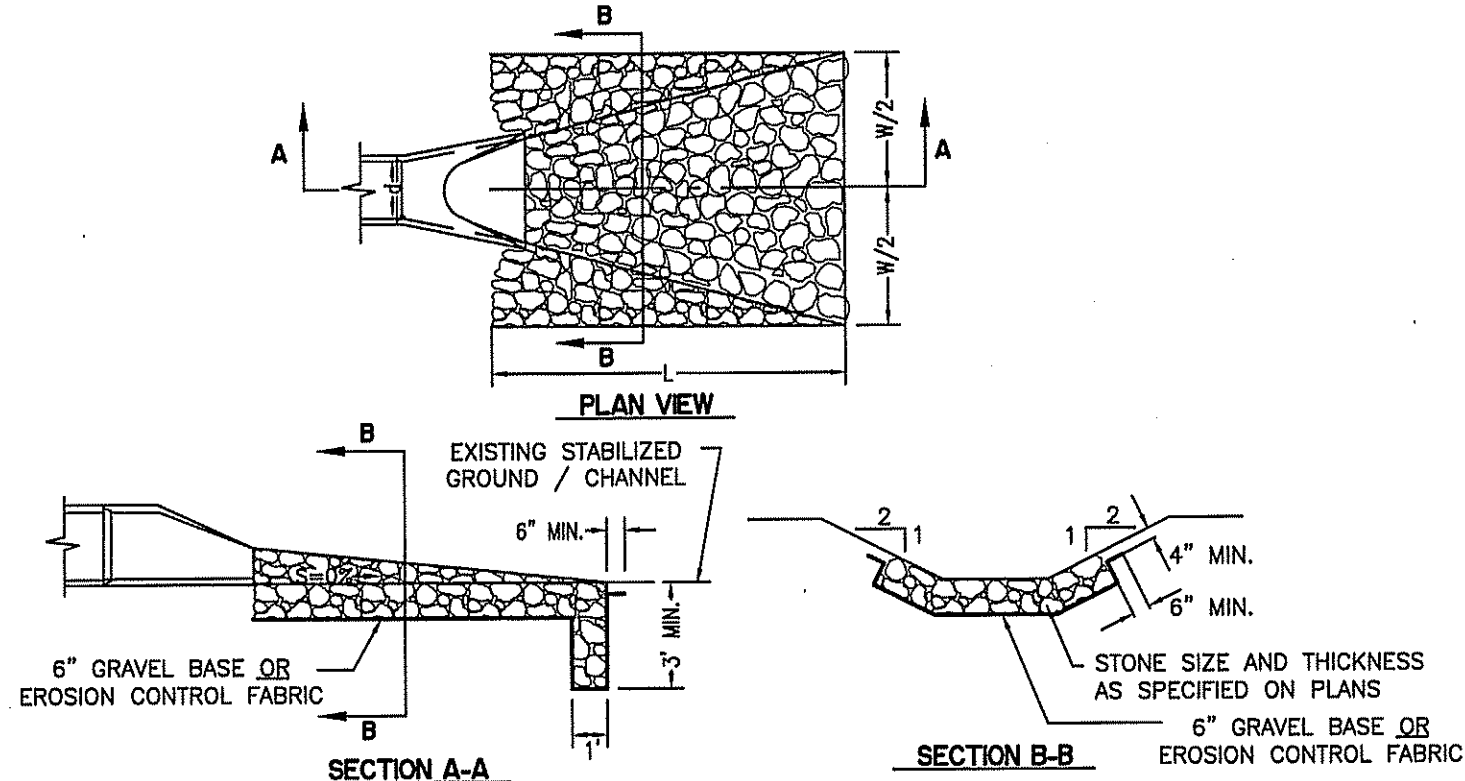
TREATMENT SWALE

6
D-2



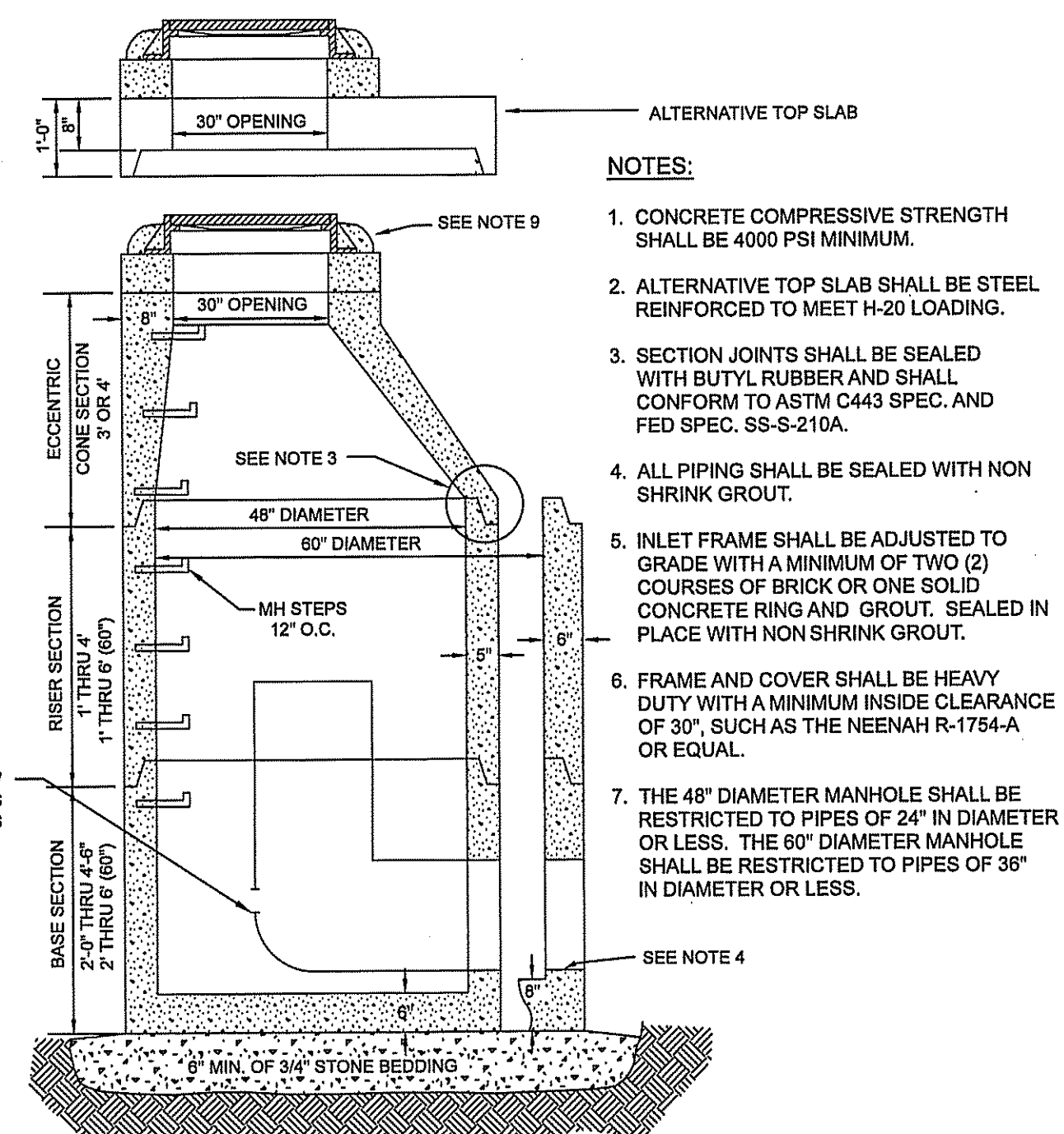
PREFORMED SCOUR HOLE

7
DT-2



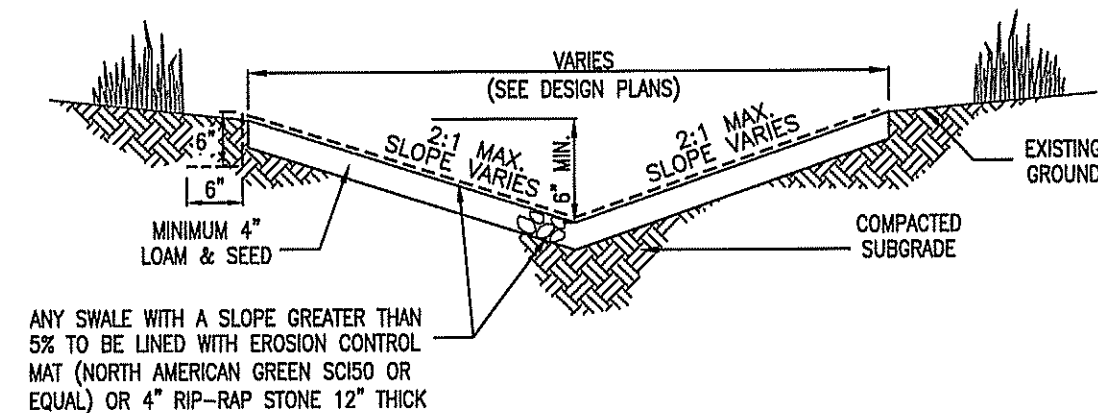
FLARED END SECTION (FES)

8
DT-2



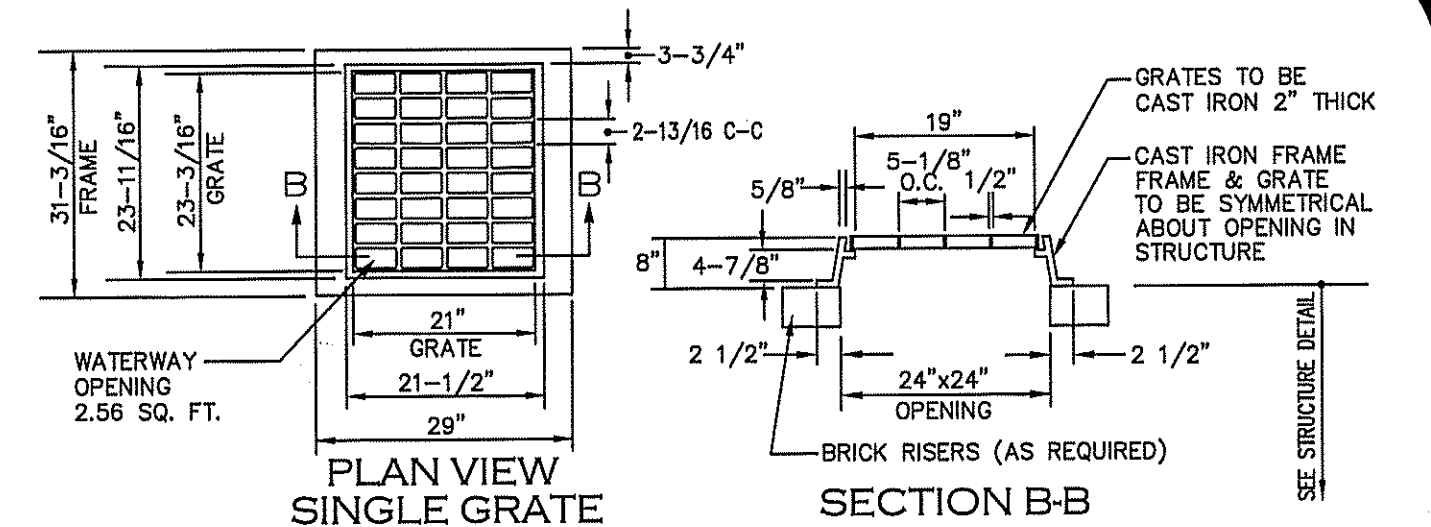
4' DIA. MANHOLE - STORM DRAIN (DMH 2, 4 & 5)

9
DT-2



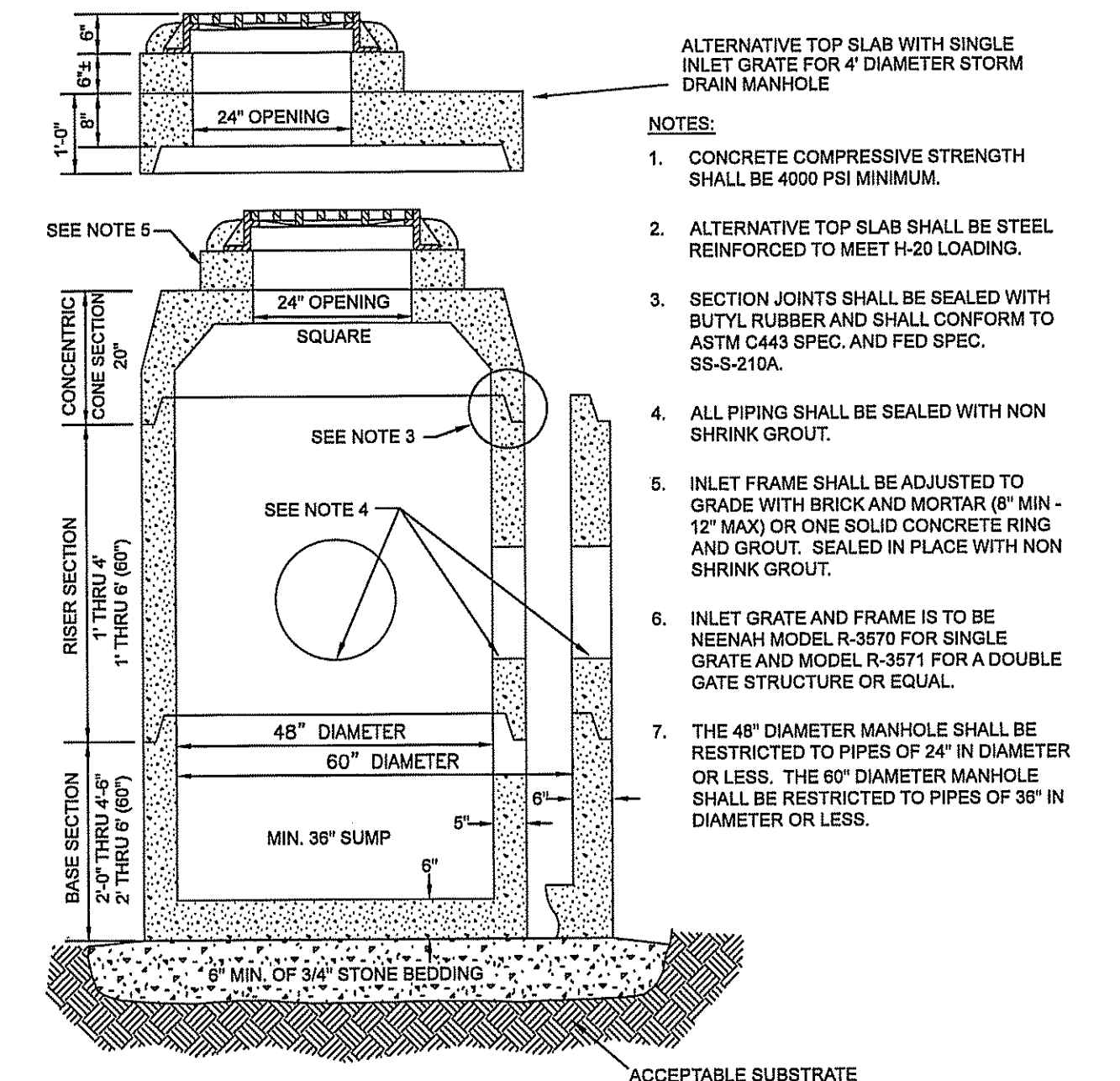
TYPICAL SWALE DETAIL

10
DT-2



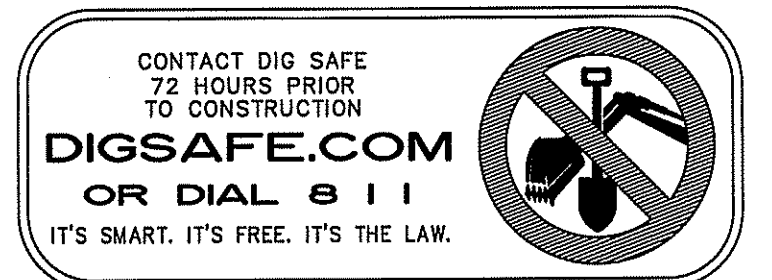
FRAME AND GRATE - NHDOT TYPE B

11
DT-2



CATCH BASIN

12
DT-2



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG I REVIEW COMMENTS		BLR	CEB

CONSTRUCTION DETAILS TAX MAP 114 LOT 8 (303 & 305 NORTH MAIN STREET) ROCHESTER, NEW HAMPSHIRE PREPARED FOR:

PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103-4138

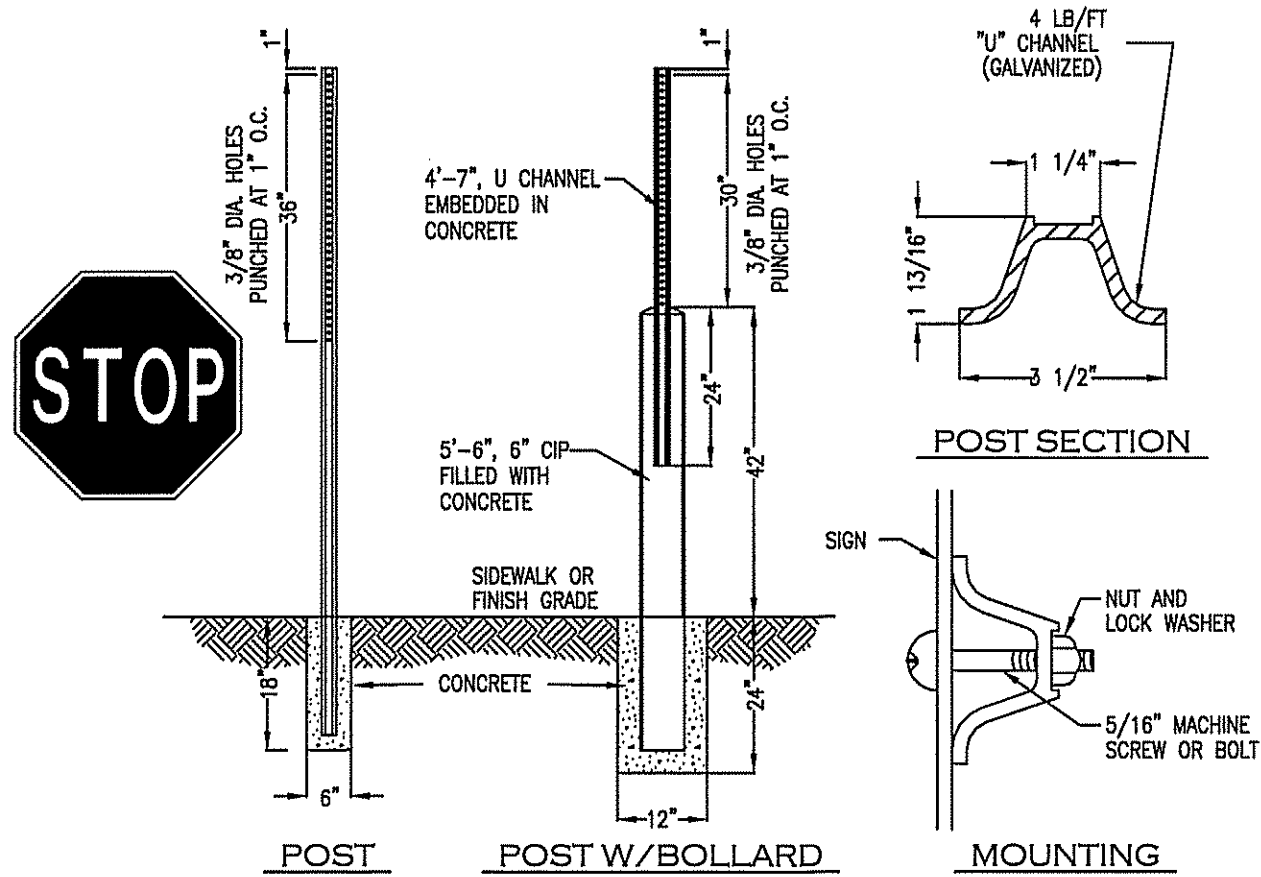
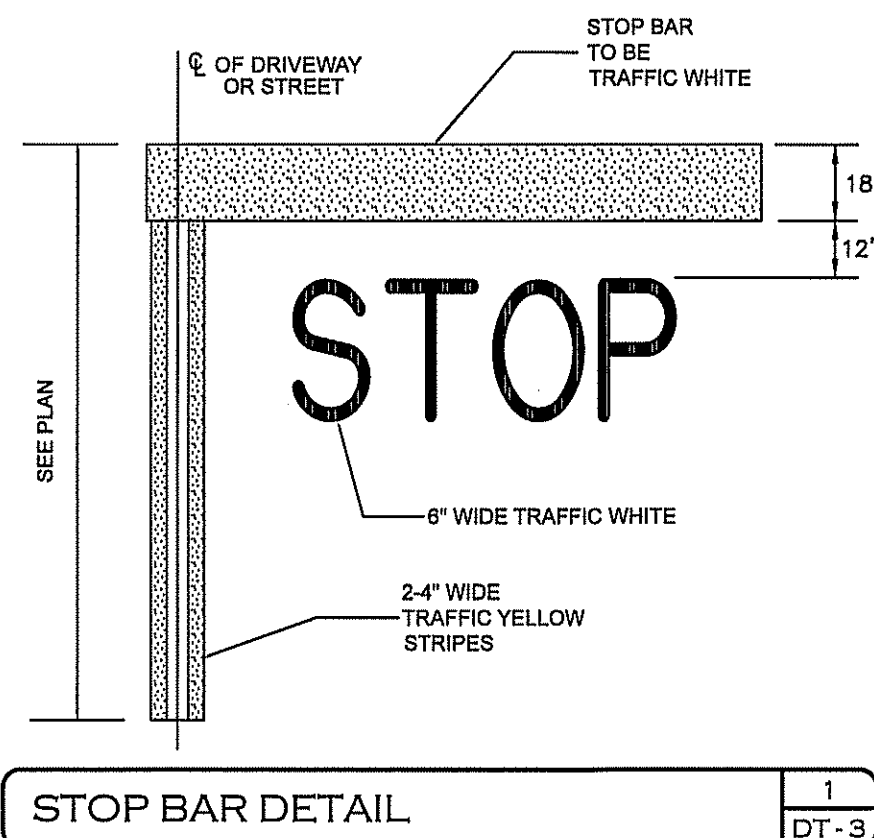
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NOVEMBER 17, 2023

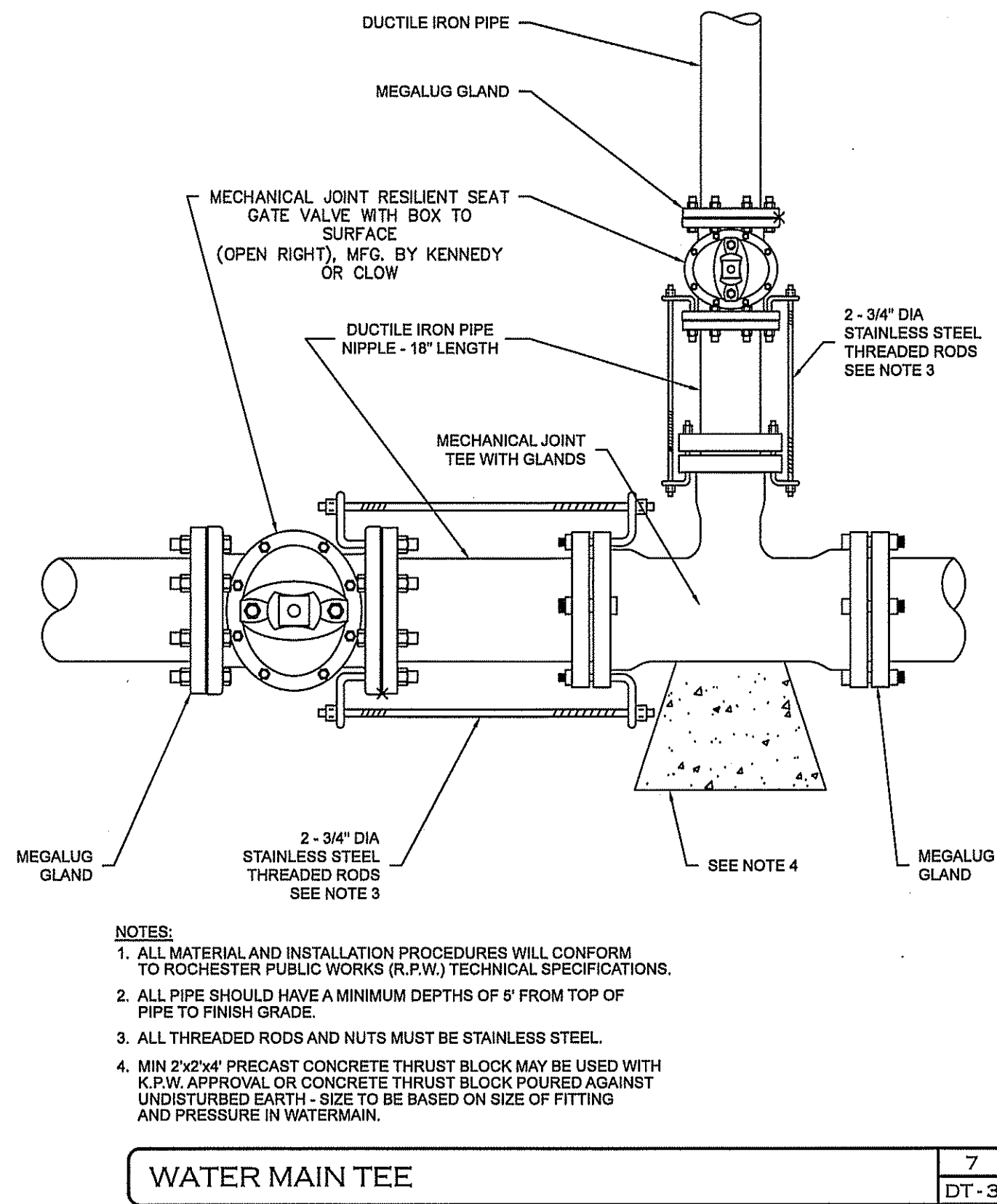
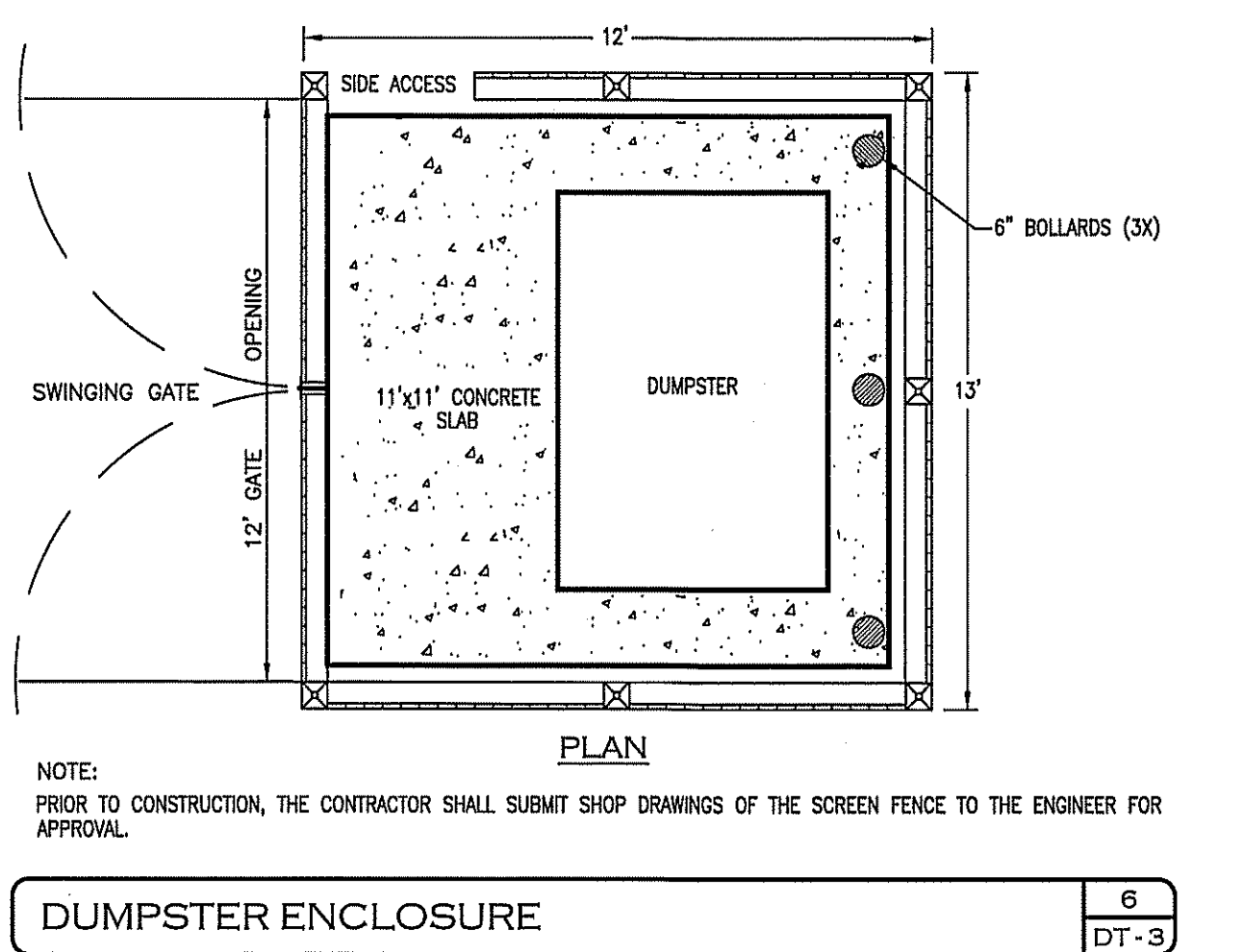
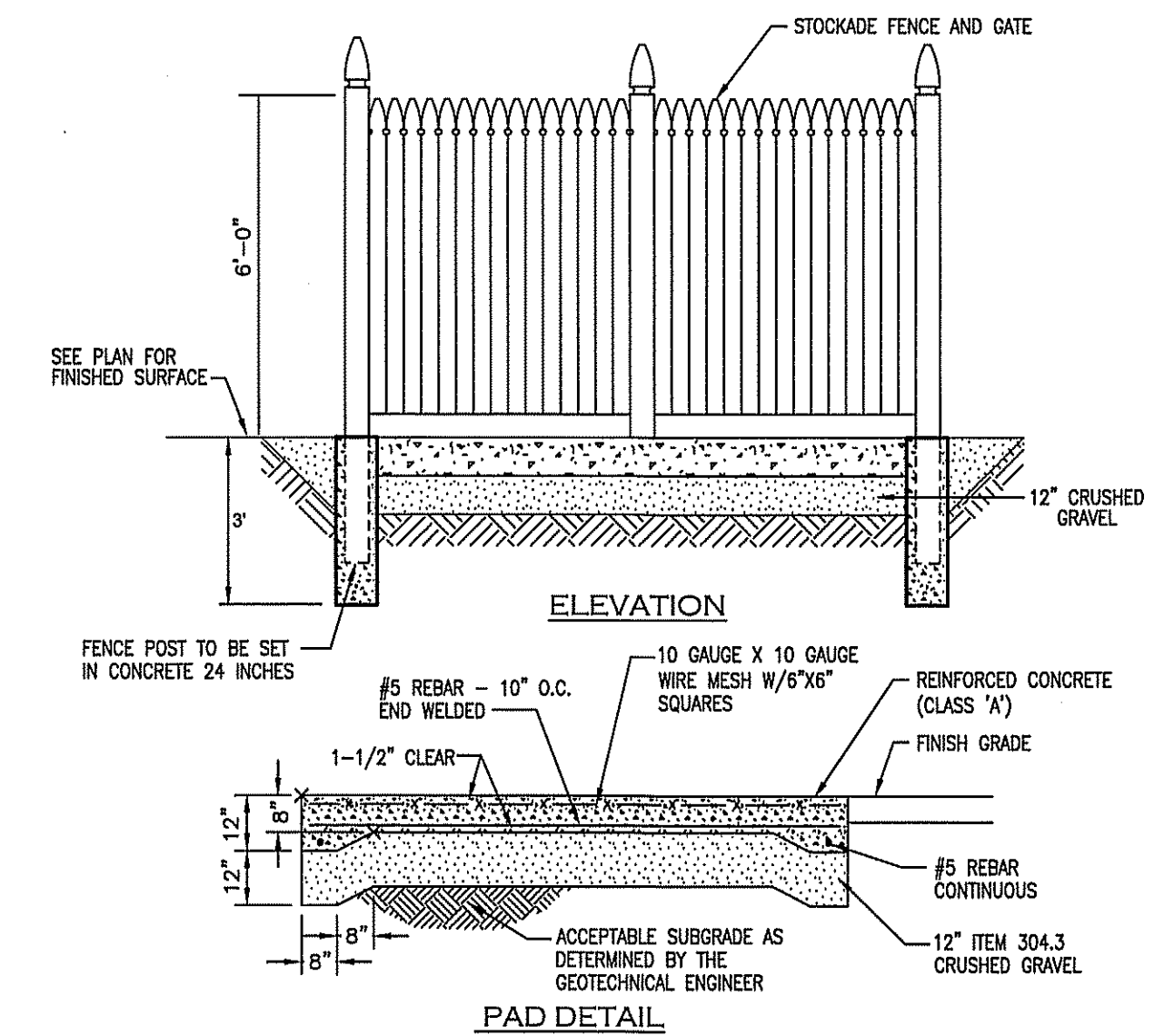
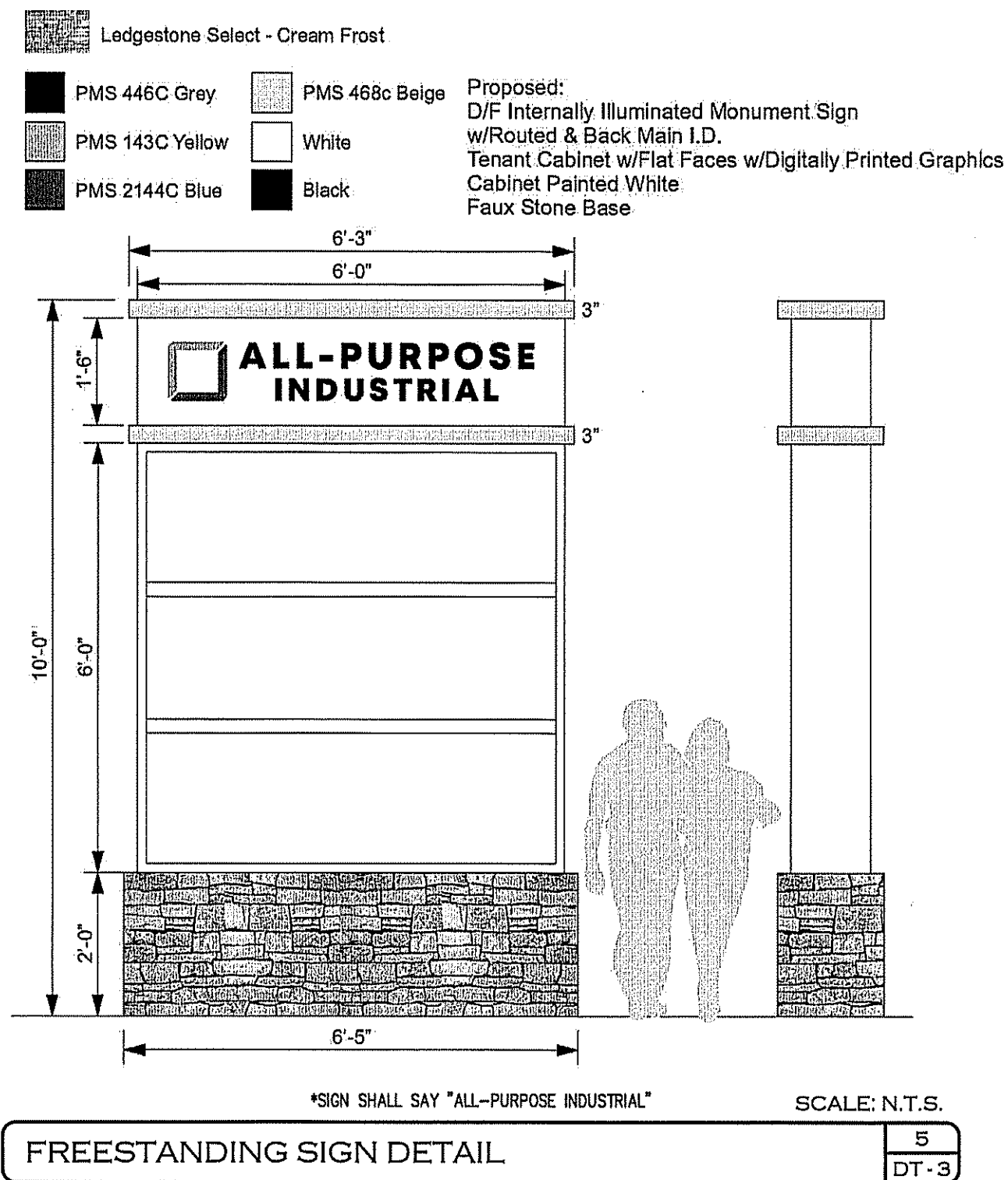
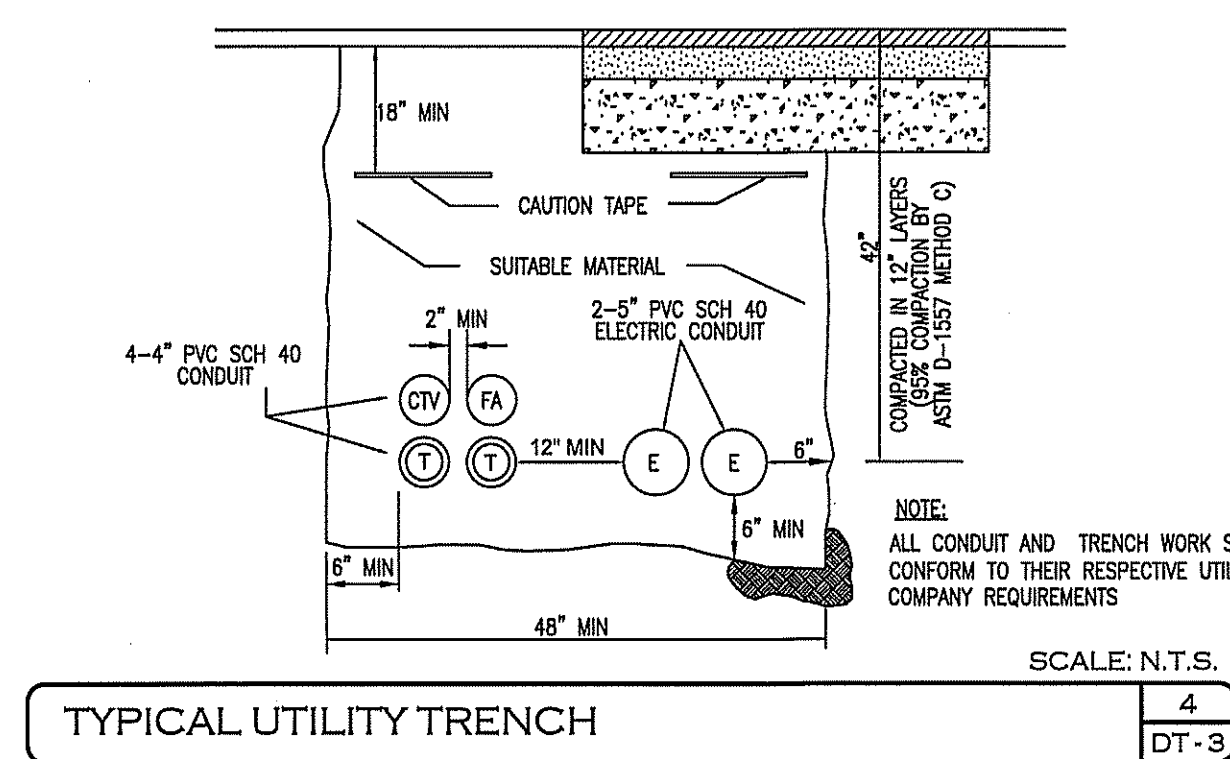
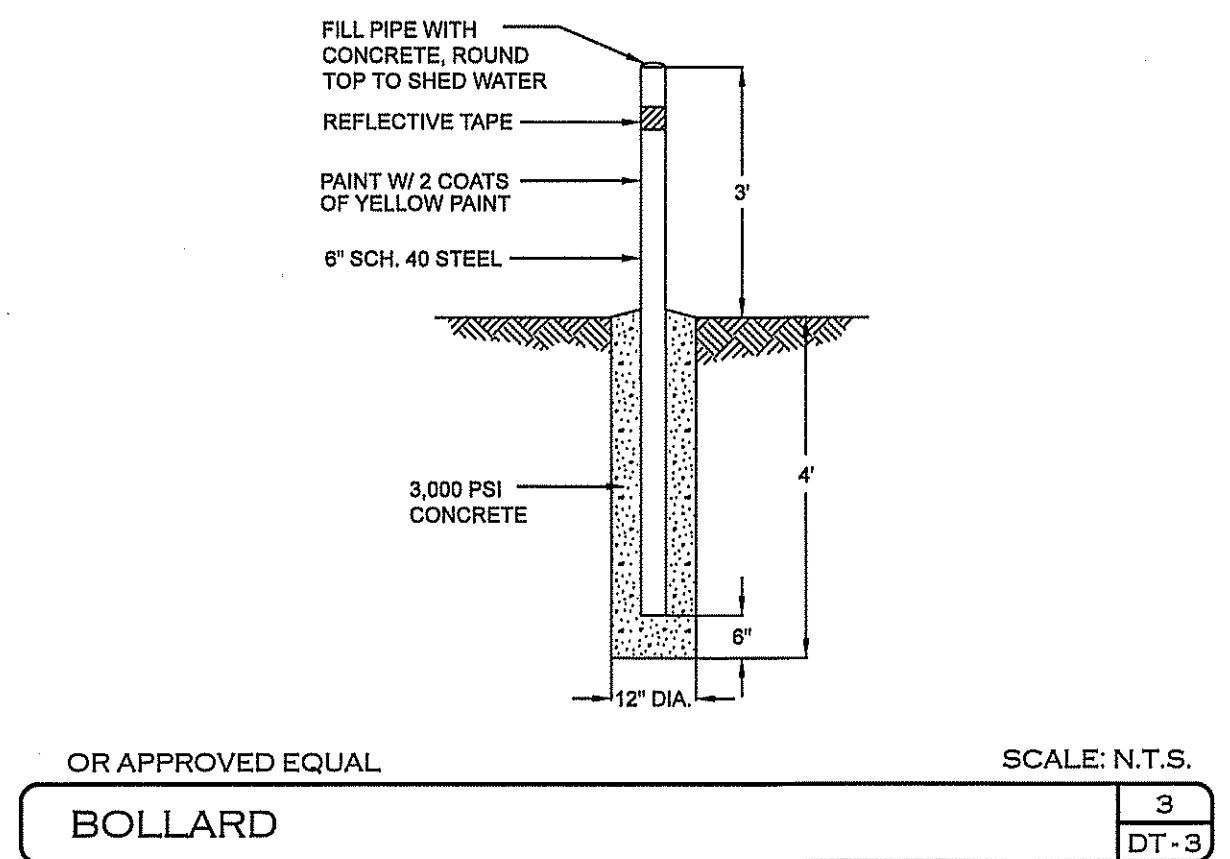
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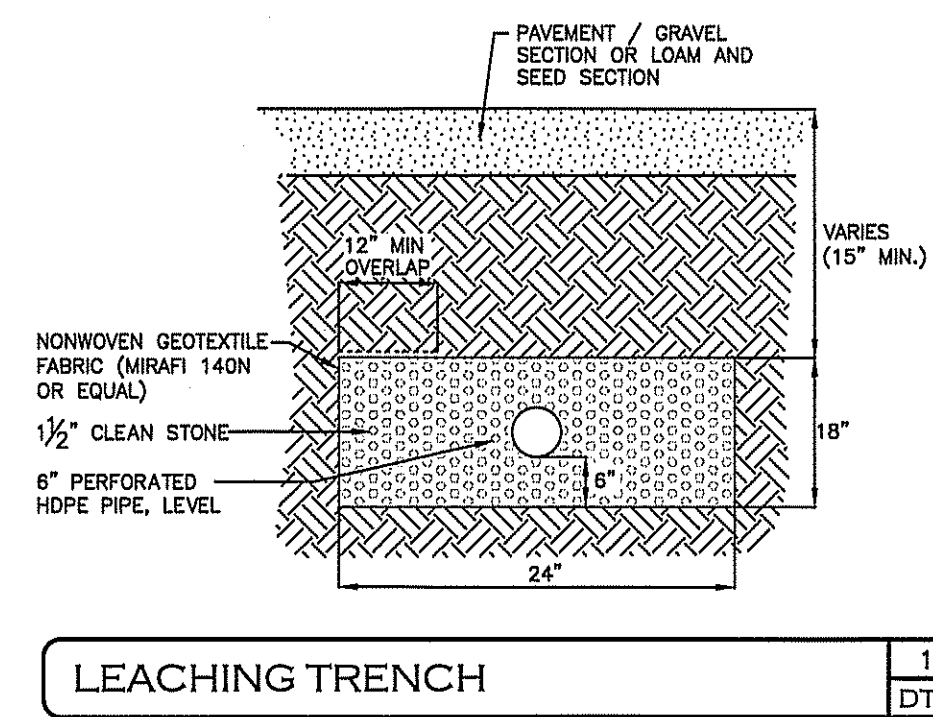
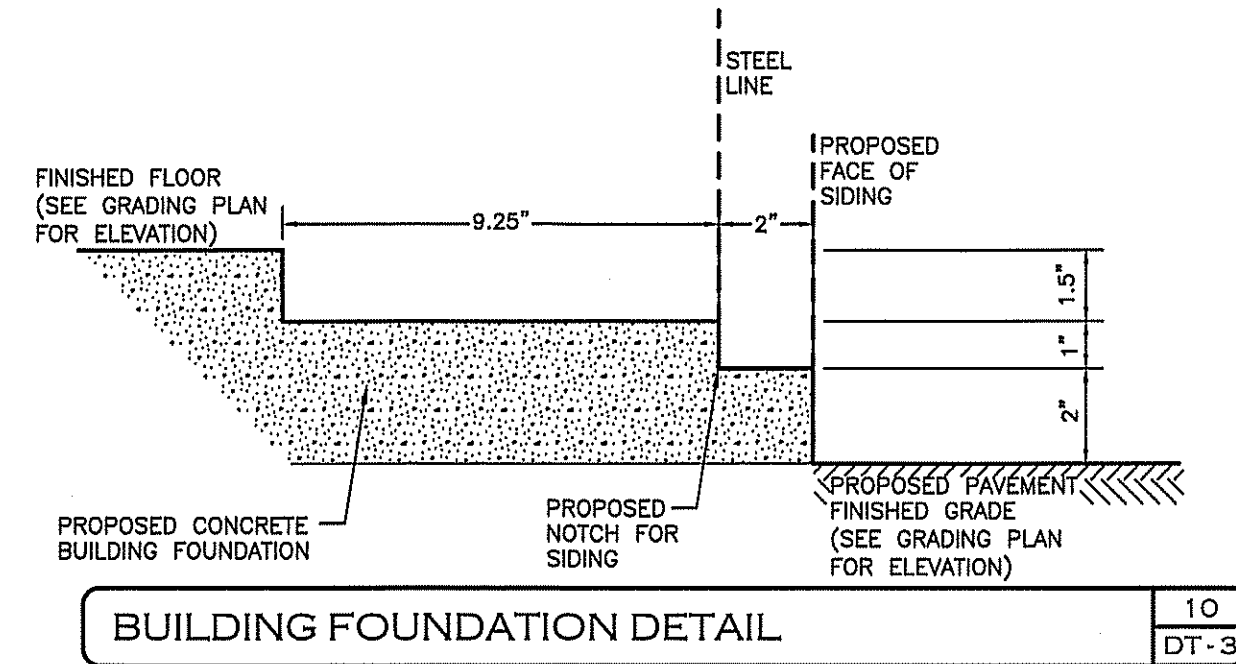
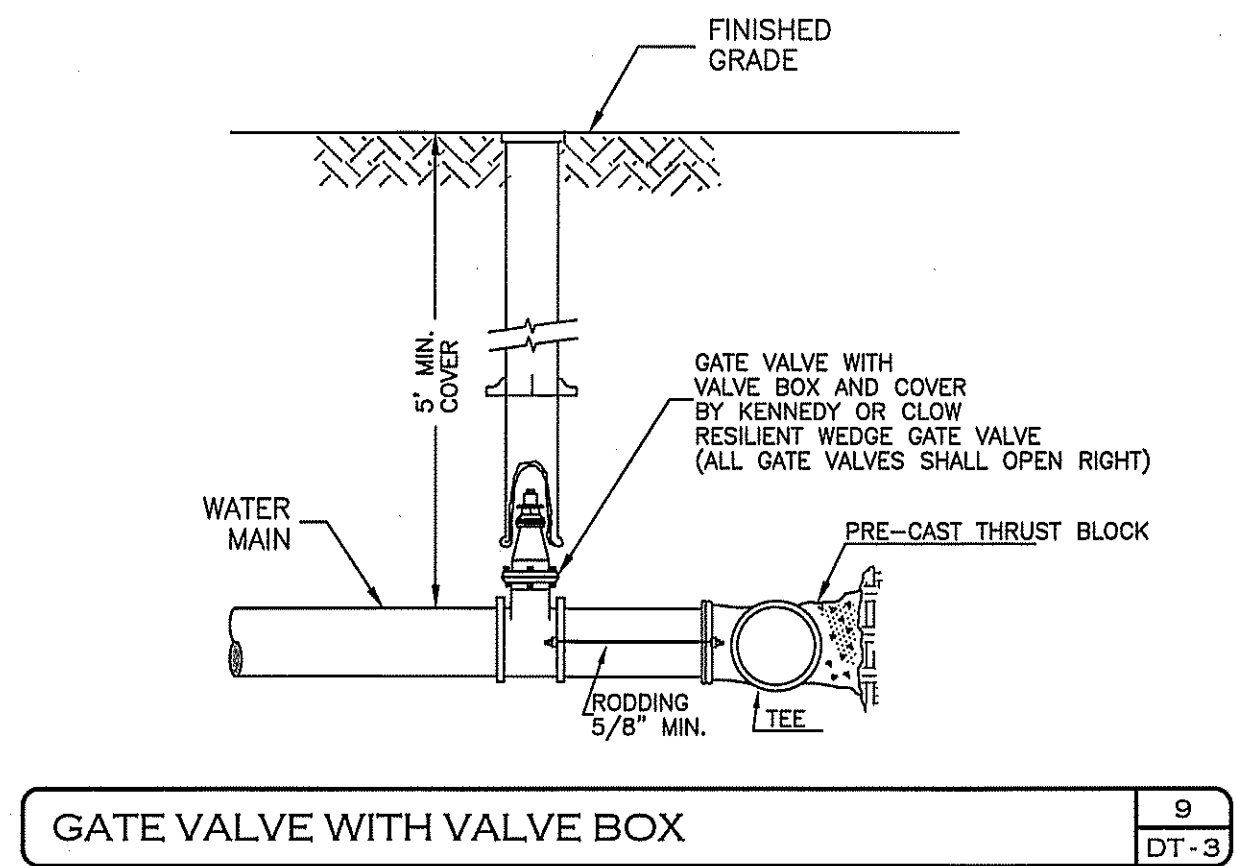
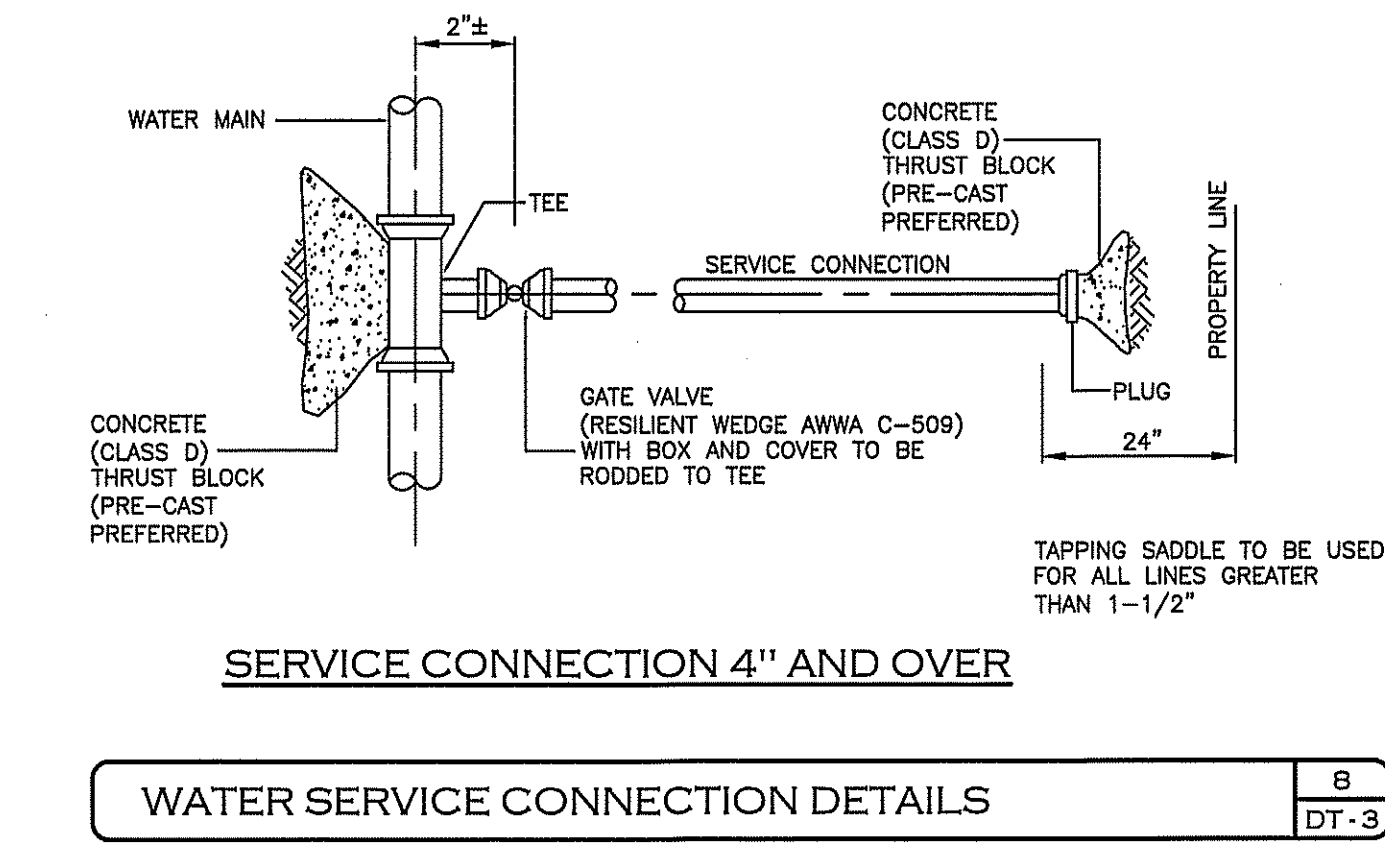
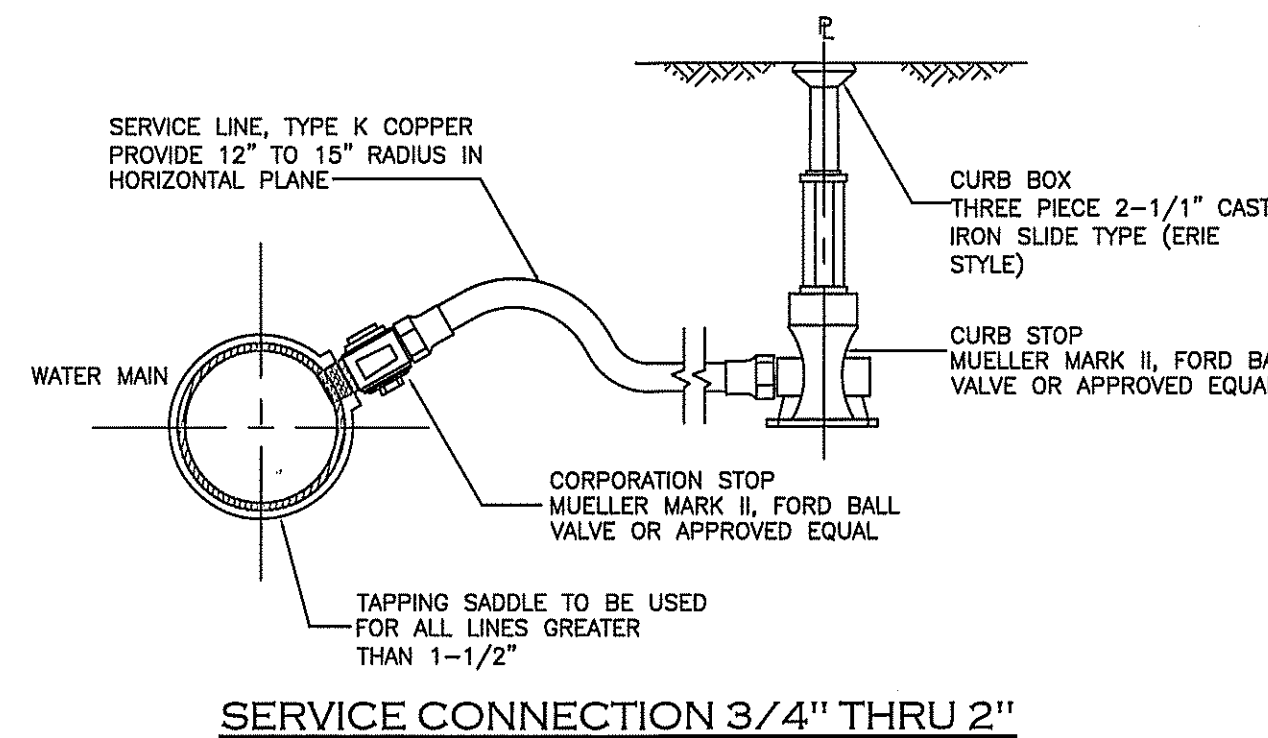
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SIGN POST - STANDARD & W/ BOLLARD



WATER MAIN TEE



REV.	DATE	DESCRIPTION	C/O	DR	CK
C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
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CONSTRUCTION DETAILS
TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE LAS VEGAS, NV 89103-4138

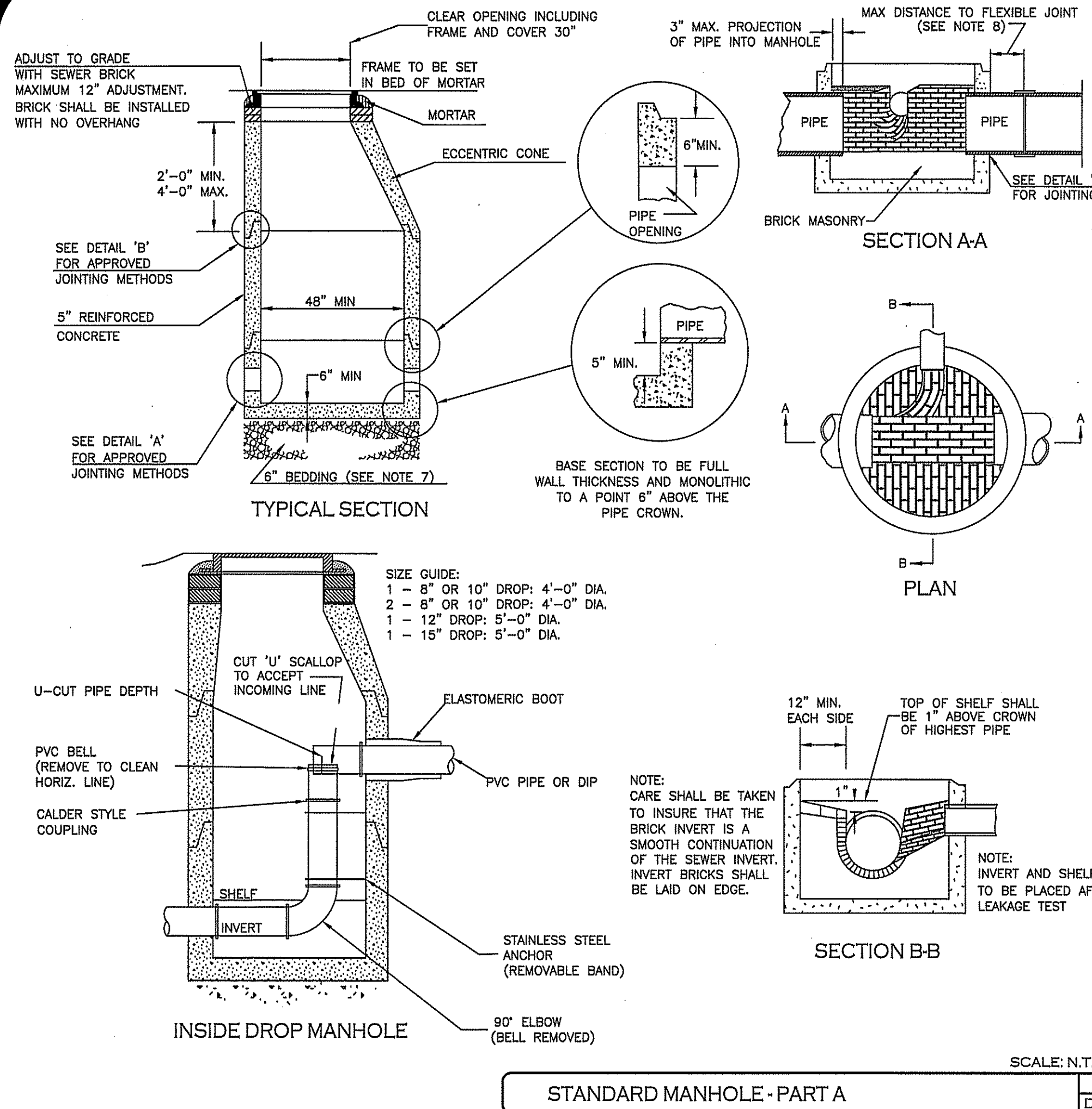
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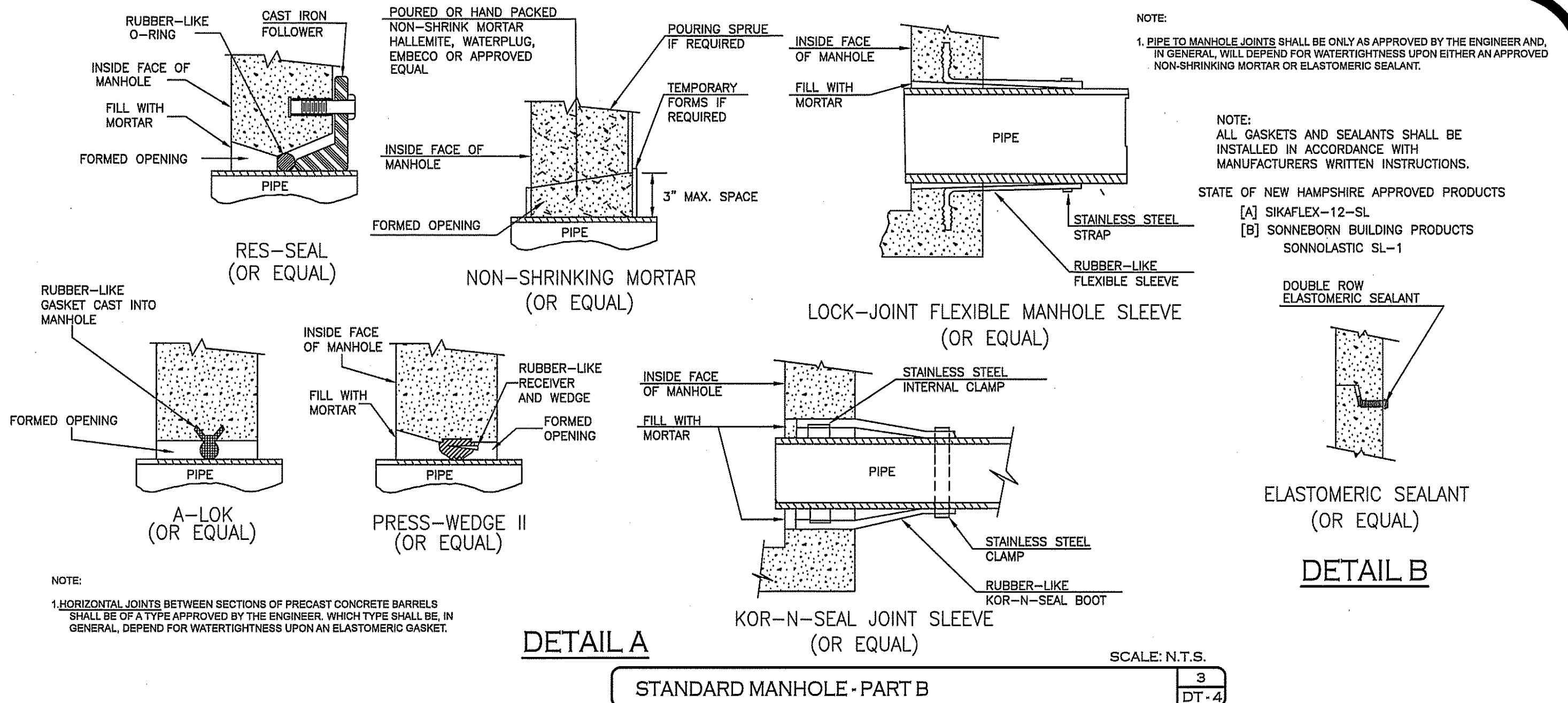
FIELDSTONE
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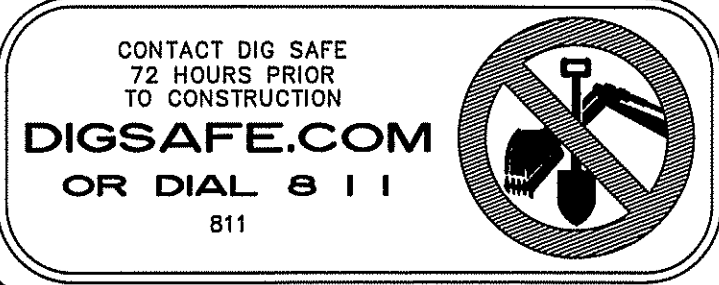
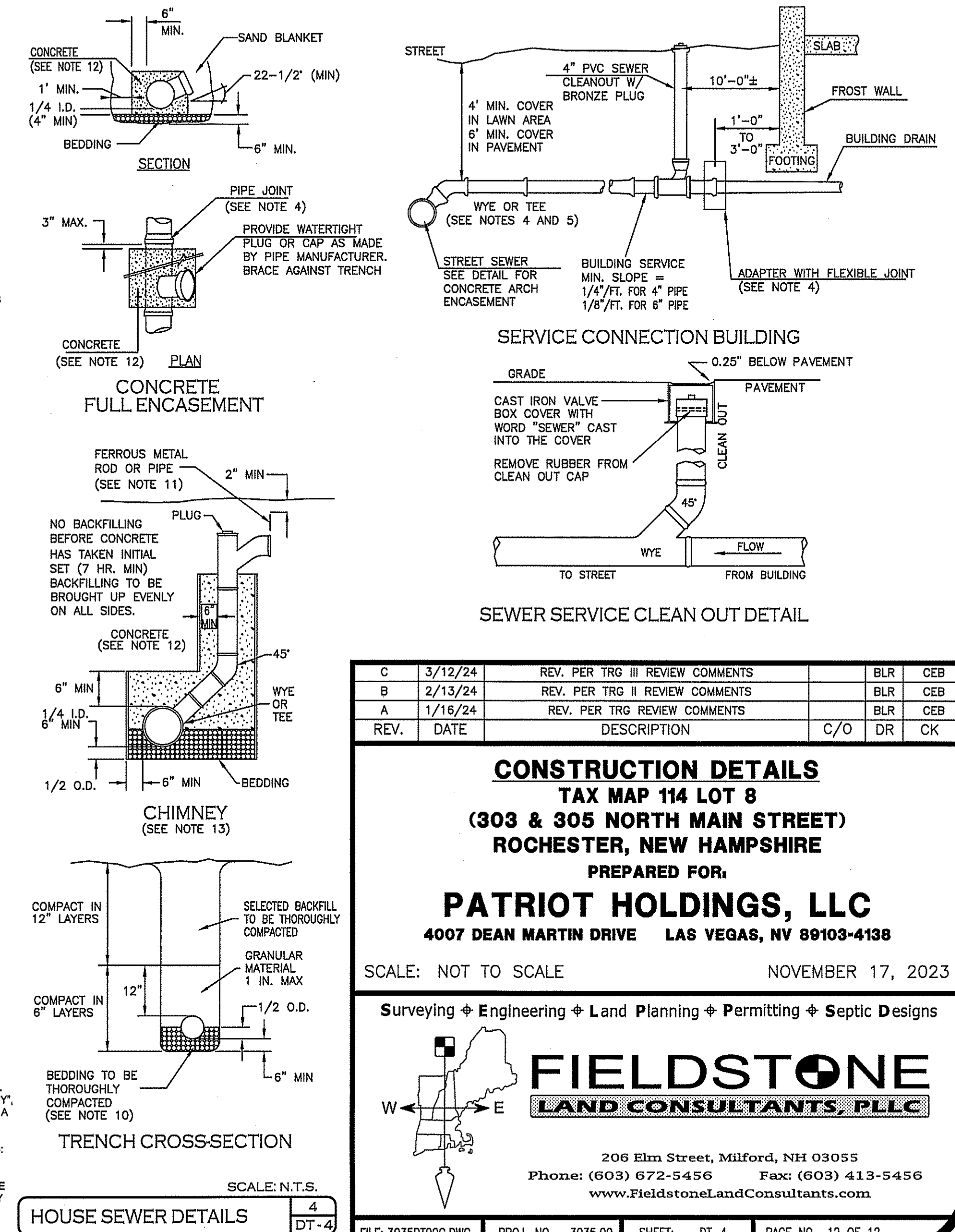


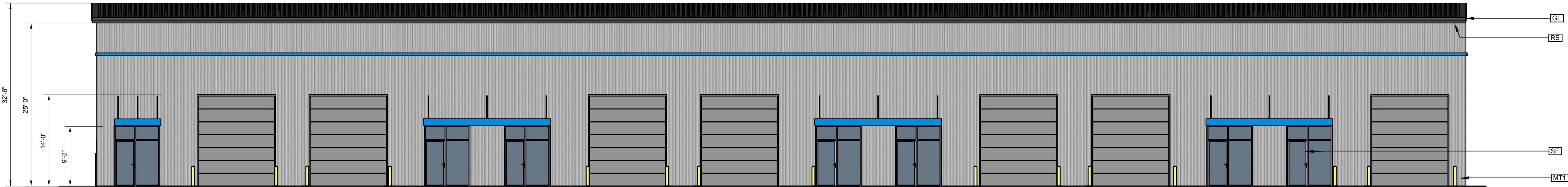
- NOTES:**
- IT IS INTENDED THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING PER ENR-WQ 704.10 (d). IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 - BARRELS AND CONE SECTIONS: SHALL BE PRECAST REINFORCED CONCRETE
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C 478.
 - BASE SECTIONS: SHALL BE MONOLITHIC TO A POINT 6" ABOVE THE CROWN OF THE INCOMING PIPE, AND SHALL BE PRE-CAST REINFORCED CONCRETE.
 - INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE DIRECTION OF FLOW. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE. CROWN AND SLOPE TO DRAIN TOWARD THE FLOW THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN EQUAL TO CLASS 30, CONFORMING TO ASTM A48 AND PROVIDE A 30 INCH CLEAR OPENING. THE COVERS SHALL BE THE WORD "SEWER" IN 3 INCH HIGH LETTERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 SIZE #67.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE. SCREENED GRAVEL OR CRUSHED STONE 1-1/2 TO 1/4 INCH SHALL BE USED.
 - FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
 - RCP & CI PIPE - ALL SIZES - 48"
 - PVC PIPE - UP THROUGH 15" DIAMETER - NO FLEXIBLE JOINT REQUIRED
 - SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED. IT MUST HAVE AN ECCENTRIC ENTRANCE OPENING AND BE CAPABLE OF SUPPORTING H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE SEALED WITH A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT IN ACCORDANCE WITH ENR-WQ 704.10 (f). A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
 - ALL SEWER JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
 - MATERIAL REQUIREMENTS FOR BRICK AND MORTAR SHALL CONFORM TO ENR-WQ 704.10 (g) (8) THROUGH (14).
 - CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS PER CUBIC YARD
 - WATER: 5.75 GALLONS PER BAG OF CEMENT
 - MAXIMUM AGGREGATE SIZE: 1 INCH
 NOTE: ANY SEWER PIPE TO BE ENCASED MUST BE MADE OF DUCTILE IRON.



- NOTES:**
- MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
 - PIPE AND JOINT MATERIALS
 - A. PLASTIC SEWER PIPE
 - 1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

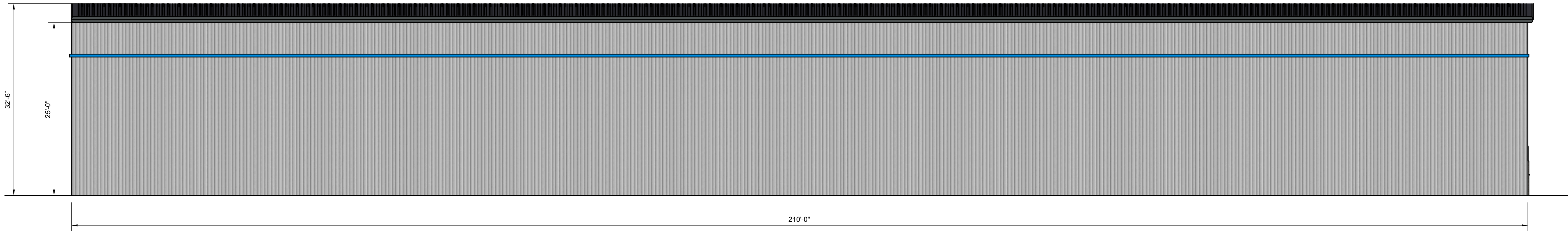
ASTM STANDARD	GENERIC MATERIAL	SIZES APPROVED
D3034	PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F797	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F798	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (ROBBER WALL)	8" THROUGH 36"
D2680	ABS (COMPOSITE WALL)	8" THROUGH 15"
 - "PVC: POLY VINYL CHLORIDE
 - "ABS: ACRYLONITRILE-BUTADIENE-STYRENE
 - JOINTS SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE. ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2880, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 22). JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2880, FORMING A CHEMICAL WELDED JOINT.
 - DUCTILE IRON PIPE, FITTINGS AND JOINTS
 - 1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-538 DUCTILE IRON CASTINGS
 - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
 - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
 - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS.
 - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
 - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATERTIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.
 - "T" AND "Y" WHERE "T" OR "Y" IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE IN THE SEWER, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPOXY CEMENTED SADDLE TAPPING INTO A SMOOTHLY DRILLED OR SAWN OPENING. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH (OR OTHER SUCH MATERIAL) AROUND THE JOINT OR APPLYING MORTAR TO HOLD THE CONNECTION AND ANY OTHER SIMILAR CRACK PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL, UP TO AND INCLUDING 15" DIAMETER.
 - HOUSE SEWER INSTALLATION THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL, AS SPECIFIED IN NOTE 1. BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES. THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE HOUSE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
 - TESTING THE COMPLETED HOUSE SEWER SHALL BE SUBJECT TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS (PRIOR TO BACKFILLING):
 - A. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
 - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE POPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RELAID, SO AS TO ASSURE WATERTIGHTNESS.
 - C. DRY FLUORESCENT DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER. IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE POPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST MANHOLE DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG UP, IF NECESSARY, AND RELAID, SO AS TO ASSURE WATERTIGHTNESS.
 - ILLEGAL CONNECTIONS NOTHING BUT SANITARY WASTE FLOW FROM THE HOUSE TOILETS SINKS, LAUNDRY, ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
 - HOUSE WATER SERVICE SHALL NOT BE LAID IN THE SAME TRENCH AS THE SEWER SERVICE.
 - BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33-97.
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-55% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING #4 SIEVE
 - 0-5% PASSING #6 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE (1-1/2 TO 1/2 INCH) SHALL BE USED.
 - LOCATION THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y", AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE.
 - CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
 - CEMENT: 6.0 BAGS/C.Y. WATER: 5.75 GALS/BAG CEMENT
 - CHIMNEYS IF VERTICAL DROP INTO THE SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.





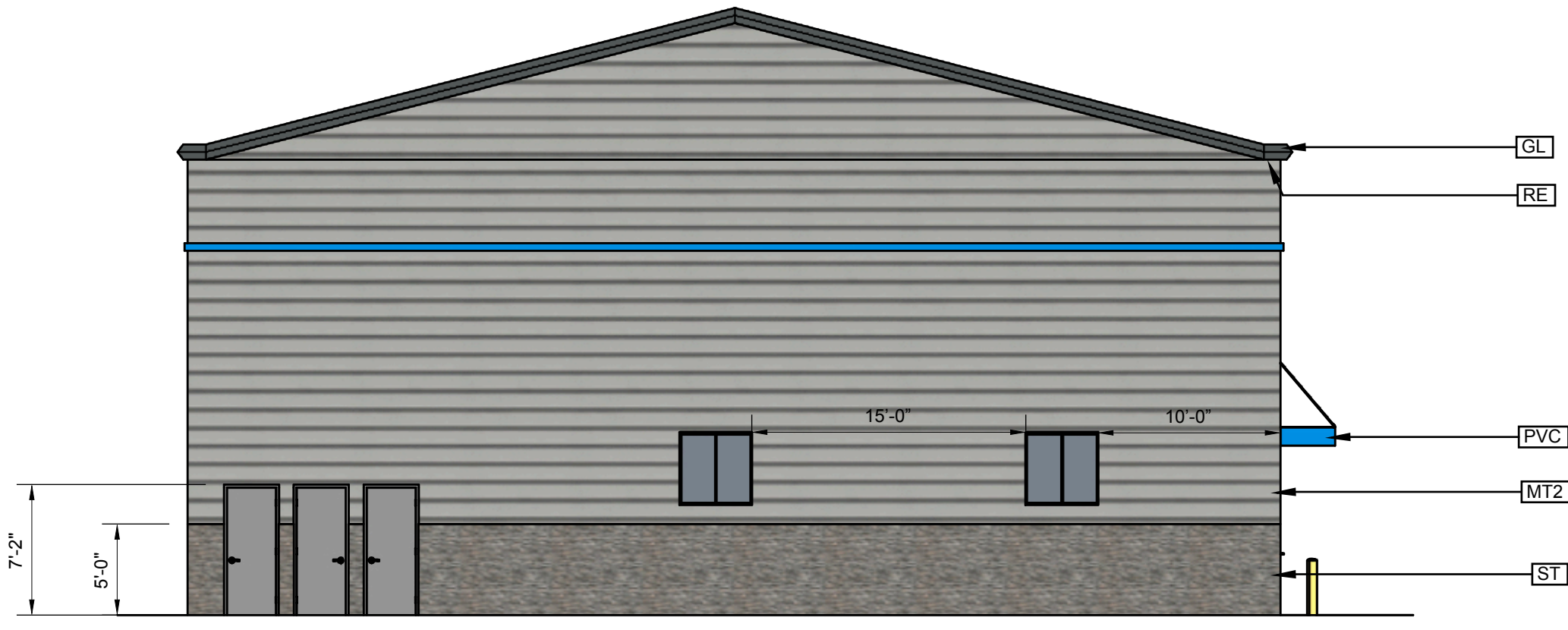
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A1

NORTH ELEVATION
scale: 1/8"=1'-0"



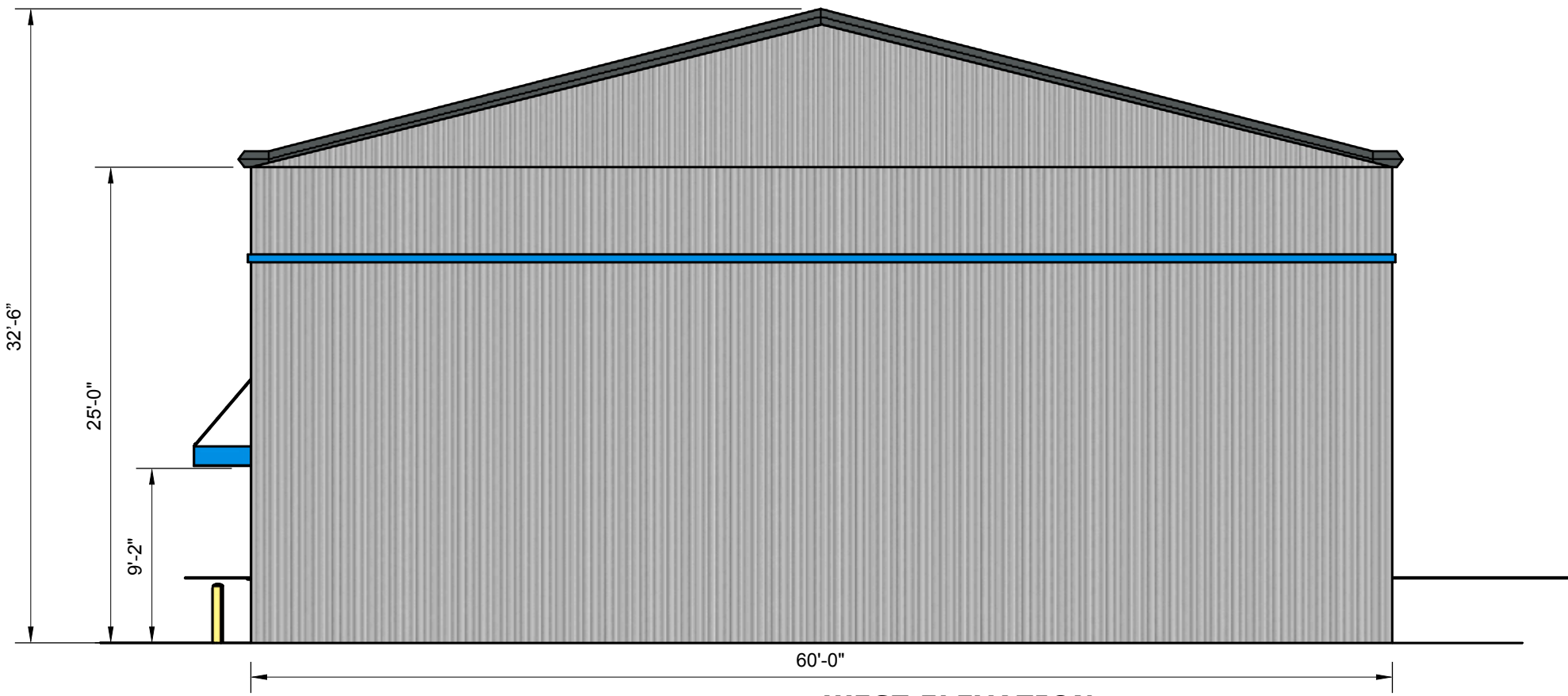
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A1

SOUTH ELEVATION
scale: 1/8"=1'-0"



3
A1

EAST ELEVATION
scale: 1/8"=1'-0"



4
A1

WEST ELEVATION
scale: 1/8"=1'-0"

MATERIAL	CODE NO.	MANUFACTURER	COLOR/FINISH
METAL SIDING	MT1	TBD	ASH GRAY HEX#B2BE85
ROOF EDGE	RE	TBD	CHARCOAL GRAY HEX#3C4142
ALUMINUM STOREFRONT	SF	TBD	POLISHED ALUMINUM
PVC TRIM/ AWNING	PVC	AZEK	PMS 2144C BLUE
GALVALUME	GL	TBD	CHARCOAL GRAY HEX#3C4142
VINYL SIDING	MT2	TBD	ASH GRAY HEX#B2BE85
FAUX STONE	ST	TBD	APPALACHIAN GRAY

NOTES
ALL DIMENSIONS ARE APPROXIMATE.
ALL MEASUREMENTS TO BE FIELD VERIFIED
AND ADJUSTED ACCORDINGLY PRIOR
TO CONSTRUCTION

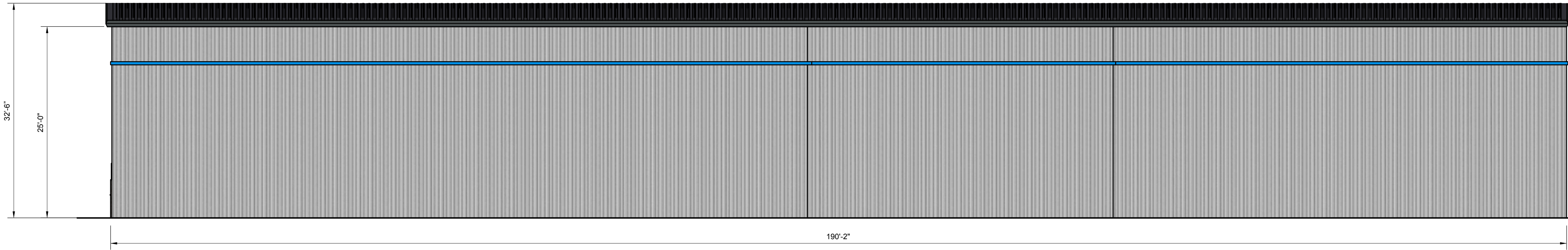
CLIENT
PATRIOT HOLDINGS
4007 DEAN MARTIN DRIVE
LAS VEGAS, NEVADA 89103

PROJECT
ROCHESTER
PROJECT NO.
N/A

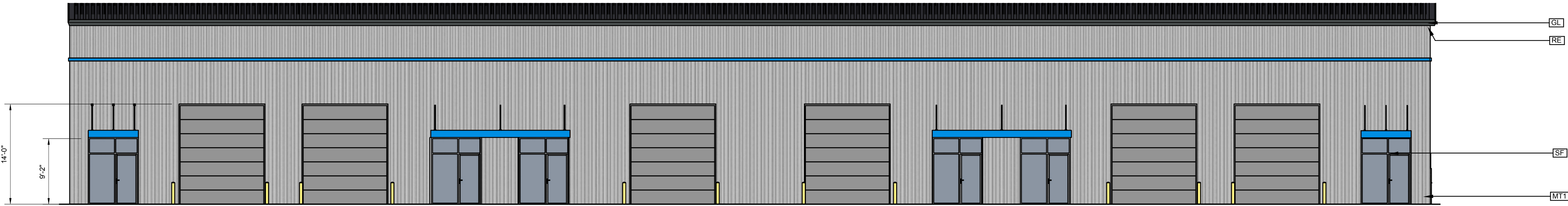
ISSUE
February 12, 2024
DRAWN BY
J.H.

BUILDING 1

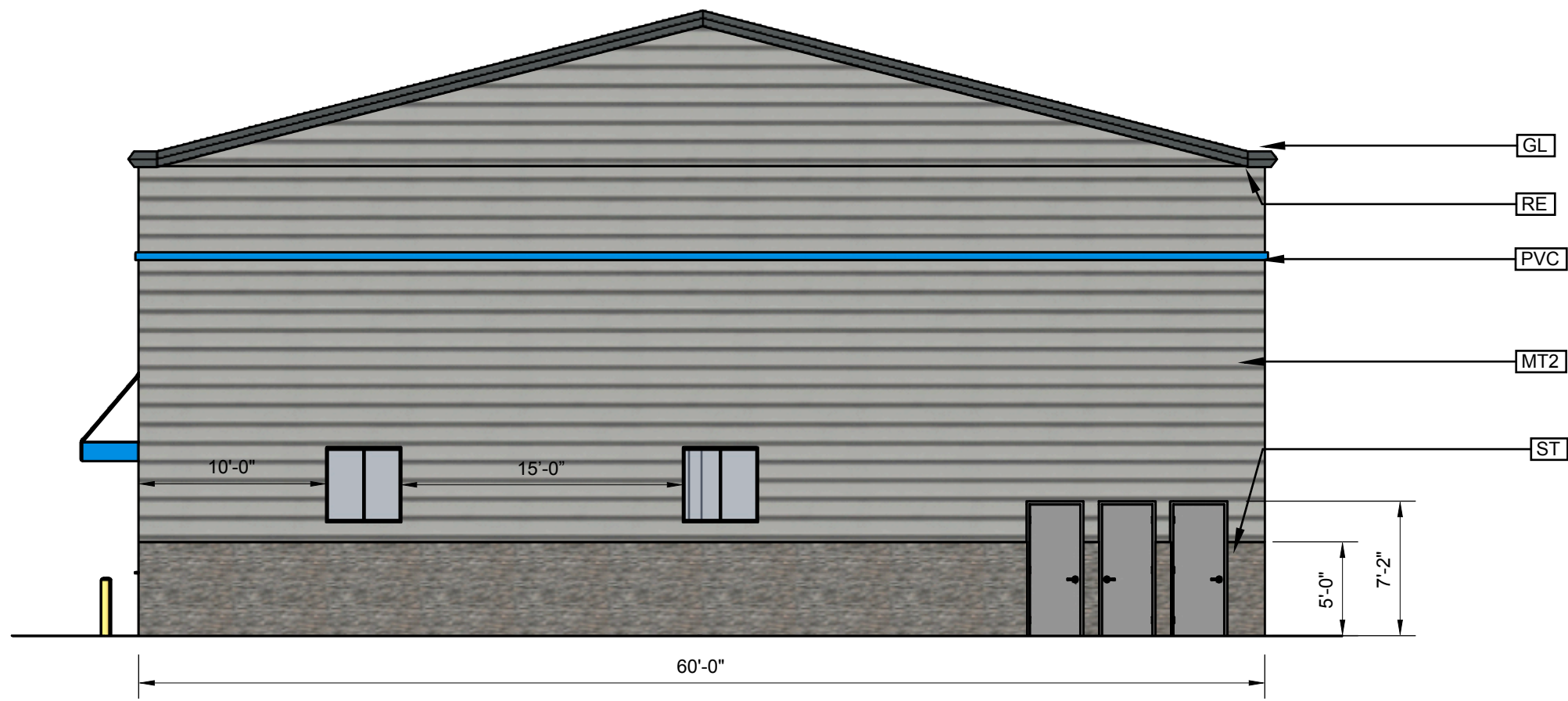
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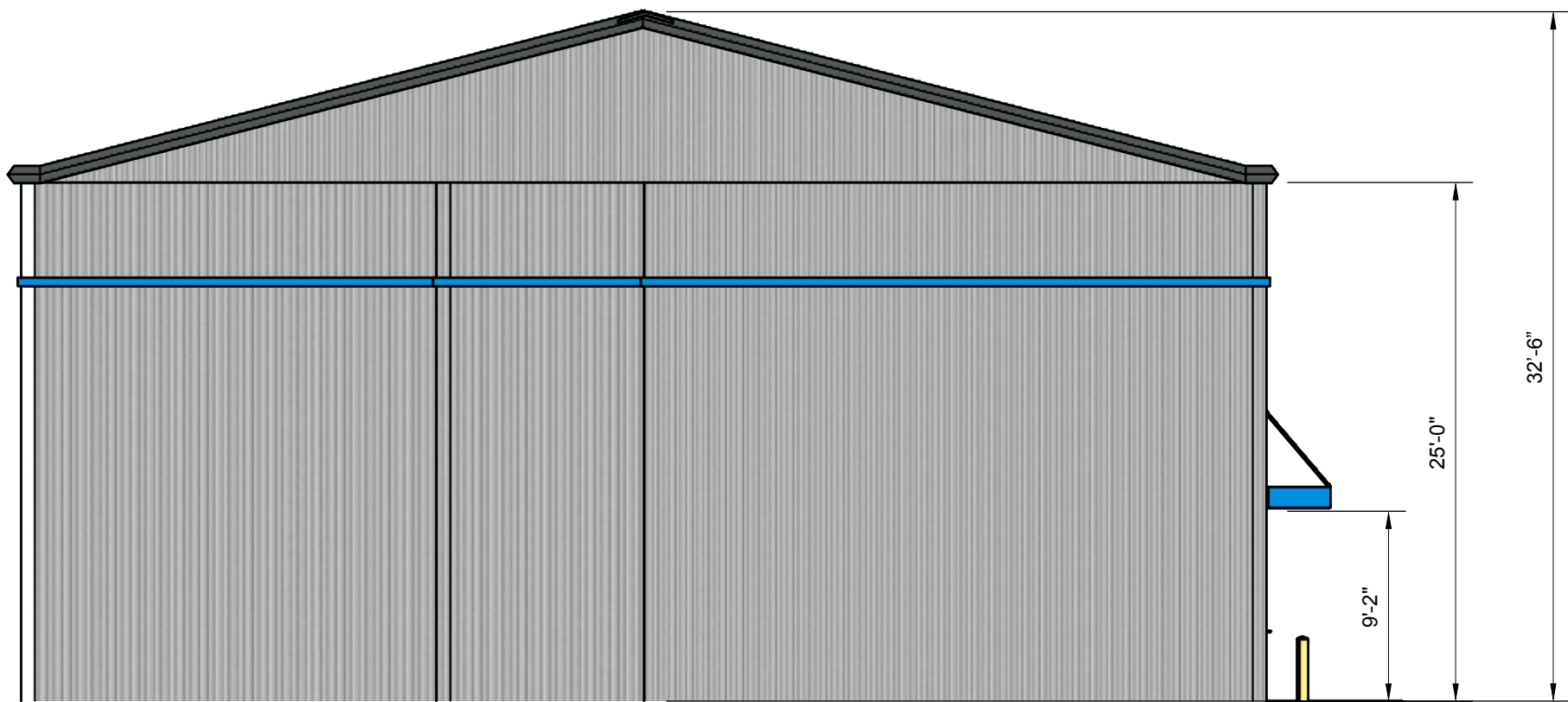
NORTH ELEVATION
scale: 1/8"=1'-0"



SOUTH ELEVATION
scale: 1/8"=1'-0"



EAST ELEVATION
scale: 1/8"=1'-0"



WEST ELEVATION
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MATERIAL	CODE NO.	MANUFACTURER	COLOR/FINISH
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NOTES
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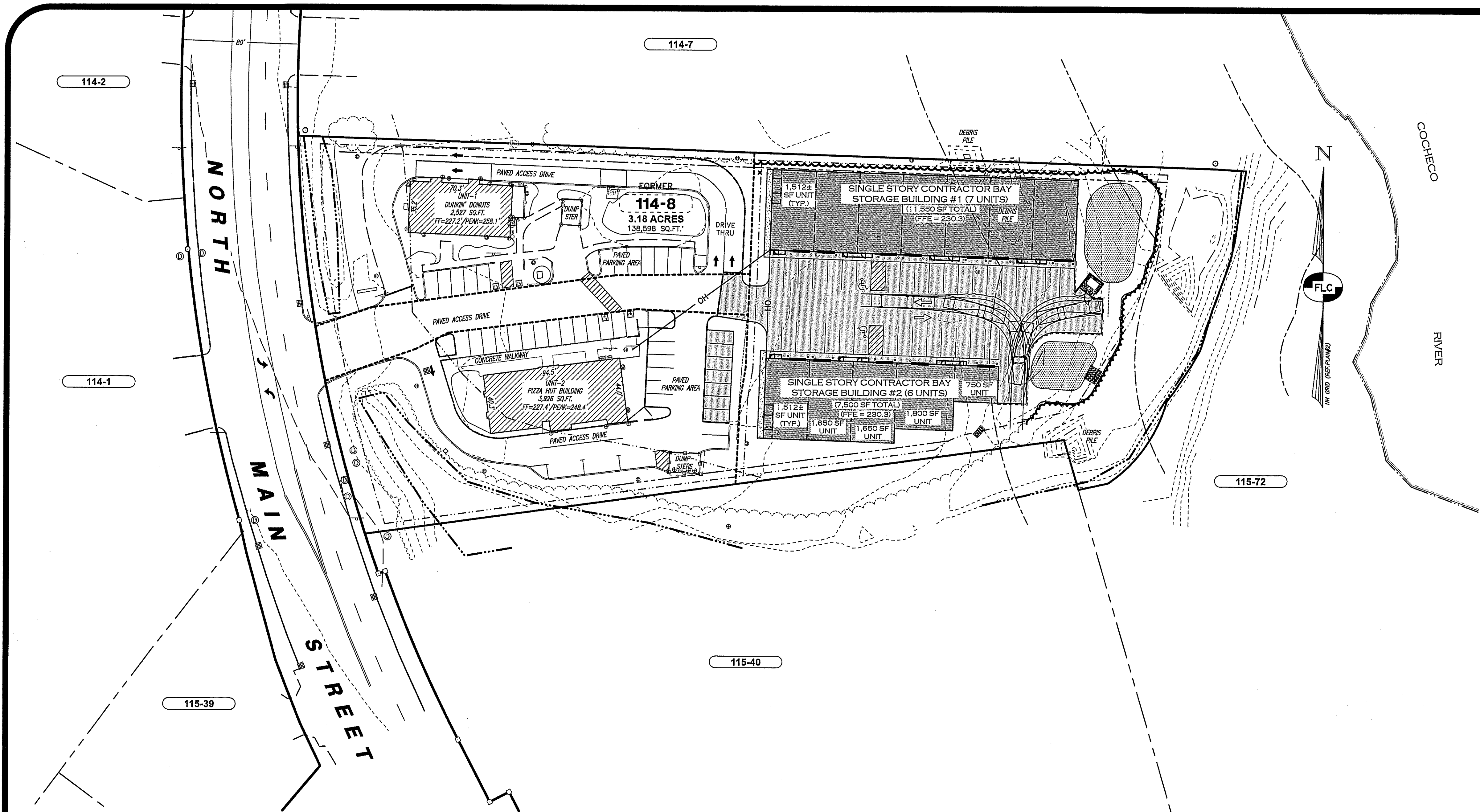
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J.H.

BUILDING 2

A2



LEGEND:

EXISTING FEATURES

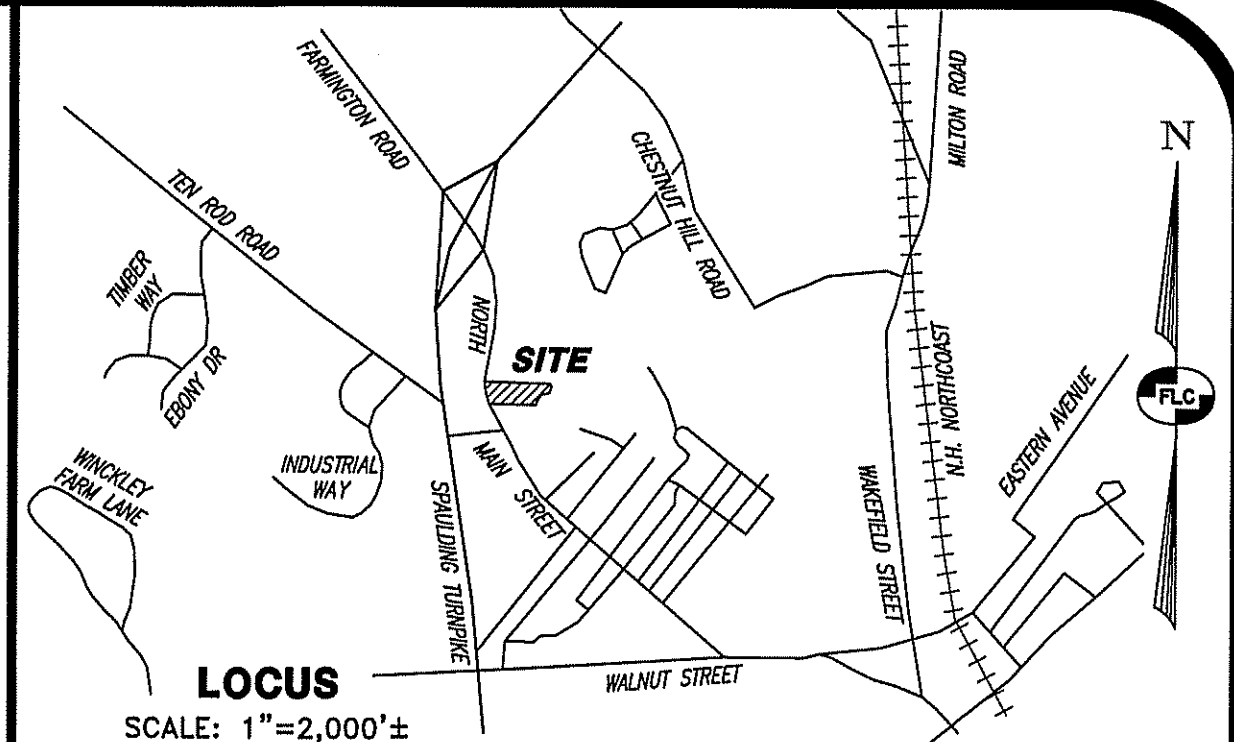
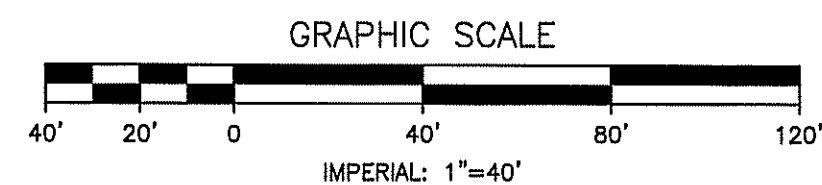
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- LIMITS OF COMMON AREA
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- EDGE OF LANDSCAPING
- EXISTING EASEMENT LINE
- CURB LINE
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- CHAIN-LINK FENCE
- STOCKADE FENCE
- ADDRESS ON NORTH MAIN STREET
- EXISTING BUILDING

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CURBLINE (CAPE COD BERM)
- TEMPORARY SILT FENCE
- PARKING LINE
- SAWCUT
- 1 FT. CONTOUR
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- SPOT GRADE ELEVATION
- SPOT ELEVATION AT CURB
- STORM WATER DRAINAGE
- DRAIN MANHOLE
- SILT SOCK FOR ALL CATCH BASINS
- SOIL TEST PIT
- PROPOSED SANITARY SEWER
- CULVERT W/ END SECTION & RIP-RAP
- HYDRANT, GATE VALVE & WATER MAIN
- GAS LINE, PROPANE
- ELECTRICAL TRANSFORMER & UNDERGROUND
- POLE & BUILDING MOUNTED LIGHTS
- SIGN

PROPOSED FEATURES

- ASPHALT PAVED AREA
- STORMWATER BASIN
- BUILDING
- TRAFFIC FLOW (NOT PAINTED ARROWS)
- CONCRETE PAD/SIDEWALK
- HANDICAP PARKING STALL
- LIGHT POST



NOTES:
1. FIRETRUCK BASED ON MODEL PROVIDED BY CITY OF ROCHESTER FIRE DEPARTMENT.

C	3/12/24	REV. PER TRG III REVIEW COMMENTS		BLR	CEB
B	2/13/24	REV. PER TRG II REVIEW COMMENTS		BLR	CEB
A	1/16/24	REV. PER TRG REVIEW COMMENTS		BLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

FIRETRUCK TURNING EXHIBIT

TAX MAP 114 LOT 8
(303 & 305 NORTH MAIN STREET)
ROCHESTER, NEW HAMPSHIRE

PREPARED FOR:
PATRIOT HOLDINGS, LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:
ALL PURPOSE STORAGE ROCHESTER LLC
4007 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=40' NOVEMBER 17, 2023

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS PLLC

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Phone: (603) 672-5456 Fax: (603) 413-5456
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