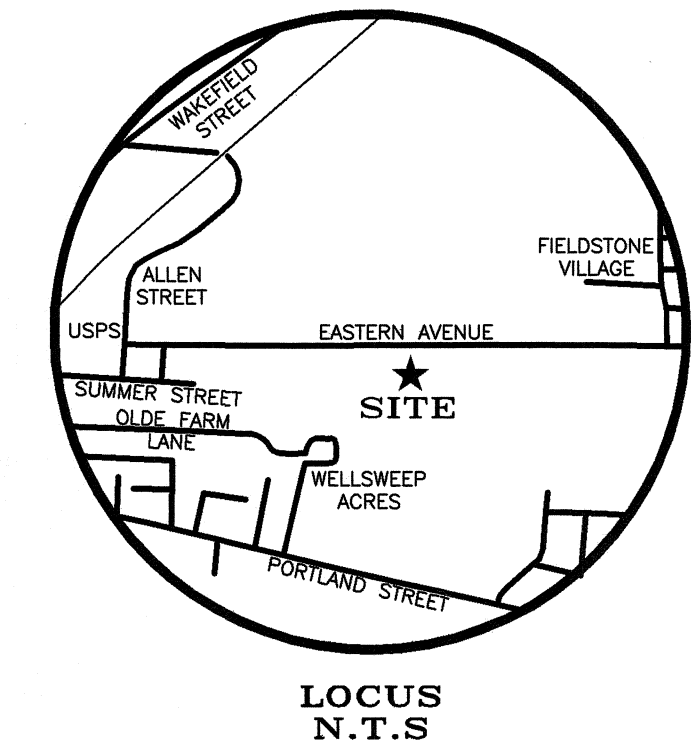


STATE OF NEW HAMPSHIRE
RANDOLPH
R.
TETREAU
No. 030
Randolph R. Tetreau
RANDOLPH R. TETREAU

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR. BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON 9-11-23
DATE
SIGNED BY Shamell Saunders / Director DATE 9-29-23
NAME POSITION

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 117, LOT 49 INTO TWO LOTS. DIMENSIONAL STANDARDS.
2. ZONE (R2) RESIDENCE 2 DISTRICT:
SINGLE FAMILY, WITH MUNICIPAL SEWER AND WATER.
LOT SIZE = 6,000 sf, FRONTAGE = 60', FY = 10', SY = 8', RY = 20'
LOT COVERAGE = 35%
3. LOT AREAS:
TAX MAP 117, LOT 49: EXISTING AREA= 164,843 sf / 3.78 acres
 PROPOSED AREA= 154,828 sf / 3.55 acres
4. TAX MAP 117, LOT 49-1: PROPOSED AREA= 10,016 sf / 0.23 acres
5. ORIENTATION: HORIZONTAL DATUM = CITY OF ROCHESTER GIS (NHSPC).
 VERTICAL DATUM = NAVD8S.
6. SOIL TYPES ARE PER NRCS.
(ADB) ACTION VERY STONY FINE SANDY LOAM 0-8% SLOPES
(Sd) SAUKTUCK LOAMY SAND
7. THE WETLANDS WERE DELINEATED BY RANDOLPH R. TRETIAULT, CWS IN OCTOBER 2019.
LOTS ARE NOT LOCATED WITHIN (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP,
COMMUNITY NUMBER 330170021200, EFFECTIVE DATED ON 05-17-05
8. THE PARCELS SHALL BE SERVICED BY MUNICIPAL WATER AND SEWER SYSTEMS.
9. DEVELOPMENT ON THE PROPOSED LOTS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCHESTER CHAPTER 218,
STORMWATER MANAGEMENT AND EROSION CONTROL, AS PART OF THE BUILDING PERMIT PROCESS, THE LOT OWNER
SHALL FILE A CITY OF ROCHESTER STORMWATER MANAGEMENT AND EROSION CONTROL PERMIT APPLICATION WITH THE
ROCHESTER DEPARTMENT OF PUBLIC WORKS.
10. RESIDENTIAL DWELLINGS SHALL MEET THE CITY OF ROCHESTER FIRE DEPARTMENT REQUIREMENTS FOR FIRE
PROTECTION, SUCH AS RESIDENTIAL FIRE SPRINKLERS AND INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF
OCCUPANCY.
11. PRIOR TO CONSTRUCTION OF THE HOME ON NEW LOT 49-01, THE WETLAND AREA SHALL BE VERIFIED THAT IT IS
SHALL BE A VERNAL POOL.
12. FOR MORE INFORMATION ABOUT THIS PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT,
33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603) 335-1338.



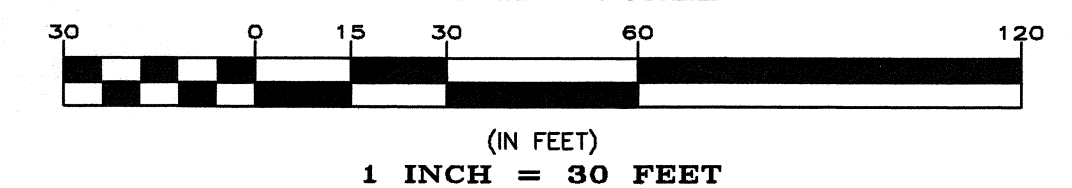
TAX MAP 117, LOT 49
OWNER OF RECORD:
ROBERT BRUCE WOTTON
83 EASTERN AVENUE
ROCHESTER, NH 03866-0181
S.C.R.D. BOOK 1123, PAGE 608

SUBDIVISION PLAN
EASTERN AVENUE
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR:
ROBERT BRUCE WOTTON

SCALE: 1" = 30' JULY 2023

GRAPHIC SCALE



REVISIONS:
09-22-23 revised to date per NOD

TAX MAP 112, LOT 20
MONARCH SCHOOL OF NEW ENGLAND
PO BOX 1921
ROCHESTER, NH 03866-1921
SCRD BOOK 1156, PAGE 453

TAX MAP 112, LOT 21
SALLY A. DOWNEY REV. TRUST
PO BOX 1596
ROCHESTER, NH 03866-1596
SCRD BOOK 3858, PAGE 267

TAX MAP 117
LOT 49
AREA:
154,828 sf
3.55 acres

TAX MAP 117, LOT 148
CATHRYN SPREEMAN &
SHARYN STUART
60 LEONARD STREET
ROCHESTER, NH 03867-2323
SCRD BOOK 1973, PAGE 225

TAX MAP 117, LOT 50
EMMANUEL ADVENT CHRISTIAN CHURCH
PO BOX 1812, ROCHESTER, NH 03866-1812
SCRD BOOK 991, PAGE 974

FILE NO. 166
PLAN NO. C-3416-S
DWG NO. 19295-LDD\S-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948