



NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

Date: _____ Is a conditional use needed? Yes: _____ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: _____; Lot #'s): _____; Zoning district: _____

Property address/location: _____

Name of project (if applicable): _____

Size of site: _____ acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Email address: _____ Professional license #: _____

Proposed activity (check all that apply)

New building(s): _____ Site development (other structures, parking, utilities, etc.): _____

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

Describe proposed activity/use: _____

Describe existing conditions/use (vacant land?): _____

Utility information

City water? yes ____ no ____; How far is City water from the site? _____

City sewer? yes ____ no ____; How far is City sewer from the site? _____

If City water, what are the estimated total daily needs? _____ gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ____ no ____

If City sewer, do you plan to discharge anything other than domestic waste? yes ____ no ____

Where will stormwater be discharged? _____

Building information

Type of building(s): _____

Building height: _____ Finished floor elevation: _____

Other information

parking spaces: existing:____ total proposed:____; Are there pertinent covenants? ____

Number of cubic yards of earth being removed from the site _____

Number of existing employees: _____; number of proposed employees total: _____

Check any that are proposed: variance ____; special exception ____; conditional use ____

Wetlands: Is any fill proposed? ____; area to be filled: _____; buffer impact? _____

| Proposed <u>post-development</u> disposition of site (should total 100%) | | |
|--|----------------|----------------|
| | Square footage | % overall site |
| Building footprint(s) – give for each building | | |
| Parking and vehicle circulation | | |
| Planted/landscaped areas (excluding drainage) | | |
| Natural/undisturbed areas (excluding wetlands) | | |
| Wetlands | | |
| Other – drainage structures, outside storage, etc. | | |

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: _____

Site Plan Checklist (residential and nonresidential)

**To be filled out by applicant/agent (with notes to be inserted by staff)*

See regulations for other specific requirements
City of Rochester Planning & Development Department

Project Name: _____ Map: _____ Lot: _____ Date: _____

Applicant/agent: _____ Signature: _____

(Staff review by: _____ Date: _____)

General items

| | Yes | No | N/A | Waiver Requested | Comments |
|---|--------------------------|--------------------------|--------------------------|-----------------------------|-----------------|
| 4 sets completed application | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Total application fee | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| 4 copies of narrative | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| 3 sets of full-size plans | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| 2 sets of 11 X 17 reductions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Completed abutters list | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Copy of existing covenants, easements, deed restrictions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Plan Information

| | | | | | |
|---|-------------------------------------|--------------------------|--------------------------|--------------------------|-------|
| Basic information including: | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| • Title sheet | | | | | |
| • Name of Project | | | | | |
| • Date | | | | | |
| • North arrow | | | | | |
| • Scale | | | | | |
| • Legend | | | | | |
| • Revision block | | | | | |
| • Vicinity sketch -not less than 1" = 1,000' | | | | | |
| Name and address of developer/applicant | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Name, stamp, and NH license # of land survey, engineer, and/or architect | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| City tax map & lot #'s | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Notation on plans: "For more information about this site plan contact...." | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

General items Continued

| | Yes | No | N/A | Waiver Requested | Comments |
|---|--------------------------|--------------------------|--------------------------|--------------------------|----------|
| Approval block (for signature by staff attesting to Planning Board approval) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| References to neighboring plans and subdivisions | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Surveyed property lines including: <ul style="list-style-type: none">• existing and proposed bearings• existing and proposed distances• pins, stakes, bounds• monuments• benchmarks | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Include error of closure statement | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Information on abutting properties: <ul style="list-style-type: none">• owner name• owner address• tax map and lot #• square footage of lots• approximate building footprints• use | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Zoning

| | | | | | |
|---|--------------------------|--------------------------|--------------------------|--------------------------|-------|
| Zoning designations of subject tract and in vicinity of tract | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Zoning requirements for district: <ul style="list-style-type: none">• frontage• lot dimensions/density• all setbacks• lot coverage | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Zoning overlay districts | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Existing Topographic Features:

| | | | | | |
|--|-------------------------------------|-------------------------------------|--------------------------|--------------------------|-------|
| Contour lines a (not to exceed two-foot Intervals, except on steep slopes) and spot elevations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Soil types and boundaries | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Soil test pit locations, profiles, and Depth to water table and ledge | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Percolation test locations and results | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Existing Topographic Features Continued:

| | Yes | No | N/A | Waiver Requested | Comments |
|--|-------------------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| Water features (ponds, streams) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Wetlands including name of certified Wetlands scientist who delineated | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Statement whether located in flood area, And if so, 100 year flood elevation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Delineation of trees and open areas | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Overview of types of trees and vegetation | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Stone walls and archaeological features | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Locations of trails and paths | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |

Building Information

| | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|-------|
| Existing buildings/structures including square footage and use | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Proposed building/structures including <ul style="list-style-type: none">• square footage• first floor elevation• use• # bedrooms per unit if residential | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Elevation drawing of proposed buildings and structures as follows: <ul style="list-style-type: none">• Showing all four sides• Drawn to scale with dimensions• Showing exterior materials• Showing exterior colors | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |

Circulation and Parking Plans

| | | | | | |
|--|-------------------------------------|--------------------------|-------------------------------------|--------------------------|-------|
| Existing and proposed driveways and access points including: <ul style="list-style-type: none">• Width of opening• Turning radii• Cross section of driveway | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Curbing & edge treatment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Traffic control devices, if appropriate: | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |

Circulation and Parking Plans Continued:

| | Yes | No | N/A | Waiver Requested | Comments |
|--|-------------------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| Number of parking spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| • required by ordinance | | | | | |
| • proposed | | | | | |
| Parking layout and dimensions of spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Handicap spaces | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Loading area | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Pedestrian circulation plan (including existing sidewalks in vicinity, if any) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Bicycle rack, if appropriate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Buffers, landscaping & screening | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Snow storage areas/plan | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Utilities

Show all pertinent existing and proposed profiles, elevations, materials, sizes, and details

| | | | | | |
|---|-------------------------------------|--------------------------|-------------------------------------|--------------------------|-------|
| Water lines/well (with protective radius) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Sewer lines/septic and leaching areas | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Pump stations | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Fire hydrant location(s) and details | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Electric, telephone, cable TV (underground or overhead) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Gas lines | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Fire alarm connections | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Treatment of solid waste (dumpsters?) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Handling of oil, grease, chemicals hazardous materials/waste | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |

Landscaping Plan

| | Yes | No | N/A | Waiver Requested | Comments |
|---|-------------------------------------|--------------------------|-------------------------------------|--------------------------|----------|
| Demarcation of limits of construction, clear delineation of vegetation to be saved, and strategy for protecting vegetation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Proposed ground cover, shrubbery, and trees including: <ul style="list-style-type: none">• botanical and common names• locations and spacing• total number of each species• size at installation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Planting plan (size of holes, depth of planting, soil amendments, etc.) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Irrigation: system? soaker hose? Manual? underground, etc. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Fencing/screening | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| <u>Signage</u> | | | | | |
| Location and type of signs: <ul style="list-style-type: none">• Attached to building• Freestanding• Directional, if appropriate | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Dimensions of signs: <ul style="list-style-type: none">• Height• Area• Setback | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Elevation drawings with colors & materials | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Type of Illumination, if proposed | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Outdoor Lighting

| | Yes | No | N/A | Waiver Requested | Comments |
|---|-------------------------------------|--------------------------|--------------------------|-----------------------------|-----------------|
| Locations | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Height of fixtures | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Wattage | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Type of light (high pressure sodium, etc) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Design/cut sheets of fixtures | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Illumination study, if appropriate | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |

Other Elements

| | | | | | |
|---|-------------------------------------|--------------------------|-------------------------------------|--------------------------|-------|
| Traffic study, if appropriate | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Drainage study with calculations, storm Water impact analysis, and mitigation plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Grading plan (including finish grades) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Earth being removed from site(in cubic yards) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Erosion and sedimentation plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | _____ |
| Proposed covenants, easements, And deed restrictions, if any | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |
| Fiscal impact study, if requested | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | _____ |

Additional Comments:

UNION STREET PARKING LOT IMPROVEMENTS

UNION STREET · ROCHESTER · NEW HAMPSHIRE

F&O REFERENCE NO.: 20200203.A30

FEBRUARY 2024

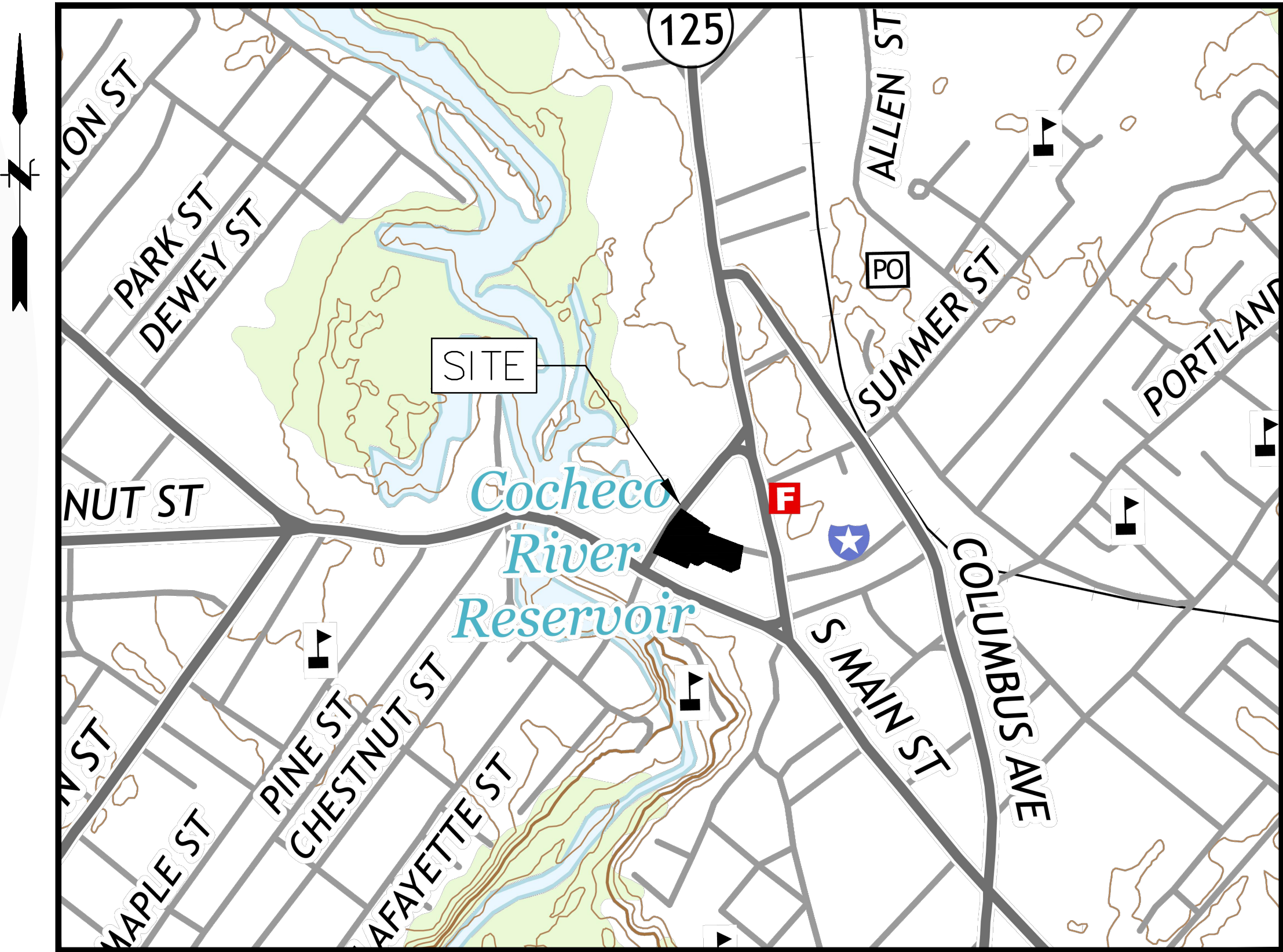
PREPARED FOR
CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER NH 03867



PREPARED BY
FUSS & O'NEILL
50 COMMERCIAL STREET
MANCHESTER, NEW HAMPSHIRE 03101
603.668.8223
www.fando.com

SHEET INDEX

| SHEET No. | SHEET TITLE |
|-----------------|---|
| GI-001 | COVER SHEET |
| CN-001 | GENERAL NOTES |
| EX-101 | EXISTING CONDITIONS PLAN |
| CS-100 | GENERAL SITE PLAN |
| CG-100 | GRADING, DRAINAGE, & EROSION CONTROL PLAN |
| CU-101 | UTILITIES PLAN |
| CU-102 | LIGHTING PLAN |
| DT-100 | TRUCK TURNING PLAN |
| LP-100 & LP-101 | LANDSCAPING PLANS |
| DR-100 | PRE-DEVELOPMENT WATERSHED PLAN |
| DR-200 | POST-DEVELOPMENT WATERSHED PLAN |
| D-300 | OVERALL STORMWATER PLAN |
| CD-501 - CD-509 | DETAILS |



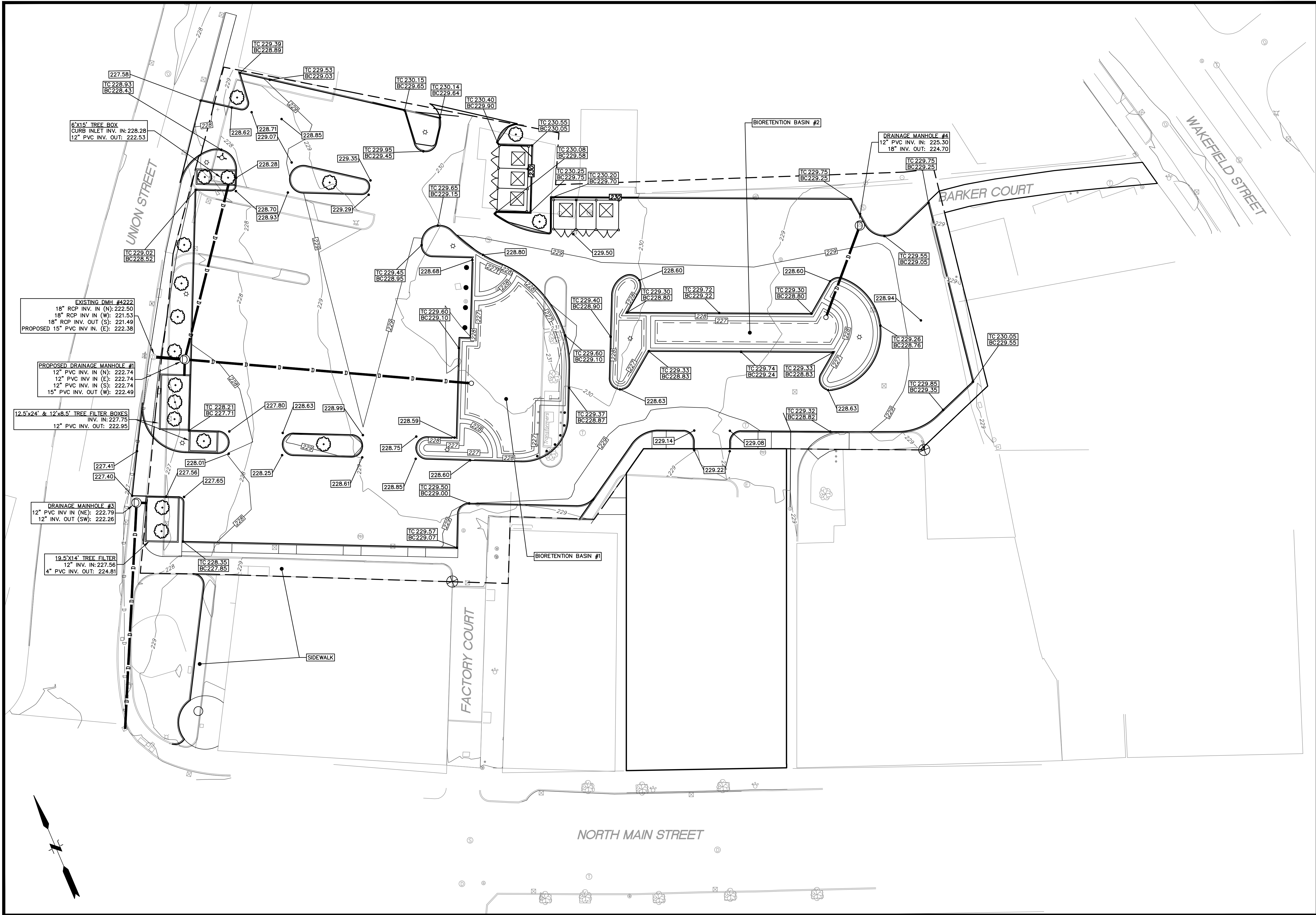
LOCATION MAP
SCALE: 1" = 500'

**DRAFT
PRELIMINARY
PLAN SET**

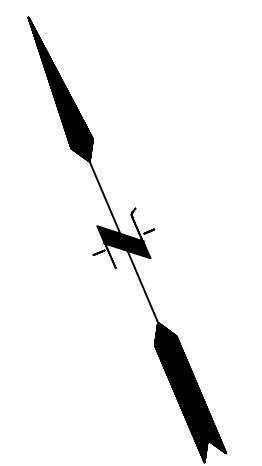
PROJ. No.: 20200203.A30
DATE: FEBRUARY 2024

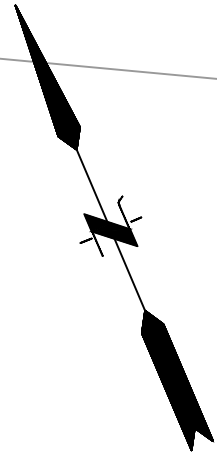
GI-001

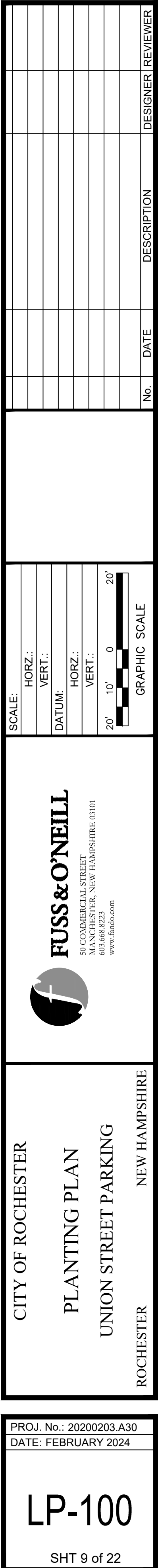
1. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ROCHESTER STANDARDS, INCLUDING STANDARDS OF INFRASTRUCTURE DESIGN DATED AUGUST 2018, SUBDIVISION REGULATIONS AMENDED OCTOBER 2018, CHAPTER 218 STORMWATER MANAGEMENT AND EROSION CONTROL, CHAPTER 15 HIGHWAYS, BRIDGES SIDEWALKS AND STREET LIGHTING, THE CONTRACT DRAWINGS AND SPECIFICATIONS, NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2016, CURRENT NHDOT STANDARD PLANS FOR ROAD CONSTRUCTION, AND CURRENT EDITION OF THE MUTCD, UNLESS OTHERWISE OUTLINED HEREIN.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR IN THE GROUND, WITHIN THE CONSTRUCTION AREA, AND SHALL COORDINATE WITH THE OWNERS OF SAID UTILITIES. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, RELOCATION OF ANY UTILITY, IF REQUIRED, SHALL BE ONLY AS DIRECTED BY THE OWNER OF SAID UTILITY. UTILITIES THAT ARE DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR ANCHORING, SUPPORTING, AND/OR RELOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS IS APPROXIMATE. THE EXACT LOCATION SHALL BE ESTABLISHED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION THE CONTRACTOR MUST CONTACT DIG-SAFE AT 1-888-DIG-SAFE (888-344-7233). CONTRACTOR SHALL RETAIN FILE NO.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND PAYMENT OF ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED.
5. BY BEGINNING WORK, THE CONTRACTOR ACCEPTS GRADES AND SURFACES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIFFERING SITE CONDITIONS IMMEDIATELY, FOR RESOLUTION ACCORDING TO THE TERMS OF THE CONTRACT.
6. ALL EXCAVATIONS SHALL COMPLY WITH OSHA AND SPECIFICATION REQUIREMENTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENGINEERING AND RELATED COSTS ASSOCIATED WITH ANY DESIGN ALTERNATIVES. DESIGN ALTERNATIVES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
8. IF ANY PROPERTY BOUNDS ARE IMPACTED BY THE WORK, NOTIFY ENGINEER FOR DIRECTION ON ACCEPTABLE MODIFICATIONS.
9. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL WASTE BUILDING MATERIALS, CONCRETE, MASONRY, TREES, SHRUBS, DEBRIS, AND OTHER MATERIALS NECESSARY FOR THE SATISFACTORY COMPLETION OF THE CONTRACT WORK AND AS REQUIRED BY THE OWNER. CONSTRUCTION DEBRIS SHALL BE DISPOSED IN STRICT ACCORDANCE WITH CURRENT NEW HAMPSHIRE STATE LAW. CONTRACTOR SHALL DELIVER ALL SALVAGED MATERIAL TO THE OWNER IN THE LOCATION DIRECTED THE THE OWNER. ALL COSTS FOR LOADING, TRANSPORT AND DELIVERY OF SALVAGED MATERIALS ARE SUBSIDIARY TO THE WORK.
10. RELOCATION OF OVERHEAD UTILITIES AND OTHER ABOVE GROUND AND UNDERGROUND STRUCTURES REQUIRED TO CONSTRUCT THIS PROJECT AS WELL AS COORDINATION WITH THEIR RESPECTIVE OWNERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY FUSS & O'NEILL, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO



| CITY OF ROCHESTER | | ROCHESTER | |
|---|--|--|--|
| GRADING & DRAINAGE PLAN | | UNION STREET PARKING | |
| NEW HAMPSHIRE | | NEW HAMPSHIRE | |
| PROJ. No.: 20200203.A30 | | DATE: FEBRUARY 2024 | |
| CG-100 | | SHT 5 of 22 | |
| FUSS & O'NEILL 50 COMMERCIAL STREET ROCHESTER, NEW HAMPSHIRE 03010 603.668.8223 www.fdo.com | | SCALE: HORIZ.: 1" = 20' VERT.: 1" = 20' DATING: NH83F VERT.: NAVD83 GRAPHIC SCALE 20' 10' 0' 20' | |
| No. | | DATE | |
| DESCRIPTION | | DESIGNER REVIEWER | |

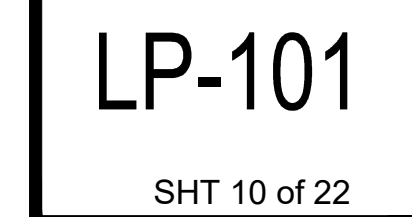
[illegible]

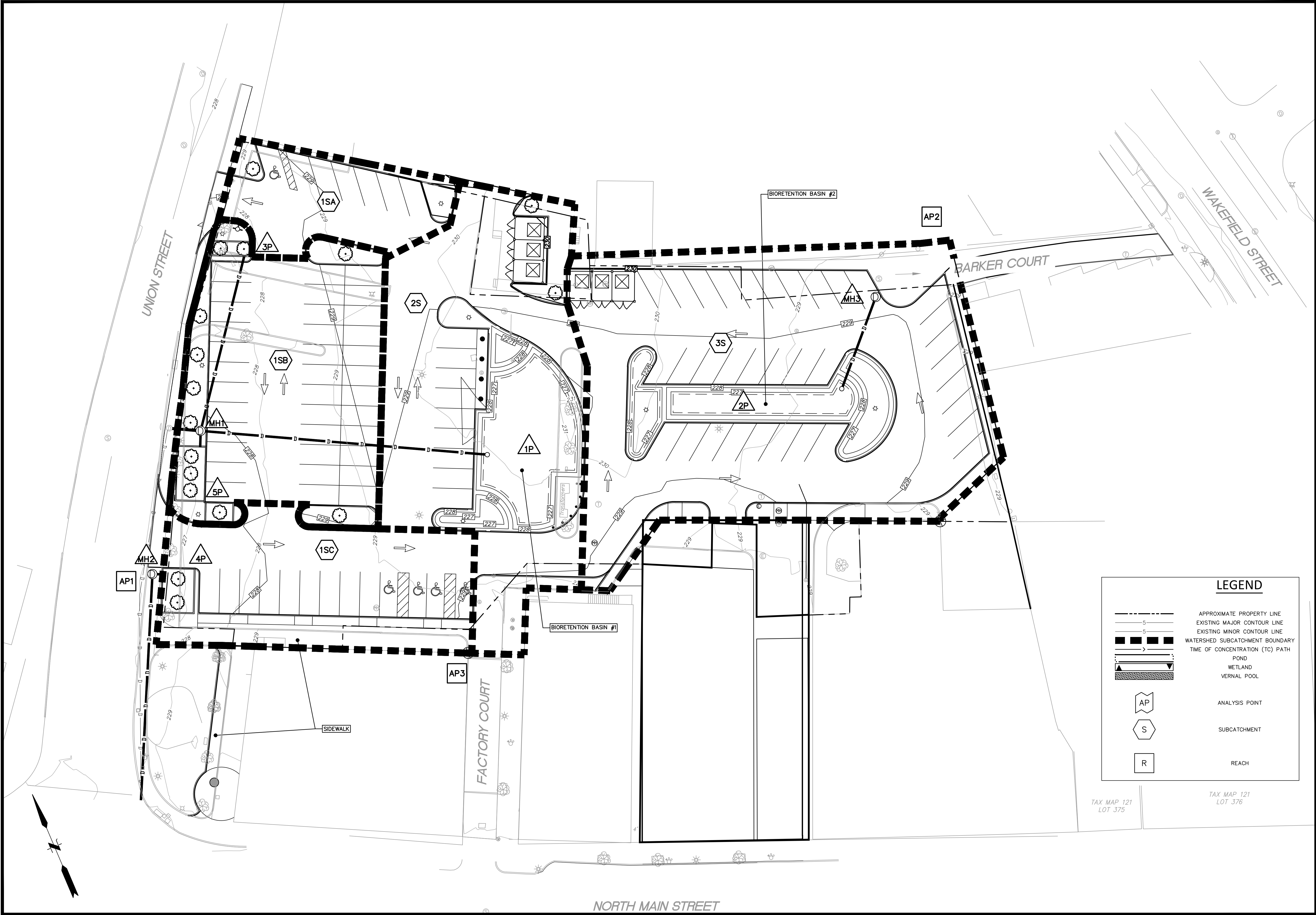
[illegible]





SCALE: $\frac{1}{8}" = 1'-0"$





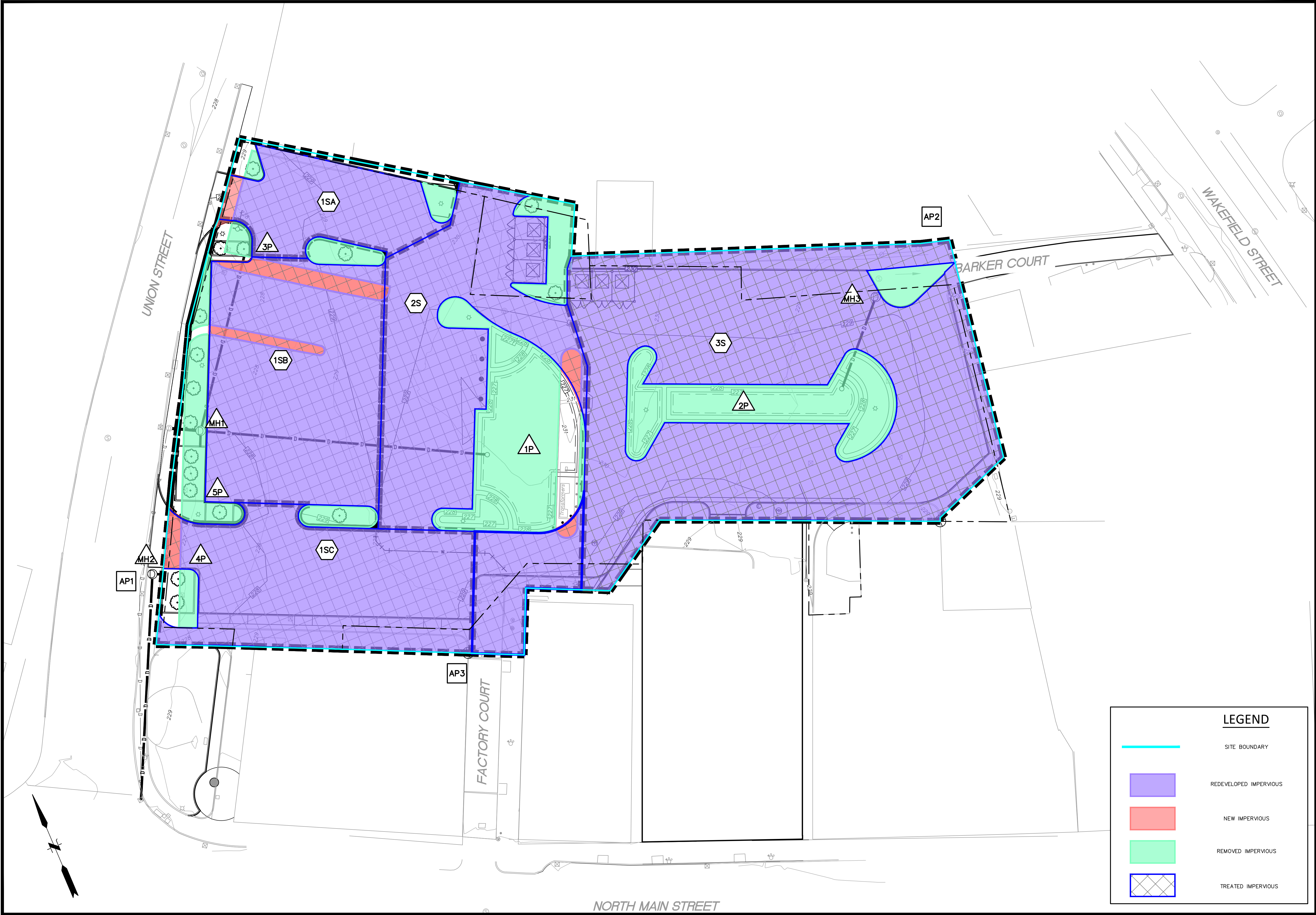
LEGEND

| | |
|--|---------------------------------|
| | APPROXIMATE PROPERTY LINE |
| | EXISTING MAJOR CONTOUR LINE |
| | EXISTING MINOR CONTOUR LINE |
| | WATERSHED SUBCATCHMENT BOUNDARY |
| | TIME OF CONCENTRATION (TC) PATH |
| | POND |
| | WETLAND |
| | VERNAL POOL |
| | ANALYSIS POINT |
| | SUBCATCHMENT |
| | REACH |

TAX MAP 121
LOT 375

TAX MAP 121
LOT 376

| | | | |
|---|--|--|--|
| CITY OF ROCHESTER | | NEW HAMPSHIRE | |
| POST-DEVELOPMENT DRAINAGE PLAN UNION STREET PARKING | | | |
| ROCHESTER | | NEW HAMPSHIRE | |
| FUSS & O'NEILL 50 COMMERCIAL STREET ROCHESTER, NEW HAMPSHIRE 03001 603.668.8223 www.fno.com | | | |
| SCALE: HORZ.: 1" = 20' VERT.: 1" = 20' | | GRAPHIC SCALE 20' 10' 0' 20' | |
| DATUM: HORZ.: NH83F VERT.: NAVD88 | | No. DATE DESCRIPTION DESIGNER REVIEWER | |
| PROJ. No.: 20200203.A30 | | DATE: FEBRUARY 2024 | |
| DR-200 | | SHT 12 of 22 | |



LEGEND

| | |
|--|------------------------|
| | SITE BOUNDARY |
| | REDEVELOPED IMPERVIOUS |
| | NEW IMPERVIOUS |
| | REMOVED IMPERVIOUS |
| | TREATED IMPERVIOUS |

| | | | | | | | | | | | | | |
|-------------------------|--|---|--|---|--|--------------|--|---------------|--|-------------|--|-------------------|--|
| CITY OF ROCHESTER | | STORMWATER PLAN | | UNION STREET PARKING | | ROCHESTER | | NEW HAMPSHIRE | | | | | |
| PROJ. No.: 20200203.A30 | | DATE: FEBRUARY 2024 | | DR-300 | | SHT 13 of 22 | | | | | | | |
| FUSS & O'NEILL | | 50 COMMERCIAL STREET ROCHESTER, NEW HAMPSHIRE 03001 (603) 668-8223 www.fundo.com | | SCALE: HORZ.: 1" = 20' VERT.: 1" = 20' DATUM: NH83F VERT.: NAVD88 20' 10' 0 20' GRAPHIC SCALE | | No. | | DATE | | DESCRIPTION | | DESIGNER REVIEWER | |

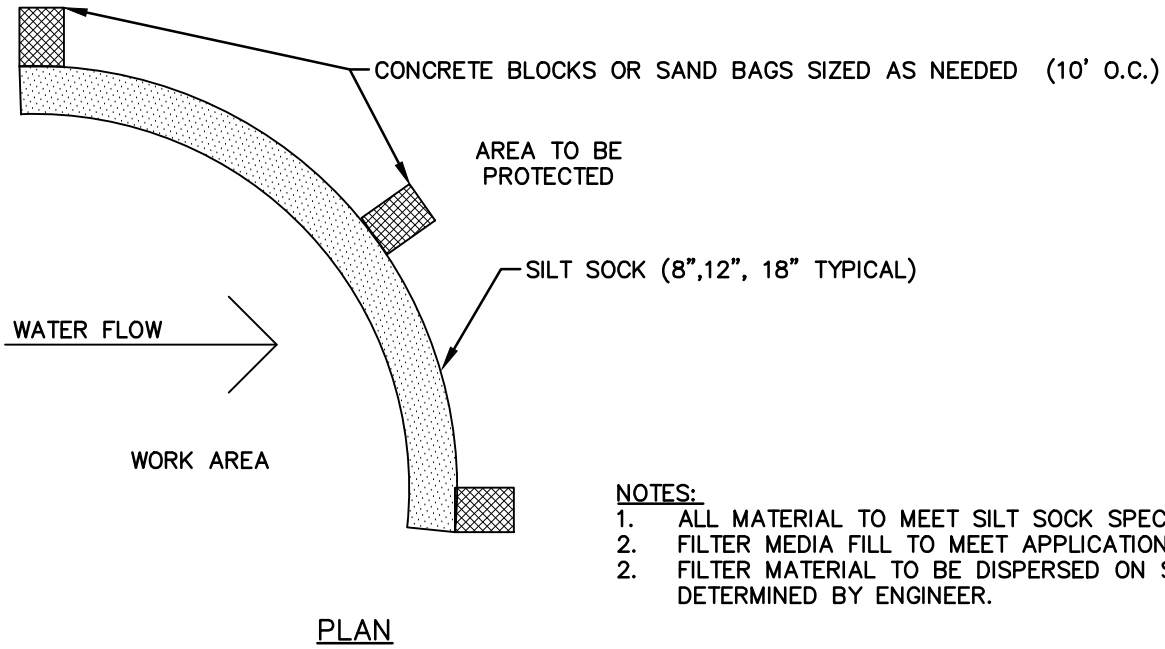
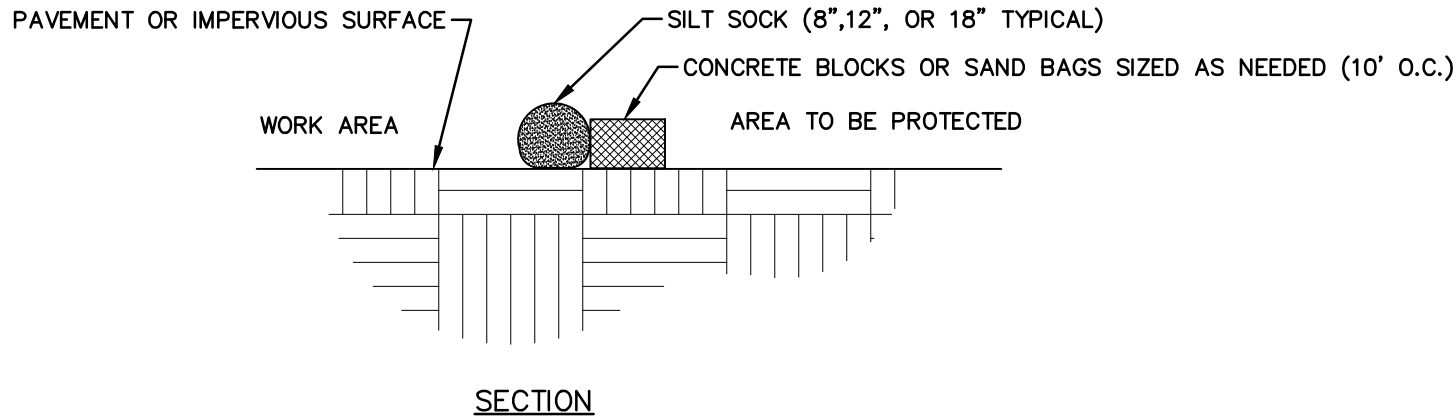
SILT SOCKS

MAINTENANCE REQUIREMENTS:

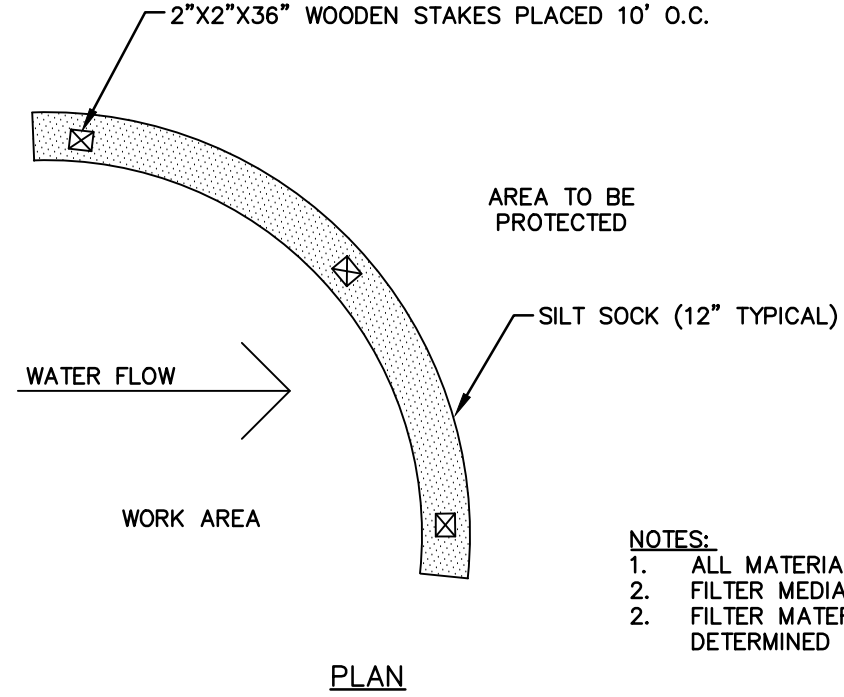
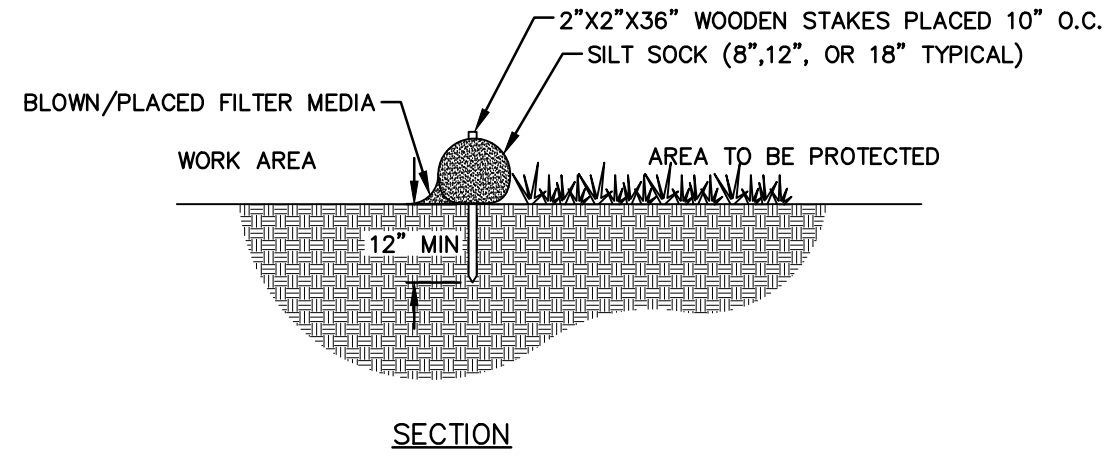
1. SILT SOCKS SHOULD BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS;
2. SEDIMENT DEPOSITION SHOULD BE REMOVED, AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE-HALF THE HEIGHT OF THE SOCK, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BACK TOWARD THE SILT SOCK.
3. SILT SOCKS SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHOULD BE REPLACED WITH A TEMPORARY CHECK DAM.
4. SHOULD THE FABRIC ON A SILT SOCK DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY; THE FABRIC SHOULD BE REPLACED PROMPTLY.
5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT SOCK IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SEEDED.
6. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
7. SILT SOCKS HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT SOCKS SHOULD BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

CONSTRUCTION SPECIFICATIONS:

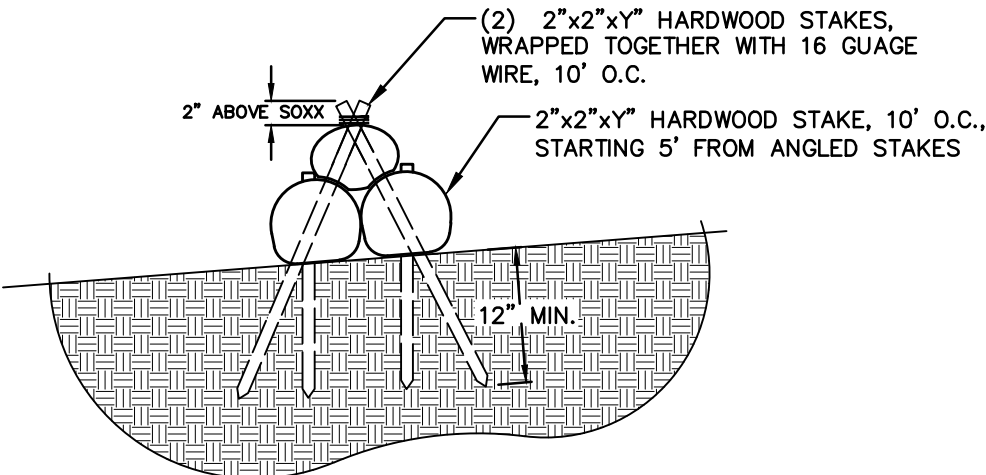
1. SILT SOCKS SHOULD BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE SILT SOCK. SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE SILT SOCK SHOULD BE LESS THAN 1 ACRE PER 100 LINEAR FEET OF SILT SOCK;
3. THE MAXIMUM LENGTH OF SLOPE ABOVE THE SILT SOCK SHOULD BE 100 FEET;
4. THE MAXIMUM SLOPE ABOVE THE SILT SOCK SHOULD BE 2:1;
5. SILT SOCKS SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, AND
 - A. THE ENDS OF THE SILT SOCK SHOULD BE FLARED UPSLOPE;
 - B. STAKE POSTS SHOULD BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 10 FEET ON CENTER;
 - C. ADJOINING SECTIONS OF THE SILT SOCK SHOULD BE OVERLAPPED BY A MINIMUM OF 18 INCHES.
6. SILT SOCKS PLACED AT THE TOE OF A SLOPE SHOULD BE SET AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.



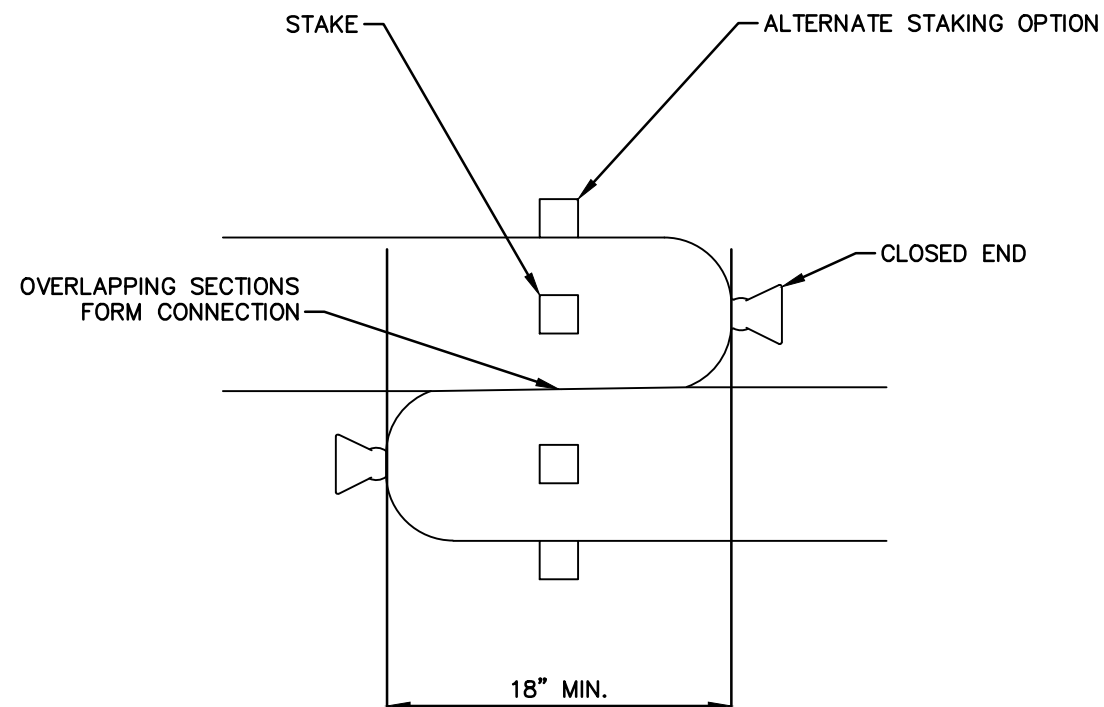
SILT SOCK FOR SEDIMENT CONTROL ON PAVEMENT
SCALE: N.T.S.



SILT SOCK FOR SEDIMENT CONTROL
SCALE: N.T.S.



SILT SOCK PYRAMIND STACK DETAIL
NOT TO SCALE



SILT SOCK CONNECTION/ATTACHMENT DETAIL

SCALE: N.T.S.

[illegible]

SCALE:

HORZ.:

VERT.:


DATUM:

HORZ.:

VERT.:

0

GRAPHIC SCALE

 **FUSS & O'NEILL**
50 COMMERCIAL STREET
MANCHESTER, NEW HAMPSHIRE 03101
603.668.8223
www.fussandoneill.com

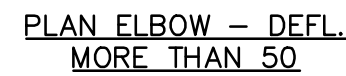
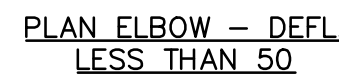
CITY OF ROCHESTER
EROSION & SEDIMENT
CONTROL DETAILS
UNION STREET PARKING
ROCHESTER NEW HAMPSHIRE

| |
|-------------------------|
| PROJ. No.: 20200203.A30 |
| DATE: FEBRUARY 2024 |

CD-502



| PPE DIA. (INCHES) | MINIMUM THRUST BLOCK VOLUME (CUBIC YARDS) |
|----------------------|---|
| 4 | 0.25 |
| 6 | 0.3 |
| 8 | 0.5 |
| 10 | 0.7 |
| 12 | 1.0 |
| 16 | 1.6 |

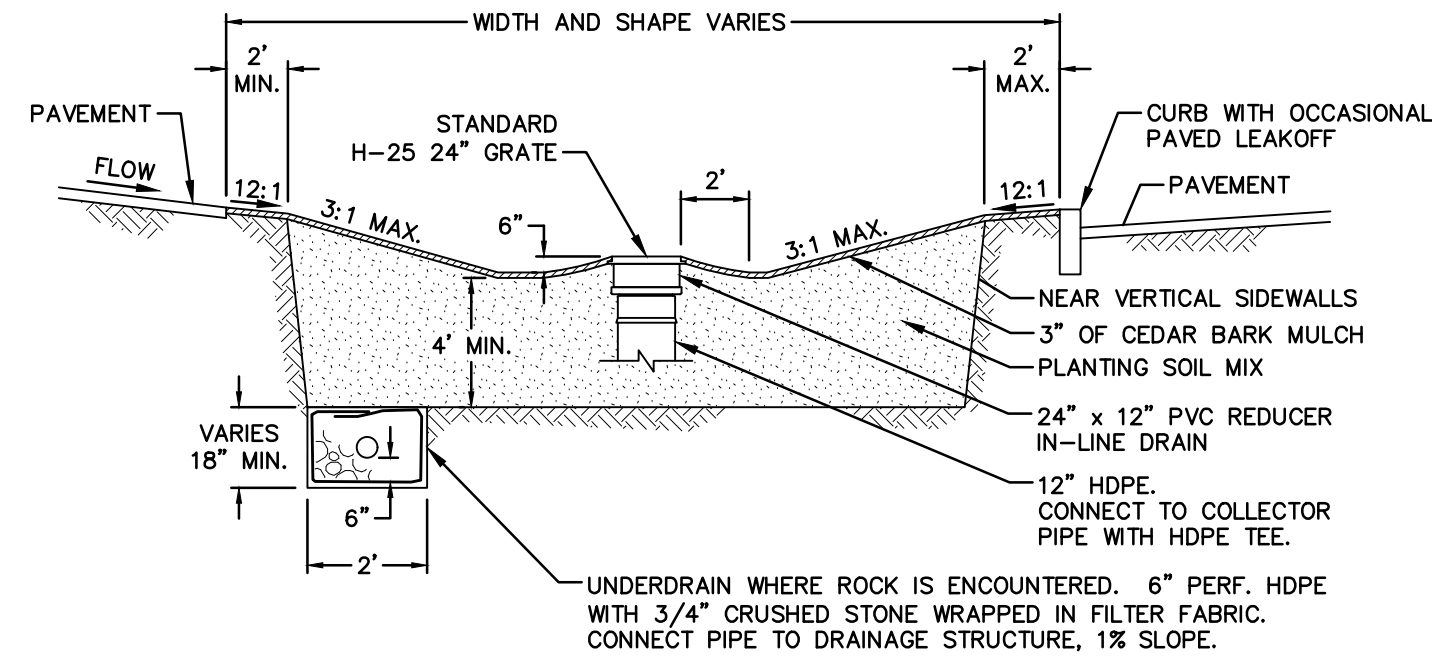


1. NO LEDGE OR UNEXCAVATED MATERIAL SHALL PROJECT WITHIN 6" OF THE PIPE IN ANY DIRECTION
2. EXACT LOCATION AND ELEVATION OF SERVICE CONNECTIONS TO BE DETERMINED AND SET IN THE FIELD DURING CONSTRUCTION
3. EXACT LOCATION OF WYES/TEES, WHERE DIRECTED TO BE INSTALLED, SHALL BE SET IN THE FIELD DURING CONSTRUCTION
4. PROVIDE DI TO PVC TRANSITION COUPLING AT END OF DI SERVICE CONNECTION

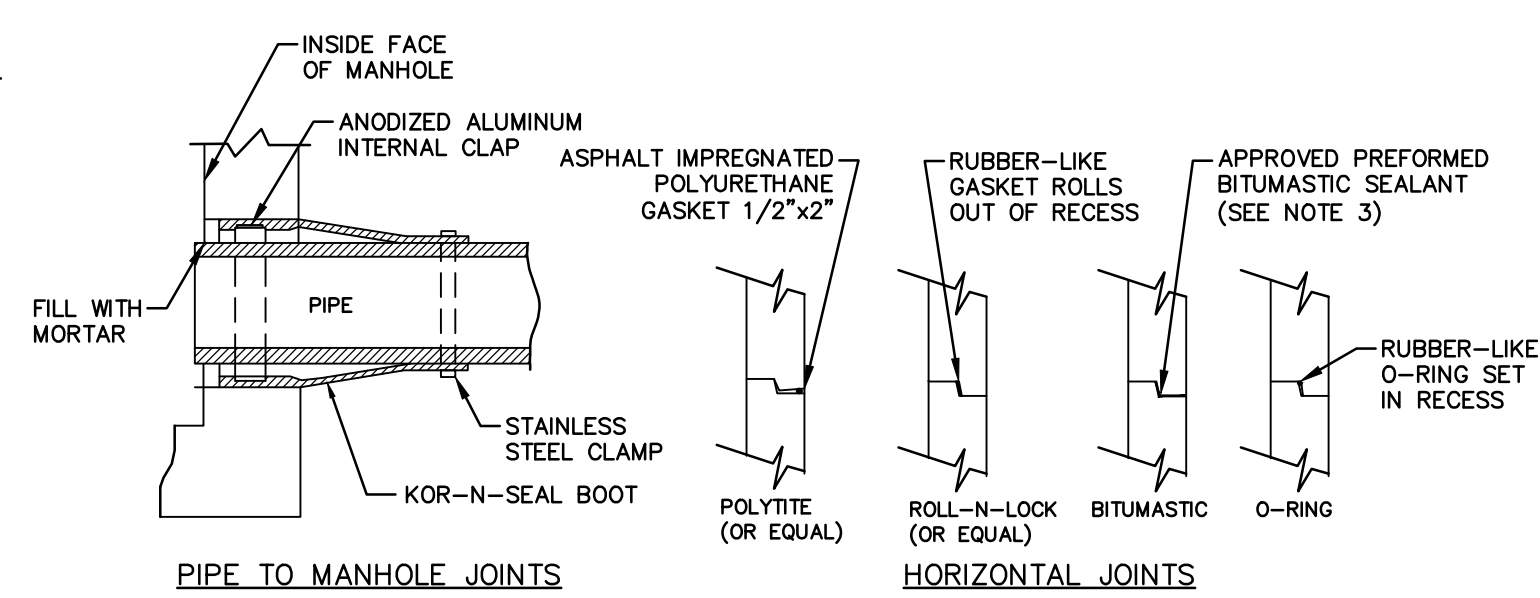


- CATCH BASIN SPECIFIC NOTES:**
13. CONE SECTIONS MAY BE CONCENTRIC OR ECCENTRIC FOR CATCH BASINS.
14. "ELIMINATOR" OIL/WATER SEPARATORS SHALL BE INSTALLED TIGHT TO THE INSIDE OF THE CATCH BASINS ON THE OUTLET PIPE.
- DRAIN MANHOLE SPECIFIC NOTES:**
15. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12-INCHES OF INSIDE SURFACE BETWEEN THE HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3-INCHES TO ANY JOINT.

NOT TO SCALE

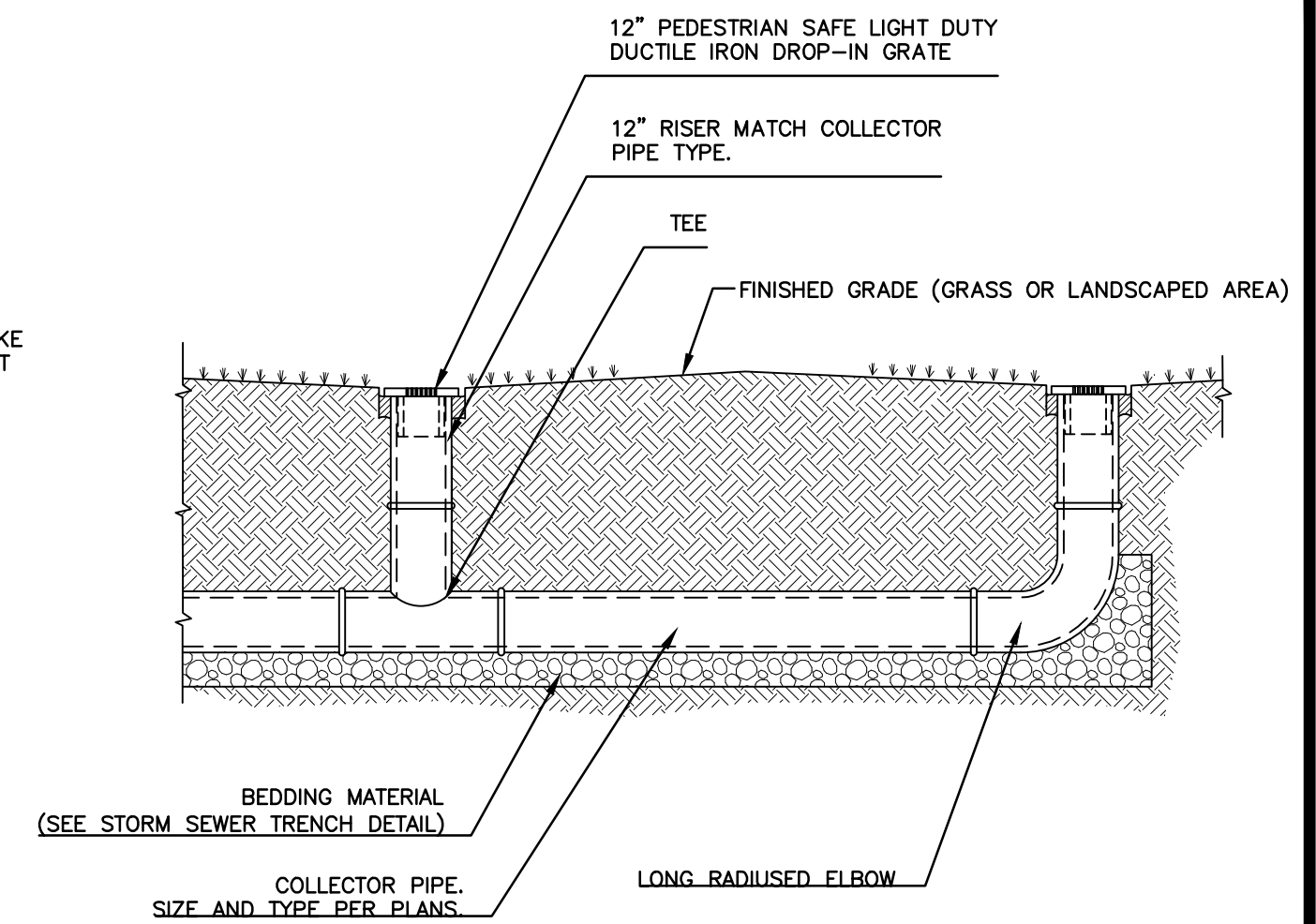


NOT TO SCALE



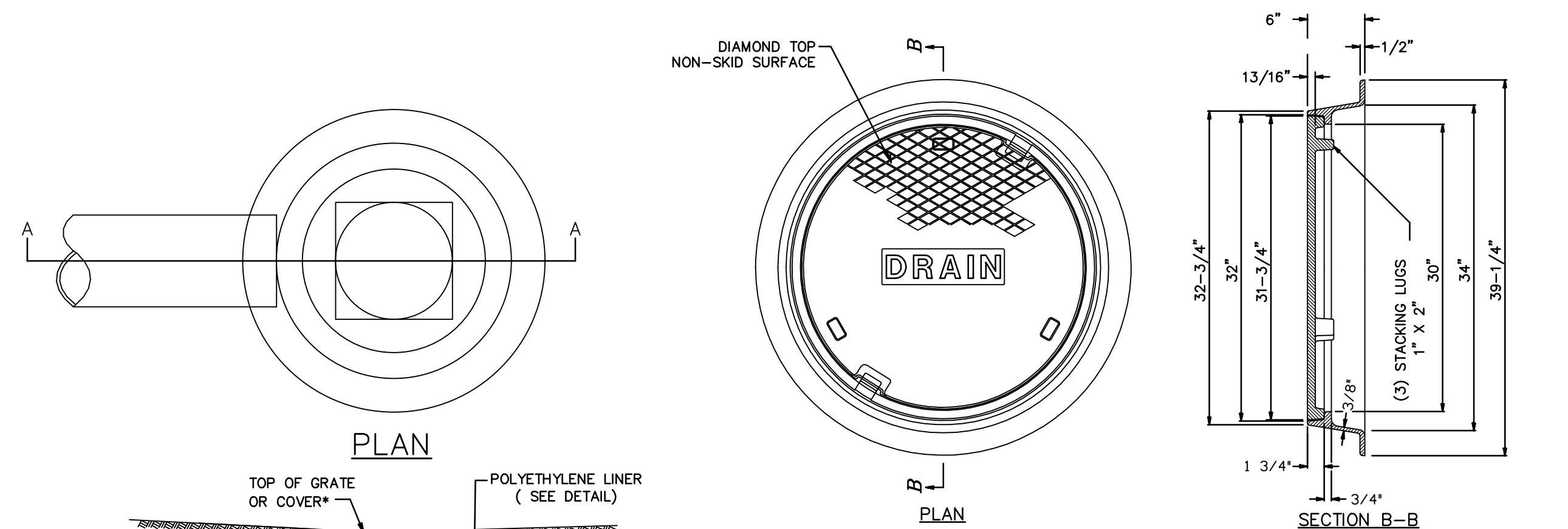
- NOTES
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE GASKET.
 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 3. FOR BUTTMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

NOT TO SCALE



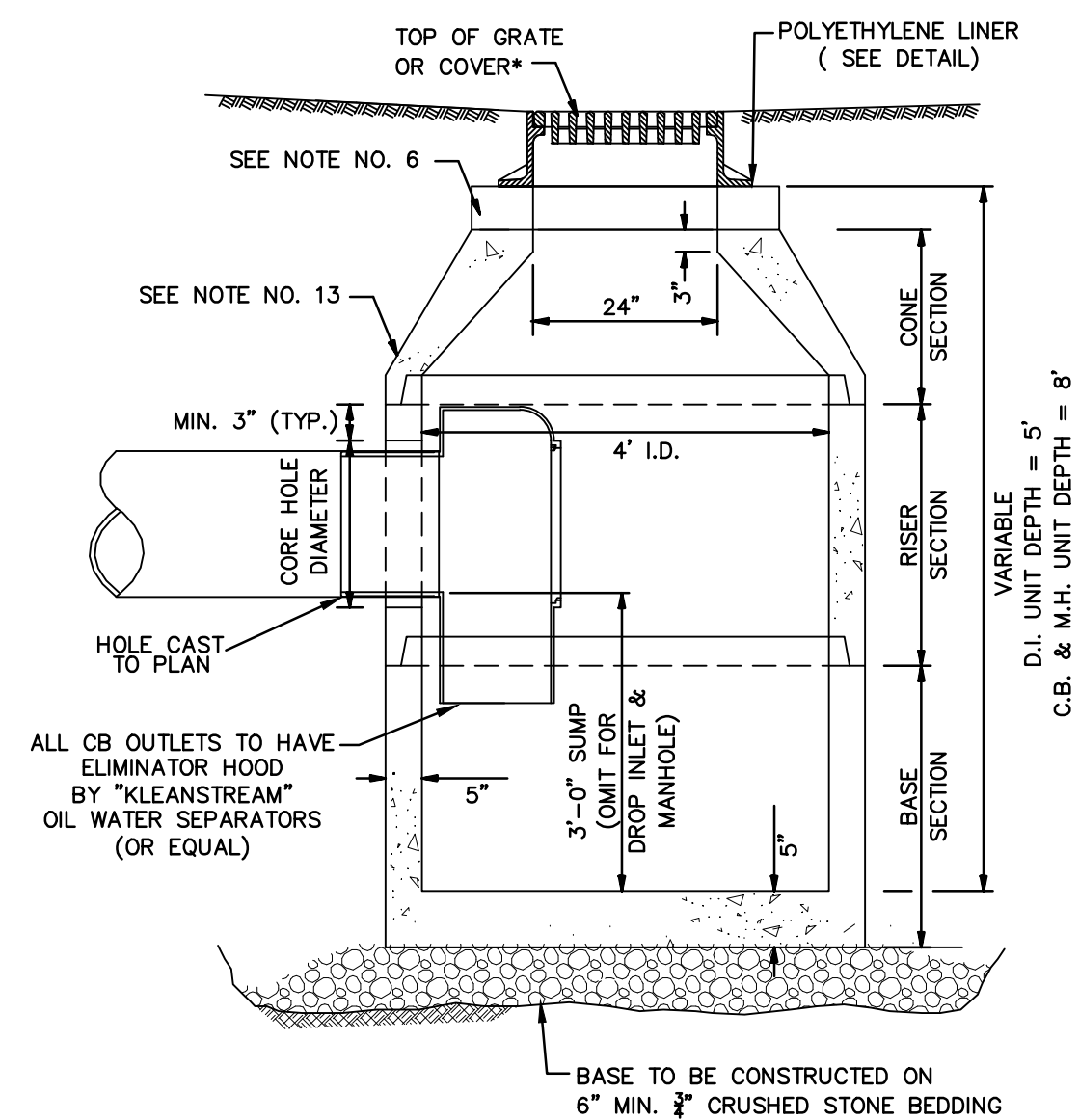
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN THE POLYETHYLENE LINER AND POLYETHYLENE SHEET.
3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURES)
4. USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CURB. DO NOT ALLOW ANY PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
7. EXCEED ONLY IN DRAINAGE STRUCTURE IN PAVEMENT.
8. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL INFORMATION.

NOT TO SCALE

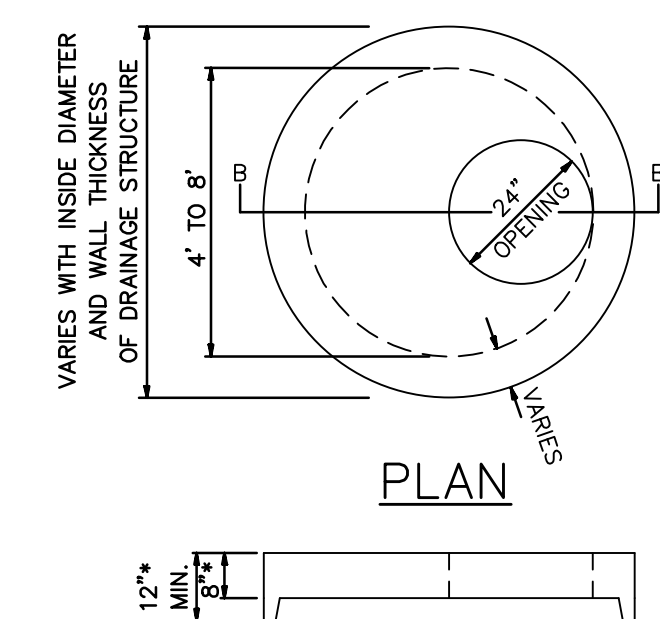


- NOTES:
1. ALL DIMENSIONS ARE NOMINAL.
 2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 3. THE (INTERIOR SURFACE AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRADE COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 4. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
 5. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.

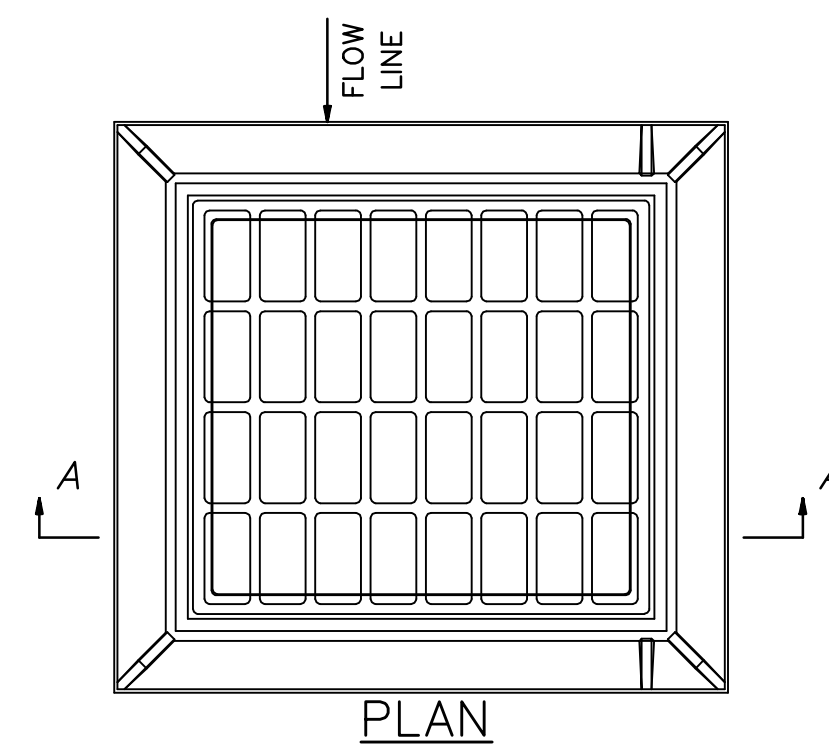
NOT TO SCALE



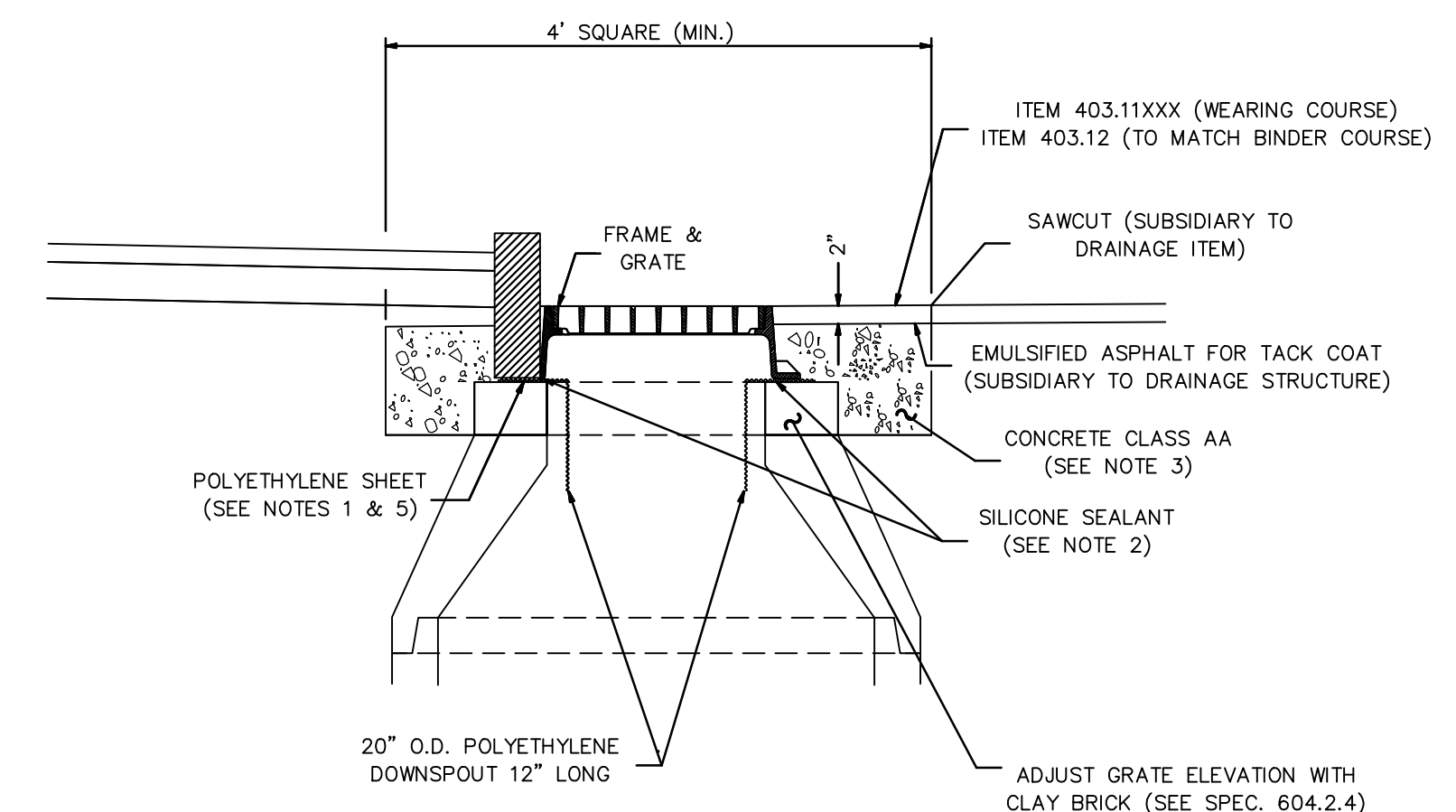
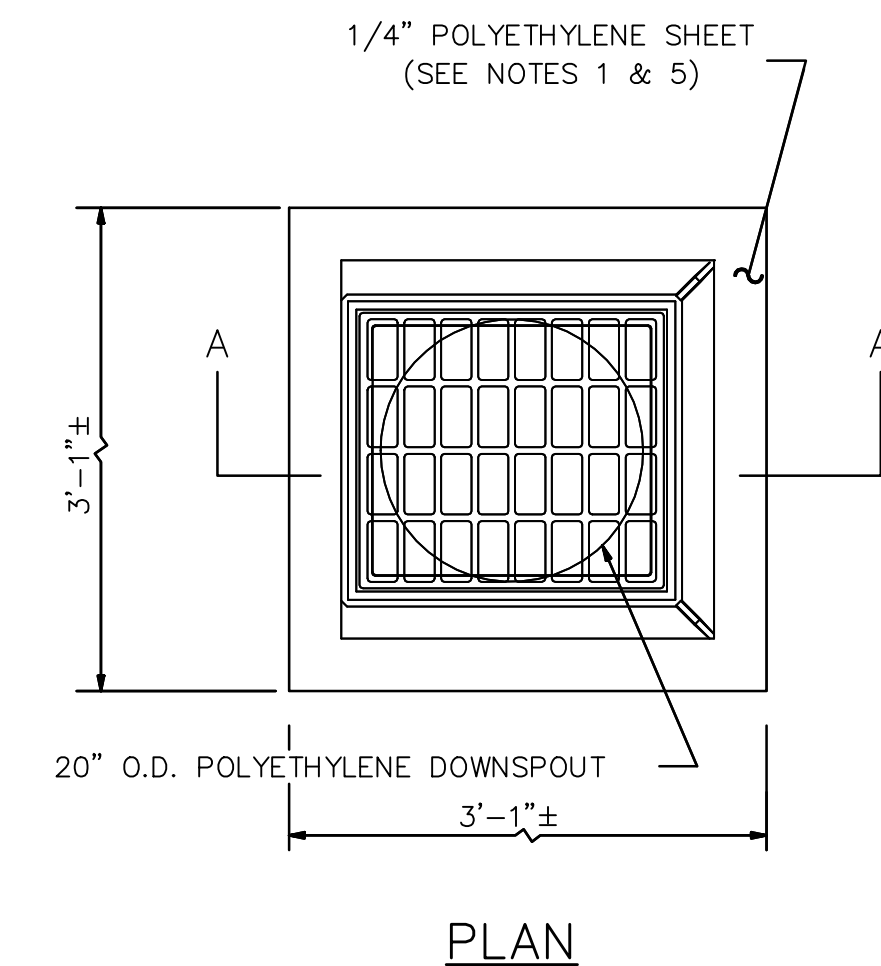
SCALE: N.T.S.



FLAT SLAB TOP



SCALE: N.T.S.



SCALE: N.T.S.

[illegible]

SCALE:

HORIZ.: _____

VERT.: _____

DATUM: _____

HORIZ.: _____

VERT.: _____

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GRAPHIC SCALE

FUSS & O'NEILL
A COMMERCIAL SERVICE



CITY OF ROCHESTER

DETAILS

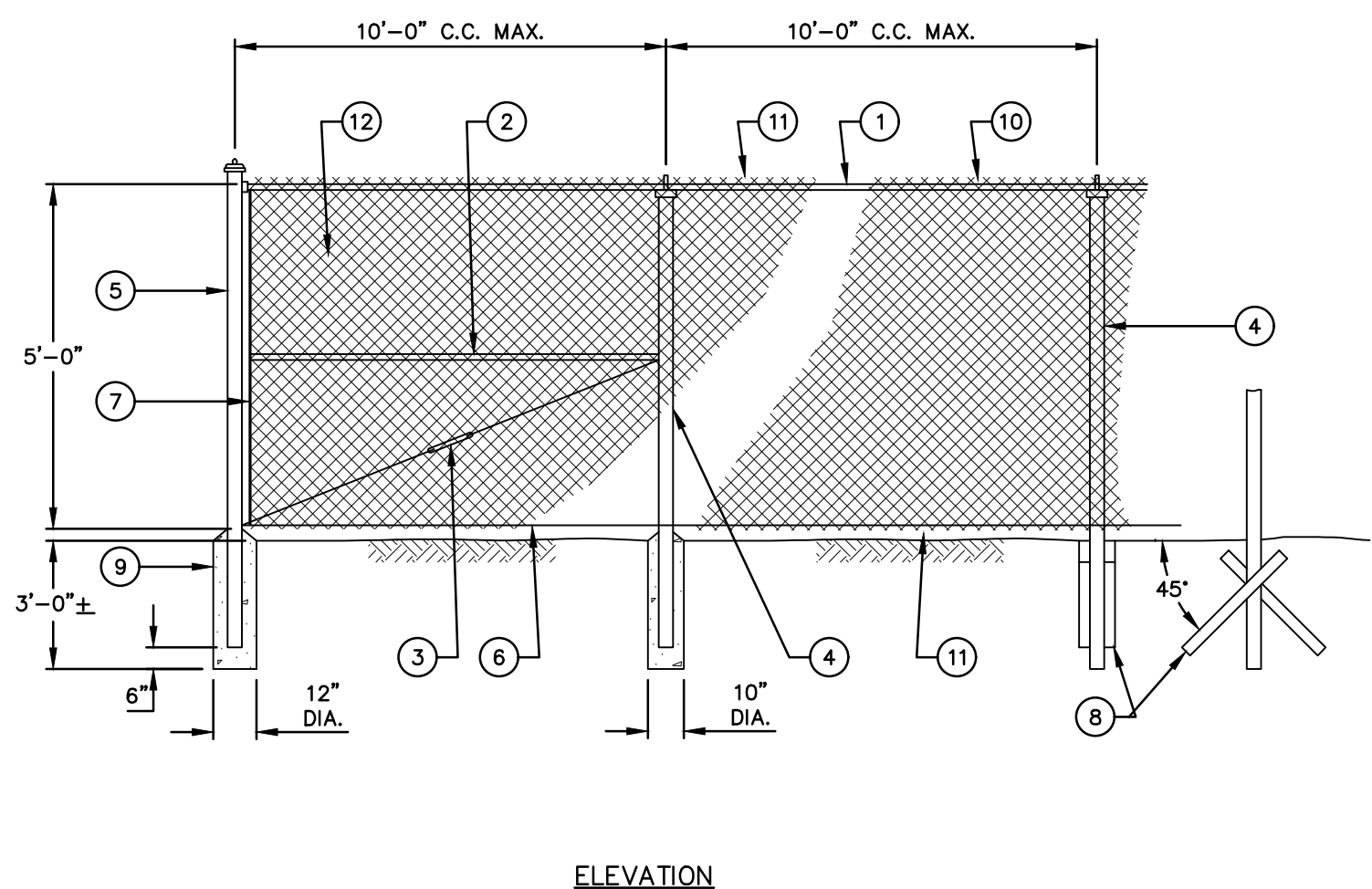
UNION STREET PARKING

ROCHESTER
NEW HAMPSHIRE

| |
|-------------------------|
| PROJ. No.: 20200203.A30 |
| DATE: FEBRUARY 2024 |

CD-505

SHT 18 of 22

ELEVATION

- ### CHAIN LINK FENCE LEGEND

- ① 1 5/8" O.D. TOP RAIL ATTACH FABRIC WITH 9 GAUGE WIRE CLIP EVERY 24"
- ② 1 5/8" O.D. BRACE FOR RAIL FENCES OVER 6 FEET HIGH AND ALL FENCES WITHOUT TOP RAIL

- 3) 5/16" TRUSS ROD AND TURNBUCKLE

- 4) INTERMEDIATE POST

- FENCE HEIGHT

- 6 FEET AND LESS 1 7/8"
OVER 6 FEET 2 1/4"
ATTACH TO C.L. FABRIC WITH CLIPS EVERY 15"

- 5) END OR CORNER POINT

- | <u>FENCE HEIGHT</u> | <u>SQUARE POST</u> | <u>ROUND POST</u> |
|---------------------|--------------------|-------------------|
| 6 FEET AND LESS | 2" | 2 1/2" |
| OVER 6 FEET | 2 1/2" | 3" |

- 6) 6 GAUGE BOTTOM TENSION WIRE ATTACH TO FABRIC WITH HOG RING AT 24" C.C.

- 7) TENSION ROD ATTACHED TO END OR CORNER POST

- 8) 2 30" MIN. LENGTH DRIVE ANCHORS DRIVEN THROUGH FITTINGS AT 90° TO FENCE LINE INTO EARTH AT 45° (TO BE USED IN PLACE OF CONCRETE FOOTING. SEE FOOTING DESIGN NOTE NO. 1)

- 9) CONCRETE FOOTING 36" DEEP WITH 12" DIA. AT END POST AND 10" DIA. AT INTERMEDIATE POST. HOLE CORE IN UNDISTURBED OR COMPACTED SOIL. (SEE NOTE NO. 1)

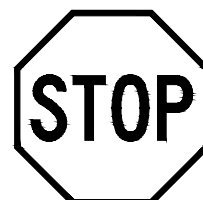






- 10) 6 GAUGE TENSION WIRE WHEN TOP RAIL IS NOT USED.

- 11) FABRIC SELVAGE:
UNDER 6 FEET SHALL BE KNUCKLED TOP AND BOTTOM
6 FEET AND OVER SHALL BE KNUCKLED BOTTOM AND
RECREATIONAL FENCING, REGARDLESS OF HEIGHT, SHALL
BOTTOM

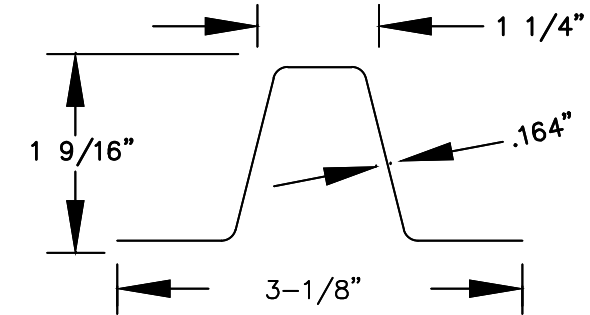
- ⑫ 9 GAUGE 2" WIRE MESH FABRIC (COMMERCIAL)



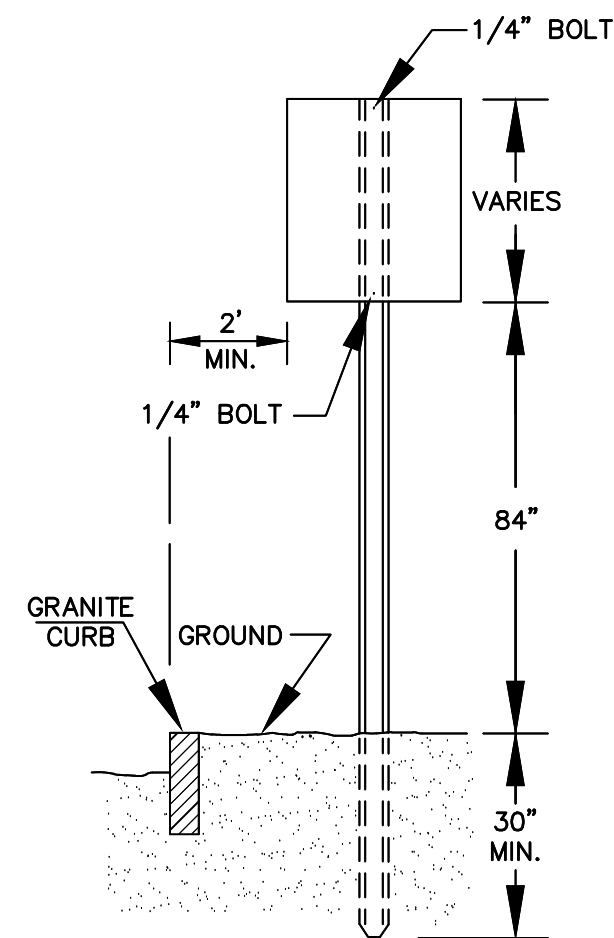
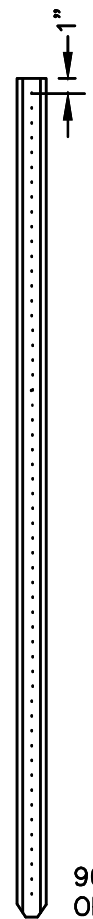
SCALE: N.T.S.

| CP | IDENT# | SIZE OF SIGN | | TEXT | TEXT DIMENSIONS | | | SHIELD SIZE (INCH) | AROW (INCH) | NUMERA L (INCH) | # SIGNS REQ'D | SIGN AREA (SQ. FT.) | | POSTS PER SIGN | | | | | REMARKS |
|----|-------------------------------------|----------------|-----------------|---|----------------------|----|------|--------------------|-------------|-----------------|---------------|---------------------|------------|----------------|------------|---------------|----------------|------------------|---------|
| | | WIDTH (INCHES) | HEIGHT (INCHES) | | LETTER HEIGHT (INCH) | | | | | | | | | BREAKAWAY | STEEL BEAM | CONCRETE BASE | 4" OD ALUMINUM | U-CHANNEL GALV | |
| | | | | | UC | LC | CAPS | | | | | NOM AREA | TOTAL AREA | | | | | | |
| | R1-1 | 30 | 30 |  | | | 10C | | | | 2 | 6.25 | 12.50 | | | | 14 | RED/WHITE | |
| | W8-1 | 30 | 30 |  | | | | | | | | 6.25 | 6.25 | | | | 1 | BLACK/RED/YELLOW | |
| | R7-8R | 12 | 18 |  | | | | | | | 1 | | | | | | 4 | GREEN/BLUE/WHITE | |
| | R7-8L | 12 | 18 |  | | | | | | | 1 | | | | | | 4 | GREEN/BLUE/WHITE | |
| | R7-8P | 18 | 9 |  | | | | | | | 2 | | | | | | 0 | GREEN/WHITE | |
| | R5-1 | 30 | 30 |  | | | | | | | 1 | | | | | | | | |
| | R6-1 | 36 | 12 |  | | | | | | | 2 | | | | | | | | |
| | INTERNAL DIRECTION SIGN | | | | | | | | | | 3 | | | | | | | | |
| | FREESTANDING SIGN (PERMIT REQUIRED) | | | | | | | | | | 4 | | | | | | | | |

LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".
WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.).
HOLFS: 3/8" DIA. 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR
 ASTM A-576 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN
 APPROVED MEDIUM GREEN, BAKED ON AIR DRIED,
 PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION
 SHALL BE COMPLETE BEFORE PAINTING.

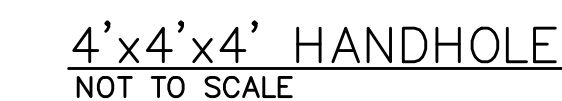


DIMENSIONS SHOWN ARE NOMINAL
ALTERNATE SECTIONS MUST BE APPROVED PRIOR
ALTERNATE SECTIONS MUST BE APPROVED PRIOR
TO USE.



SIGN POST
NOT TO SCALE

1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED.
2. POSTS MAY BE SET OF DRIVEN. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT TO EXCEED A 6" DEPTH, THOROUGHLY COMPACTED.
3. CARE SHALL BE TAKEN TO PRESERVE THE ALIGNMENT OF THE POST. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.



| Height | Weight |
|--------|-----------|
| 2'-0" | 420 Lbs |
| 2'-6" | 525 Lbs |
| 3'-0" | 630 Lbs |
| 3'-6" | 730 Lbs |
| 4'-0" | 835 Lbs |
| 4'-6" | 940 Lbs |
| 5'-0" | 1,045 Lbs |
| 5'-6" | 1,150 Lbs |
| 6'-0" | 1,255 Lbs |

NOTES:

1. ALL PRECAST STRUCTURES TO PRECAST PRODUCT

PHOENIX PRECAST
77 REGIONAL DRIVE
CONCORD, NH 03301
1.800.339.2199
info@phoenixprecast.com

[illegible]

| | |
|--------|---------------|
| SCALE: | |
| HORZ.: | |
| VERT.: | |
| DATE: | |
| HORZ.: | |
| VERT.: | |
| | 0 |
| | GRAPHIC SCALE |



CITY OF ROCHESTER

DETAILS

UNION STREET PARKING

ROCHESTER

NEW HAMPSHIRE

| |
|-------------------------|
| PROJ. No.: 20200203.A30 |
| DATE: FEBRUARY 2024 |

CD-508

SHT 21 of 22

SHT 22 of 22