



## Application for Condominium Conversion/Creation

### City of Rochester, New Hampshire

Date: 6/20/23

#### Property information

Tax map #: 114; Lot #'s: 8; Zoning district: Highway Commercial (HC)

Property address/location: 303 & 305 North Main Street

Name of project (if applicable): N/A

#### Applicant

Name (include name of individual): Fieldstone Land Consultants, PLLC (Michael Ploof, L.L.S)

Mailing address: 206 Elm Street, Milford, NH 03055

Telephone #: 603-672-5456 Email address: MDPloof@FieldstoneLandConsultants.com

#### Property owner (if different from applicant)

Name (include name of individual): All Purpose Storage Rochester LLC (Jeremiah Boucher - Managing Member)

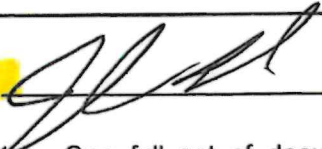
Mailing address: 4023 Dean Martin Drive, Las Vegas, NV 89103

Telephone #: 702-550-3808 Email address: jeremiah@patrioholdings.com

Number of condominium units 3 Total; conversion? 2 Exist. or new construction? 1 New Land Unit

Any comments Proposed Condominium Site Plan converting two existing buildings (Dunkin Dounuts and

Pizza Hut into Units 1 and 2 with a third Land Unit not yet begun.

Signature 

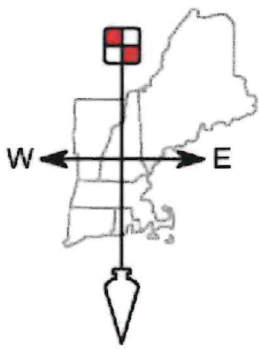
Date: 6/20/23

**Please note:** One full set of documents must be submitted with this application, including condominium declaration, bylaws, floors plans, and site plan. Condominiums are approved administratively except in cases where the staff determines that review by the City Attorney is appropriate. In such cases, the owner/applicant shall pay the costs of that review. Thank you.

Office Use Only

Staff Final Determination: \_\_\_\_\_ Comments: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



# FIELDSTONE

## LAND CONSULTANTS, PLLC

Surveying ♦ Engineering  
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456  
[www.FieldstoneLandConsultants.com](http://www.FieldstoneLandConsultants.com)

June 19, 2023

FLC#3035.00 / CDF

List of Abutters  
Tax Map 114 Lot 8  
303 & 305 North Main Street  
Rochester, New Hampshire

Map 114 Lot 8  
All Purpose Storage Rochester LLC  
4007 Dean Martin drive  
Las Vegas, NV 89103

Map 114 Lot 7  
401 North Main Street LLC  
549 US Highway 1 Bypass  
Portsmouth, NH 03801

Map 114 Lot 2  
400 North Main Street LLC  
549 US Highway 1 Bypass  
Portsmouth, NH 03801

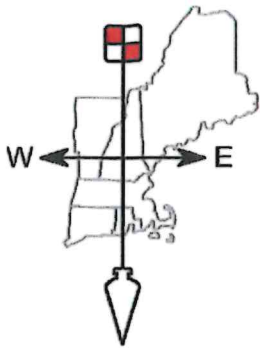
Map 114 Lot 1  
R E L Commons LLC  
8 Greenleaf Woods Drive, Suite 200  
Portsmouth, NH 03801

Map 115 Lot 39  
Rochesterdom LLC  
100 Conifer Hill Drive, Suite 402  
Danvers, MA 01923

Map 115 Lot 40  
RLP Realty Inc NH Corp.  
401 North Main Street  
Rochester, NH 03867-4350

Map 115 Lot 72  
Gloria A. Martel  
9 Beauview Street  
Rochester, NH 03867-1102

Engineer:  
Fieldstone Land Consultants, PLLC  
206 Elm Street  
Milford, NH 03055



# FIELDSTONE

## LAND CONSULTANTS, PLLC

Surveying ♦ Engineering  
Land Planning ♦ Septic Designs

206 Elm Street, Milford, NH 03055 - Phone: 603-672-5456 - Fax: 603-413-5456  
www.FieldstoneLandConsultants.com

June 20, 2023

RE: Patriot Holdings, LLC – Condominium Development  
303 & 305 North Main Street - Rochester, NH  
Tax Map 114 Lot 8

To Whom It May Concern:

The undersigned hereby authorizes Patriot Holdings, LLC and Fieldstone Land Consultants, PLLC to act as their agents in filing and seeking the necessary local, state and federal approvals for the above referenced project.

Very truly yours,

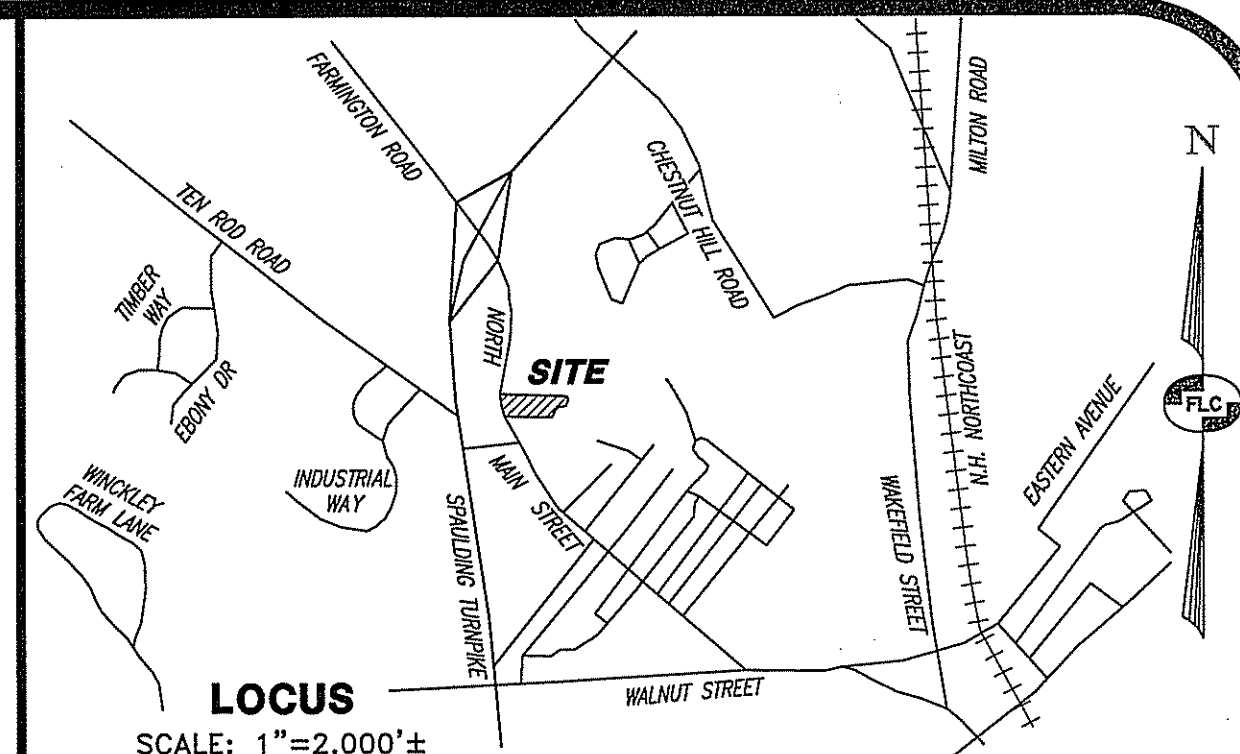
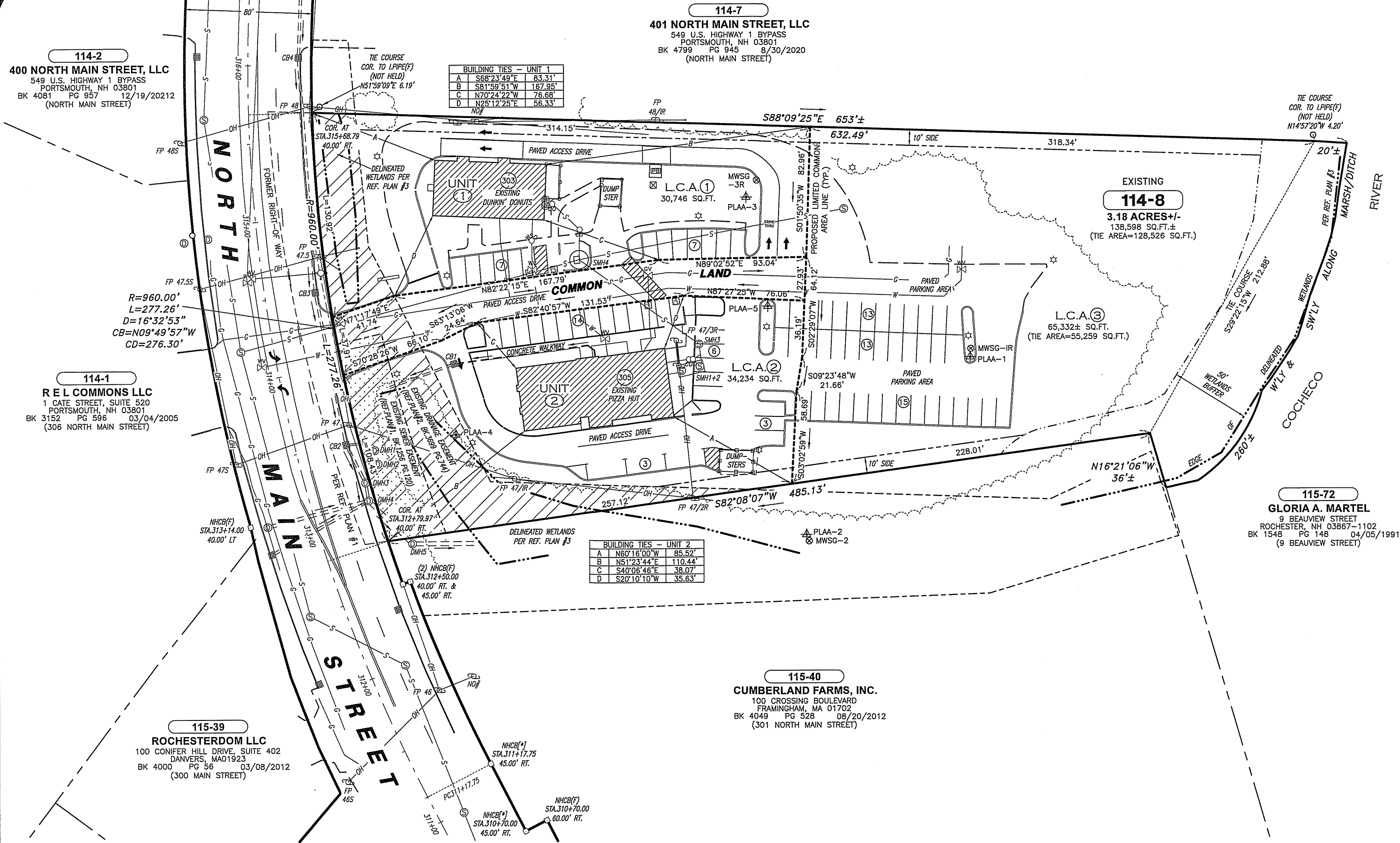
Owner:

Signature: \_\_\_\_\_

Print: Jeremiah Boucher  
(Managing Member)

Date 6/20/23





- NOTES:**
- THE OWNER OF RECORD FOR TAX MAP 114 LOT 8 IS ALL PURPOSE STORAGE ROCHESTER LLC, 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103. THE DEED REFERENCE FOR THE PARCEL IS BK.4955 PG.155 DATED SEPTEMBER 14, 2021 IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
  - THE PURPOSE OF THIS PLAN IS TO DEPICT A 3 UNIT CONDOMINIUM SITE PLAN ON EXISTING TAX MAP 114 LOT 8.
  - THE TOTAL AREA OF TAX MAP 114 LOT 8 IS 3.18± ACRES, OR 138,598± SQ.FT. WITH 277.26 FT. OF FRONTAGE ALONG NORTH MAIN STREET (AKA FARMINGTON ROAD).
  - ZONING FOR THE ENTIRE PARCEL IS (HC) - HIGHWAY COMMERCIAL DISTRICT - MINIMUM LOT SIZE = 20,000 SQ.FT. MINIMUM FRONTAGE REQUIREMENT= 100 FT. FRONT SETBACKS=20 FT. SIDE SETBACKS=10 FT. REAR SETBACKS=25 FT.
  - HORIZONTAL ORIENTATION IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM (REFERENCE PLAN #2). VERTICAL DATUM IS NAVD83, BASED ON FIELD GPS OBSERVATIONS THAT WERE UPLOADED TO AND CALCULATED BY THE NOAA ONLINE POSITIONING USER SERVICE (OPUS).
  - THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE THE RESULT OF AN ON-SITE SURVEY PERFORMED BY THIS OFFICE. THE BOUNDARY INFORMATION WAS DEVELOPED FROM THE REFERENCE PLANS CITED HEREON TOGETHER WITH A PRECISE SURVEY PERFORMED BY THIS OFFICE IN AUGUST 2021.
  - A PORTION OF TAX MAP 114 LOT 8 LIES WITHIN THE CONSERVATION PROTECTION OVERLAY DISTRICT - A 50 FT. BUFFER EXISTS FROM DELINEATED WETLANDS AND A 75 FT. BUFFER EXISTS FROM COCHECO RIVER.
  - WETLAND LOCATIONS SHOWN ARE PER REFERENCE PLAN #3.
  - SOUTHERLY AND EASTERLY PORTIONS OF TAX MAP LOT 114-8 LIE WITHIN THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD PER FEMA FIRM PANEL NUMBER 33017C0203D, DATED MAY 17, 2005 FOR THE CITY OF ROCHESTER, COMMUNITY NUMBER 330150.
  - TAX MAP LOT 114-8 LIES WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT PER THE CITY OF ROCHESTER GIS AQUIFER MAP.
  - TAX MAP LOT 114-8 IS SUBJECT TO A CROSS EASEMENT AGREEMENT (BK. 3502 PG.156 01/26/17). THE SITE IS ALSO SUBJECT TO A SEWER EASEMENT TO THE CITY OF ROCHESTER (BK.1256 PG.120 07/02/86) AND A DRAINAGE EASEMENT TO N.H.D.O.T. (BK.3699 PG.744 12/15/08).
  - UNIT 1 AND UNIT 2 AND ALL THEIR IMPROVEMENTS ARE SUBSTANTIALLY COMPLETE.
  - COMPLETED UNITS 1 AND 2 SHOWN HEREON ARE SERVICED BY UNDERGROUND TELEPHONE, ELECTRIC, CABLE AND NATURAL GAS UTILITIES. THEY ARE ALSO SERVICED BY MUNICIPAL SEWER AND WATER.
  - THE AREA OF COMMON LAND SERVING ALL THREE UNITS IS 8,286 SQ.FT.

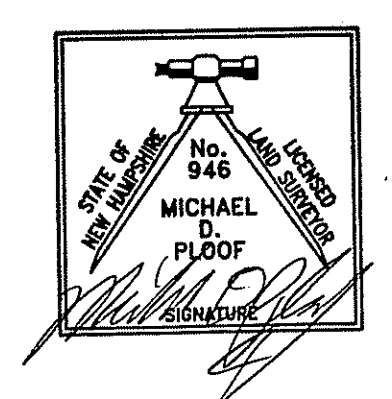
D	07/10/23	ADD UTILITIES & MONITORING PER STAFF REVIEW	----	JOL	MDP
C	07/05/22	REVISE OWNER	----	TJB	MDP
B	06/16/22	ADD FLOOR PLANS, SHEETS CD-2 & CD-3	----	TJB	MDP
A	01/03/22	ADD LCA METES & BOUNDS & BLDG. TIES	----	TJB	MDP
REV.	DATE	DESCRIPTION	C/O	DR	CK

**CERTIFICATION:**

"I HEREBY CERTIFY AS TO THE ACCURACY OF THIS PLAN AND ITS COMPLIANCE WITH RSA 356-B:20, I & V, AND THAT UNIT 1 AND UNIT 2 AND THEIR LIMITED COMMON AREAS HAVE BEEN SUBSTANTIALLY COMPLETED."

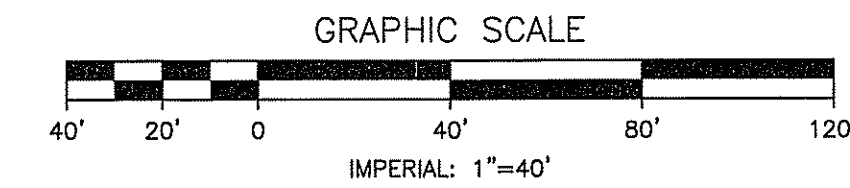
"AND, I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. (RSA 678:18, III & 672:14)."

DATE: 7/11/2023



- LEGEND:**
- RIGHT-OF-WAY LINE
  - BOUNDARY LINE
  - ABUTTING LOT LINE
  - BUILDING SETBACK LINE
  - EDGE OF PAVED ROAD
  - EDGE OF GRAVEL ROAD
  - CURB LINE
  - EDGE OF TREE LINE
  - EDGE OF WETLANDS
  - WETLANDS BUFFER LINE
  - EXISTING EASEMENT LINE
  - CHAIN-LINK FENCE
  - STOCKADE FENCE
  - PROPOSED LIMITED COMMON AREA LINE
- UNIT 1** CONDOMINIUM UNIT NUMBER
- 303** ADDRESS ON NORTH MAIN STREET
- PLAA-2** PARKING LOT AMBIENT AIR MONITORING LOCATION
- MWSG-2** GROUNDWATER MONITORING WELL
- 114-8** TAX MAP & LOT NUMBER
- UNIT SUBSTANTIALLY COMPLETE**

- REFERENCE PLANS:**
- "PLAN OF LAND - FOR J. PEIRCE TRUST, MEREDITH PEIRCE, TRUSTEE AND WILLIAM "CHIP" ALBEE - NEW HAMPSHIRE ROUTE 11 - ROCHESTER, NEW HAMPSHIRE - TAX MAP #114 LOT 8" - SCALE: 1"=40', DATED: MARCH, 2001, PREPARED BY: LAND TECHNICAL SERVICE CORPORATION AND RECORDED IN THE S.C.R.D. AS PLAN #64-21.
  - "STATE OF NEW HAMPSHIRE - DEPARTMENT OF TRANSPORTATION-BUREAU OF HIGHWAY DESIGN - FARMINGTON ROAD - RIGHT-OF-WAY PLAN - COUNTY OF: STRAFFORD - CITY OF: ROCHESTER - STATE PROJECT NO.: 10620-D", SHEETS 1, 2, 3 & 11, SCALE 1"=20', DATE OF FINAL CHECK: JANUARY 11, 2011, BY CLOUGH HARBOUR & ASSOCIATED LLP & VERMONT SURVEY AND ENGINEERING. RECORDED IN THE S.C.R.D. AS PLANS 101-045, 101-046, 101-047 & 101-055.
  - "DEVELOPMENT PLANS FOR MULTI-TENANT COMMERCIAL DEVELOPMENT - ROCHESTER, NEW HAMPSHIRE - 303 NORTH MAIN STREET" - SCALE: 1"=30', DATED APRIL, 2003, PREPARED BY: GORRILL-PALMER CONSULTING ENGINEERS, INC.



**CONDOMINIUM SITE PLAN**  
**TAX MAP 114 LOT 8**  
**(303 & 305 NORTH MAIN STREET)**  
**ROCHESTER, NEW HAMPSHIRE**

**PREPARED FOR:**  
**PATRIOT HOLDINGS, LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

**LAND OF:**  
**ALL PURPOSE STORAGE ROCHESTER LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

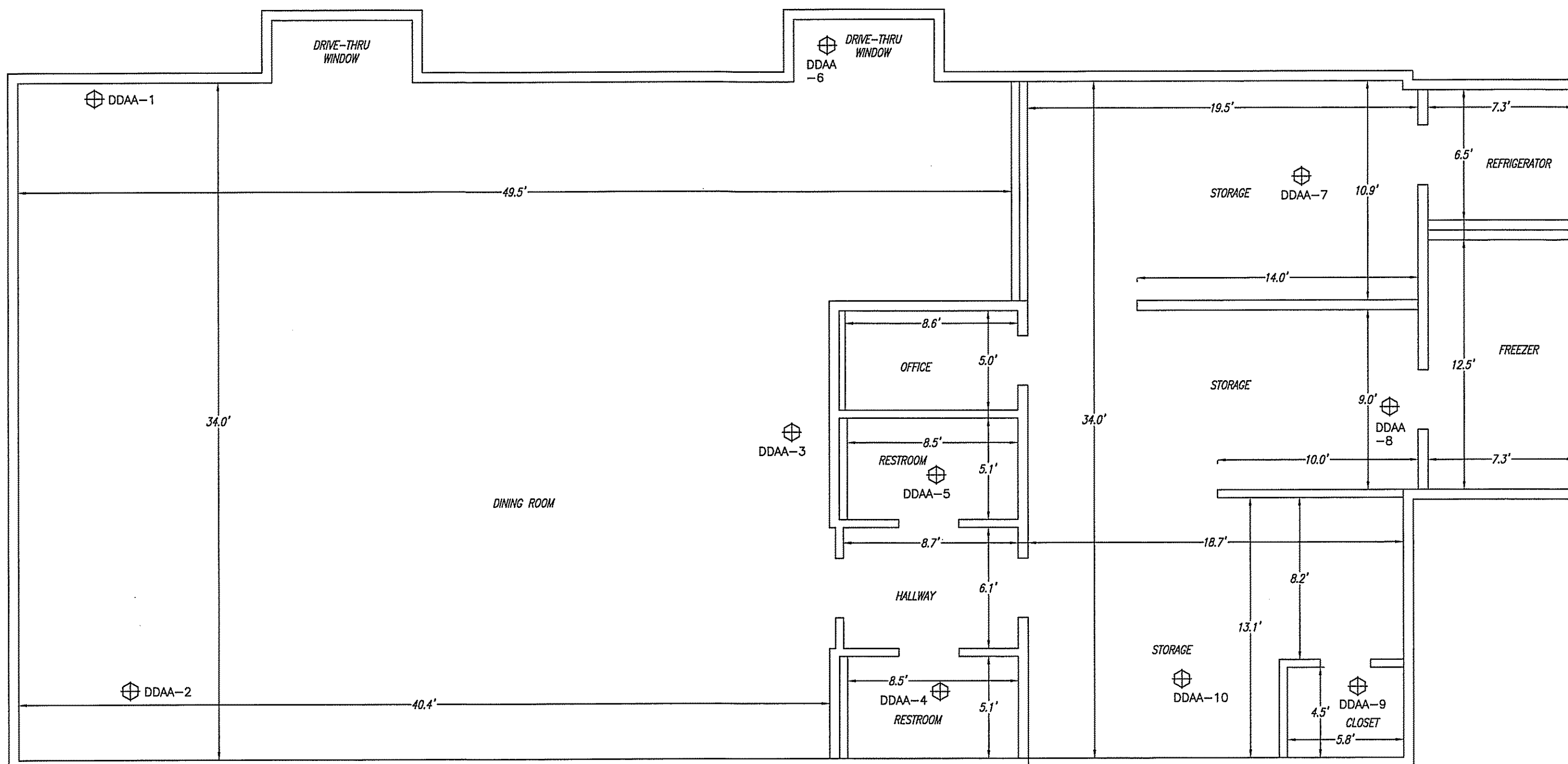
SCALE: 1"=40' NOVEMBER 3, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com

FILE: 3035CDDDD.DWG PROJ. NO. 3035.00 SHEET NO. CD-1 PAGE NO. 1 OF 3



GROUND FLOOR  
UNIT-1 - DUNKIN' DONUTS  
SCALE 1"=5'



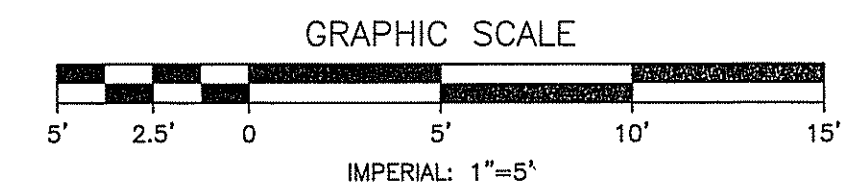
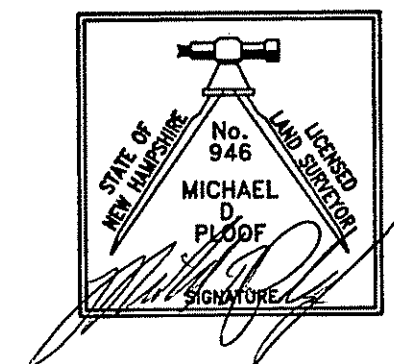
FRONT ELEVATION  
UNIT-1 - DUNKIN' DONUTS  
SCALE 1"=5'

#### NOTES:

1. CROSS SECTION ELEVATIONS WERE PROVIDED BY MARK D. McCLUGGAGE, 1525 E. DOUGLAS AVENUE, WICHITA, KA 67211.
2. THE LIMITED COMMON AREA (LCA) INCLUDES DECKS, PATIOS, PORCHES (INCLUDING SCREENED-IN PORCHES), SUNROOMS, PAVED WALKS, PAVED DRIVEWAYS AND SURROUNDING GROUNDS FOR EACH UNIT AS SHOWN.
3. FRONT ELEVATIONS ARE BASED ON NAVD 88.
4. DDAA-1 = DUNKIN DONUTS AMBIENT AIR SAMPLE LOCATION.

#### CERTIFICATION:

I HEREBY CERTIFY THAT THE FLOOR PLAN SHOWN HEREON IS ACCURATE AND IS IN COMPLIANCE WITH R.S.A. 355-B:20, II, IV & V, AND THAT THE UNIT-1 BUILDING AND ITS LIMITED COMMON AREA HAVE BEEN SUBSTANTIALLY COMPLETED.  
DATE: 7/11/2023



D	07/10/23	ADD UTILITIES & MONITORING PER STAFF REVIEW	---	JGL	MDP
C	07/05/22	REVISE OWNER	---	TJB	MDP
B	06/16/22	ADD FLOOR PLANS, SHEETS CD-2 & CD-3	---	TJB	MDP
A	01/03/22	ADD LCA METES & BOUNDS & BLDG. TIES	---	TJB	MDP
REV.	DATE	DESCRIPTION	C/O	DR	CK

#### CONDOMINIUM FLOOR PLAN

UNIT-1 - DUNKIN' DONUTS  
(303 NORTH MAIN STREET)  
ROCHESTER, NEW HAMPSHIRE

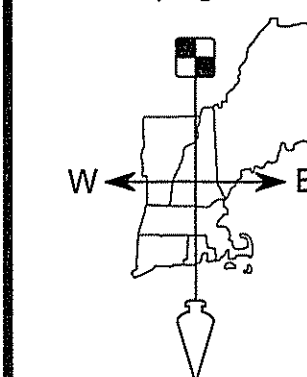
PREPARED FOR:  
**PATRIOT HOLDINGS, LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:  
**ALL PURPOSE STORAGE  
ROCHESTER LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=5'

NOVEMBER 3, 2021

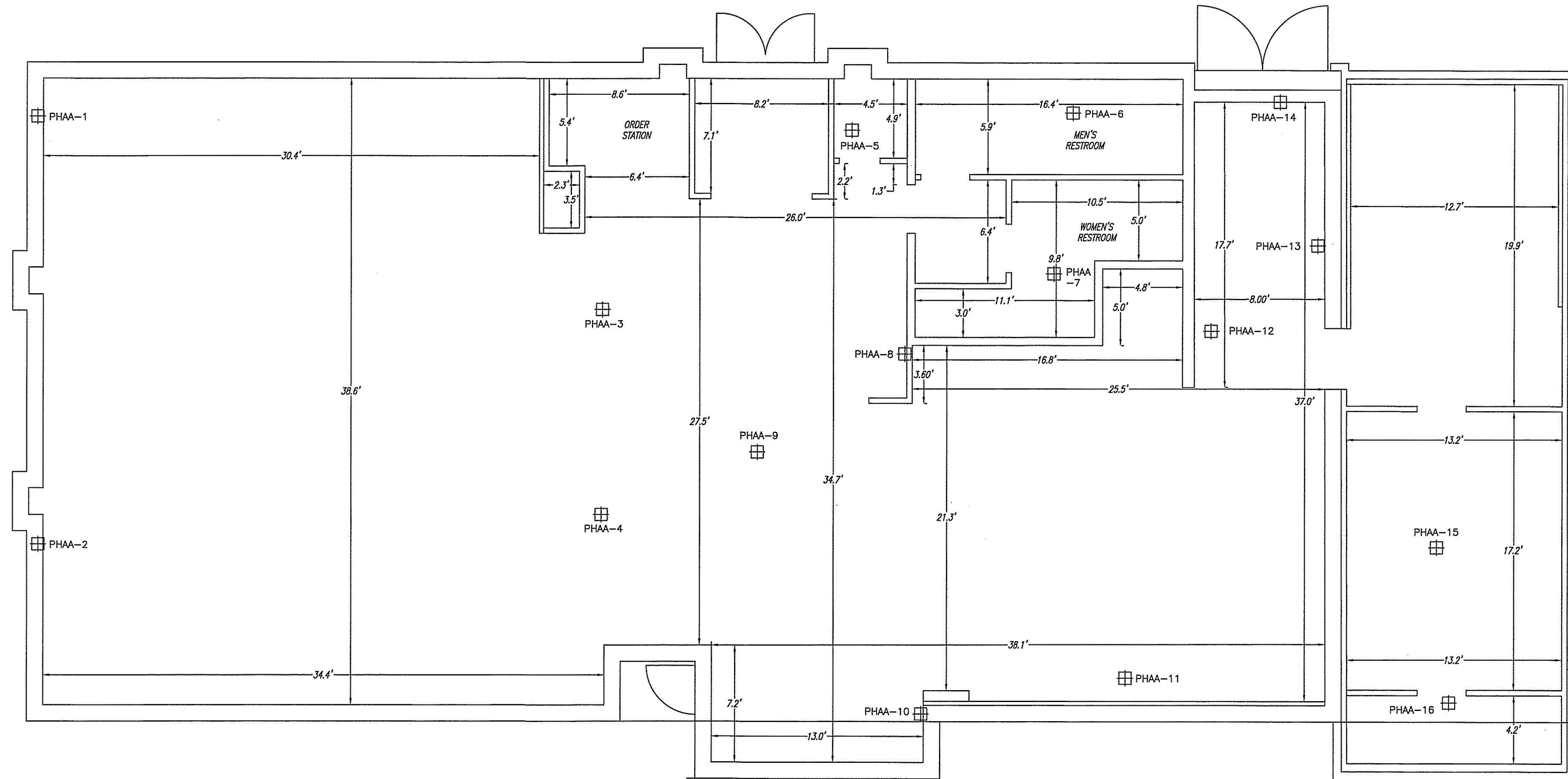
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com





GROUND FLOOR  
UNIT-2 - PIZZA HUT  
SCALE 1"=5'



FRONT ELEVATION  
UNIT-2 - PIZZA HUT  
SCALE 1"=5'

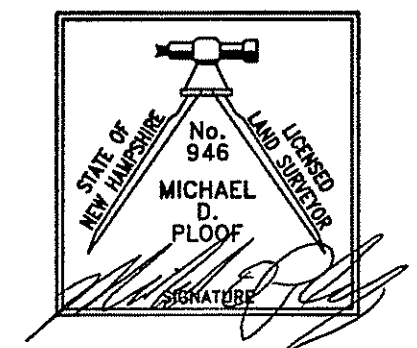
#### NOTES:

1. CROSS SECTION ELEVATIONS WERE PROVIDED BY MARK D. McELUGGAGE, 1525 E. DOUGLAS AVENUE, WICHITA, KA 67211.
2. THE LIMITED COMMON AREA (LCA) INCLUDES DECKS, PATIOS, PORCHES (INCLUDING SCREENED-IN PORCHES), SUNROOMS, PAVED WALKS, PAVED DRIVEWAYS AND SURROUNDING GROUNDS FOR EACH UNIT AS SHOWN.
3. FRONT ELEVATIONS ARE BASED ON NAVD 88.
4. PHAA-11 = PIZZA HUT AMBIENT AIR MONITORING LOCATION.

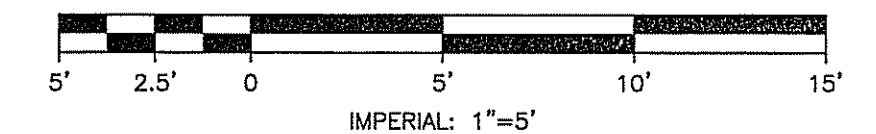
#### CERTIFICATION:

"I HEREBY CERTIFY THAT THE FLOOR PLAN SHOWN HEREON IS ACCURATE AND IS IN COMPLIANCE WITH R.S.A. 356-B:20, II, IV & V, AND THAT THE UNIT-2 BUILDING AND ITS LIMITED COMMON AREA HAVE BEEN SUBSTANTIALLY COMPLETED.

DATE: 7/11/2023



#### GRAPHIC SCALE



REV.	DATE	DESCRIPTION	C/O	DR	CK
D	07/10/23	ADD UTILITIES & MONITORING PER STAFF REVIEW	---	JGL	MDP
C	07/05/22	REVISE OWNER	---	TJB	MDP
B	06/16/22	ADD FLOOR PLANS, SHEETS CD-2 & CD-3	---	TJB	MDP
A	01/03/22	ADD LCA METES & BOUNDS & BLDG. TIES	---	TJB	MDP

#### CONDOMINIUM FLOOR PLAN

UNIT-2 - PIZZA HUT  
(305 NORTH MAIN STREET)  
ROCHESTER, NEW HAMPSHIRE

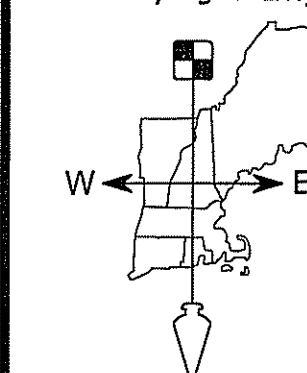
PREPARED FOR:  
**PATRIOT HOLDINGS, LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

LAND OF:  
**ALL PURPOSE STORAGE  
ROCHESTER LLC**  
4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

SCALE: 1"=5'

NOVEMBER 3, 2021

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



**FIELDSTONE**  
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055  
Phone: (603) 672-5456 Fax: (603) 413-5456  
www.FieldstoneLandConsultants.com