

NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

Date:	Is a condition	nal use needed? Yes:_	No: Unclear:
	(If so, we enco	ourage you to submit an a	application as soon as possible.
Property inform	ation		
Tax map #:	; Lot #('s):	; Zoning district:	
Property address/lo	cation:		
Name of project (if a	applicable):		
Size of site:	_ acres; overlay zonir	ng district(s)?	
Property owner			
Name (include nam	e of individual):		
Mailing address:			
Telephone #:		Email:	
Applicant/devel	oper (if different from p	property owner)	
Name (include nam	e of individual):		
Mailing address:			
Telephone #:		Email:	
Engineer/design	ner		
Name (include nam	e of individual):		
Mailing address:			
Telephone #:		Fax #:	
Email address:		Professiona	al license #:
Proposed activi	ty (check all that apply)		
New building(s):	Site developm	nent (other structures, p	earking, utilities, etc.):
Addition(s) onto exis	sting building(s):	Demolition:	Change of use:

Describe proposed activity/use:		
Describe existing conditions/use (vacant land?):		
Utility information		
City water? yes no; How far is City v		
City sewer? yes no; How far is City s	ewer from the site?	
If City water, what are the estimated total daily no	eeds? gallor	ns per day
If City water, is it proposed for anything other tha	n domestic purposes?	yes no
If City sewer, do you plan to discharge anything of	other than domestic wast	e? yes no
Where will stormwater be discharged?		
Building information Type of building(s):		
Building height: Finished	I floor elevation:	
Other information		
# parking spaces: existing: total proposed:_ Number of cubic yards of earth being removed from Number of existing employees:; number of existing employees:; number of existing employees:; substituting the proposed: variance; substituting the proposed: variance; substituting the proposed:; area to be the proposed:; area to; area to; area to; area to	om the site; omegains and the site; omegains and the site; of the site of	oyees total: conditional use
Proposed <u>post-development</u> dispo	sition of site (should tot	al 100%)
	Square footage	% overall site
Building footprint(s) – give for each building		
Parking and vehicle circulation		
Planted/landscaped areas (excluding drainage)		
Natural/undisturbed areas (excluding wetlands)		
Wetlands		
Other – drainage structures, outside storage, etc		

Comments
Please feel free to add any comments, additional information, or requests for waivers here:
Submission of application
This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.
I(we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the <u>City of Rochester Site Plan Regulations</u> and attest that to the best of my knowledge all of the information on this application form and in the accompanying applicatio materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.
Signature of property owner:
Date:
Signature of applicant/developer:
Date:
Signature of agent:
Date:
Authorization to enter subject property I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use a reasonable care, courtesy, and diligence when entering the property. Signature of property owner:
Date:

Site Plan Checklist (residential and nonresidential)

*To be filled out by applicant/agent (with notes to be inserted by staff)

See regulations for other specific requirements

City of Rochester Planning & Development Department

Project Name:				Lot:		Date:				
Applicant/agent:			Signature:							
(Staff review by:	Date:									
General items	Vaa	NI.	N 1/A	Waiv		0				
4 sets completed application	Yes	No	N/A	Requ		Comments				
Total application fee										
4 copies of narrative										
3 sets of full-size plans										
2 sets of 11 X 17 reductions										
Completed abutters list										
Copy of existing covenants, easements, deed restrictions										
Plan Information Basic information including: Title sheet Name of Project Date North arrow Scale Legend Revision block Vicinity sketch -not less than 1" = 1,000	X									
Name and address of developer/applicant	X									
Name, stamp, and NH license # of land survey, engineer, and/or architect										
City tax map & lot #'s	X									
Notation on plans: "For more information about this site plan contact"										

General Items Continued			51/4	Waiv	_	Commonts			
Approval block (for signature by staff attesting to Planning Board approval)	Yes	No	N/A □	Requ	ested 	Comments			
References to neighboring plans and subdivisions									
 Surveyed property lines including: existing and proposed bearings existing and proposed distances pins, stakes, bounds monuments 									
 benchmarks Include error of closure statement 									
Information on abutting properties: owner name owner address tax map and lot # square footage of lots approximate building footprints use									
Zoning Zoning designations of subject tract and in vicinity of tract									
Zoning requirements for district: • frontage • lot dimensions/density • all setbacks • lot coverage									
Zoning overlay districts									
Existing Topographic Features: Contour lines a (not to exceed two-foot Intervals, except on steep slopes) and spot elevations	X								
Soil types and boundaries		X							
Soil test pit locations, profiles, and		X							
Depth to water table and ledge Percolation test locations and results		X							

Existing Topographic Features Co	<u>ontinu</u>	<u> </u>		Waive	er	
Water features (ponds, streams)	Yes X	No	N/A	Reque	ested ———	Comments
Wetlands including name of certified Wetlands scientist who delineated			X			
Statement whether located in flood area, And if so, 100 year flood elevation						
Delineation of trees and open areas	X					
Overview of types of trees and vegetation						
Stone walls and archaeological features			X			
Locations of trails and paths			X			
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc)			X			
Building Information Existing buildings/structures including square footage and use			X			
Proposed building/structures including square footagefirst floor elevationuse# bedrooms per unit if residential			X			
Elevation drawing of proposed buildings and structures as follows: • Showing all four sides • Drawn to scale with dimensions • Showing exterior materials • Showing exterior colors			X			
Circulation and Parking Plans Existing and proposed driveways and access points including: • Width of opening • Turning radii • Cross section of driveway	X					
Curbing & edge treatment	X					
Traffic control devices, if appropriate:			X			

Circulation and Parking Plans Co.	ntinue	ed:		Waiver						
Number of parking spaces	Yes X	No	N/A	Requeste	ed Comments					
required by ordinanceproposed										
Parking layout and dimensions of spaces	X									
Handicap spaces	X									
Loading area	X									
Pedestrian circulation plan (including existing sidewalks in vicinity, if any)	X									
Bicycle rack, if appropriate										
Buffers, landscaping & screening			X							
Snow storage areas/plan										
<u>Utilities</u> Show all pertinent existing and proposed p		, elevat	ions, m	naterials, si	izes, and details					
		, elevai	.10113, 11		izes, and details					
Water lines/well (with protective radius)	X			LJ						
Sewer lines/septic and leaching areas	X									
Pump stations			X							
Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc.	X									
Fire hydrant location(s) and details	X									
Electric, telephone, cable TV (underground or overhead)	X									
Gas lines	X									
Fire alarm connections			X							
Treatment of solid waste (dumpsters?)	X									
Handing of oil, grease, chemicals hazardous materials/waste			X							

<u>Landscaping Plan</u>	Yes	No	N/A	Waive Reque	Comments
Demarcation of limits of construction, clear delineation of vegetation to be saved and strategy for protecting vegetation	X				
Proposed ground cover, shrubbery, and trees including: • botanical and common names • locations and spacing • total number of each species • size at installation	X				
Planting plan (size of holes, depth of planting, soil amendments, etc.)	X				
Irrigation: system? soaker hose? Manual? undergrou	□ und, e	□ tc.			
Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc)	X				
Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.)	X				
Fencing/screening			X		
Signage Location and type of signs: • Attached to building • Freestanding • Directional, if appropriate	X				
Dimensions of signs: • Height • Area • Setback	X				
Elevation drawings with colors & materials			X		
Type of Illumination, if proposed	X				

Outdoor Lighting	Voo	No	NI/A	Waiver	Comments
Locations	Yes X	No	N/A		Comments
Height of fixtures					
Wattage					
Type of light (high pressure sodium, etc)					
Design/cut sheets of fixtures					
Illumination study, if appropriate	X				
Other Elements Traffic study, if appropriate			X		
Drainage study with calculations, storm Waimpact analysis, and mitigation plan	ater X				
Grading plan (including finish grades)	X				
Earth being removed from site(in cubic yards	s) 🗌				
Erosion and sedimentation plan	X				
Proposed covenants, easements, And deed restrictions, if any			X		
Fiscal impact study, if requested			X		
Additional Comments:					

UNION STREET PARKING LOT IMPROVEMENTS

UNION STREET · ROCHESTER · NEW HAMPSHIRE

F&O REFERENCE NO.: 20200203.A30

FEBRUARY 2024

PREPARED FOR

CITY OF ROCHESTER

EX-101

31 WAKEFIELD STREET ROCHESTER NH 03867



PREPARED BY

FUSS&O'NEILL

50 COMMERCIAL STREET MANCHESTER, NEW HAMPSHIRE 03101 603.668.8223 www.fando.com

SHEET INDEX

SHEET No. SHEET TITLE

GI-001 COVER SHEET

CN-001 GENERAL NOTES

CS-100 GENERAL SITE PLAN

CG-100 GRADING, DRAINAGE, & EROSION

CONTROL PLAN

EXISTING CONDITIONS PLAN

CU-101 UTILITIES PLAN

CU-102 LIGHTING PLAN

DT-100 TRUCK TURNING PLAN

LP-100 & LP-101 LANDSCAPING PLANS

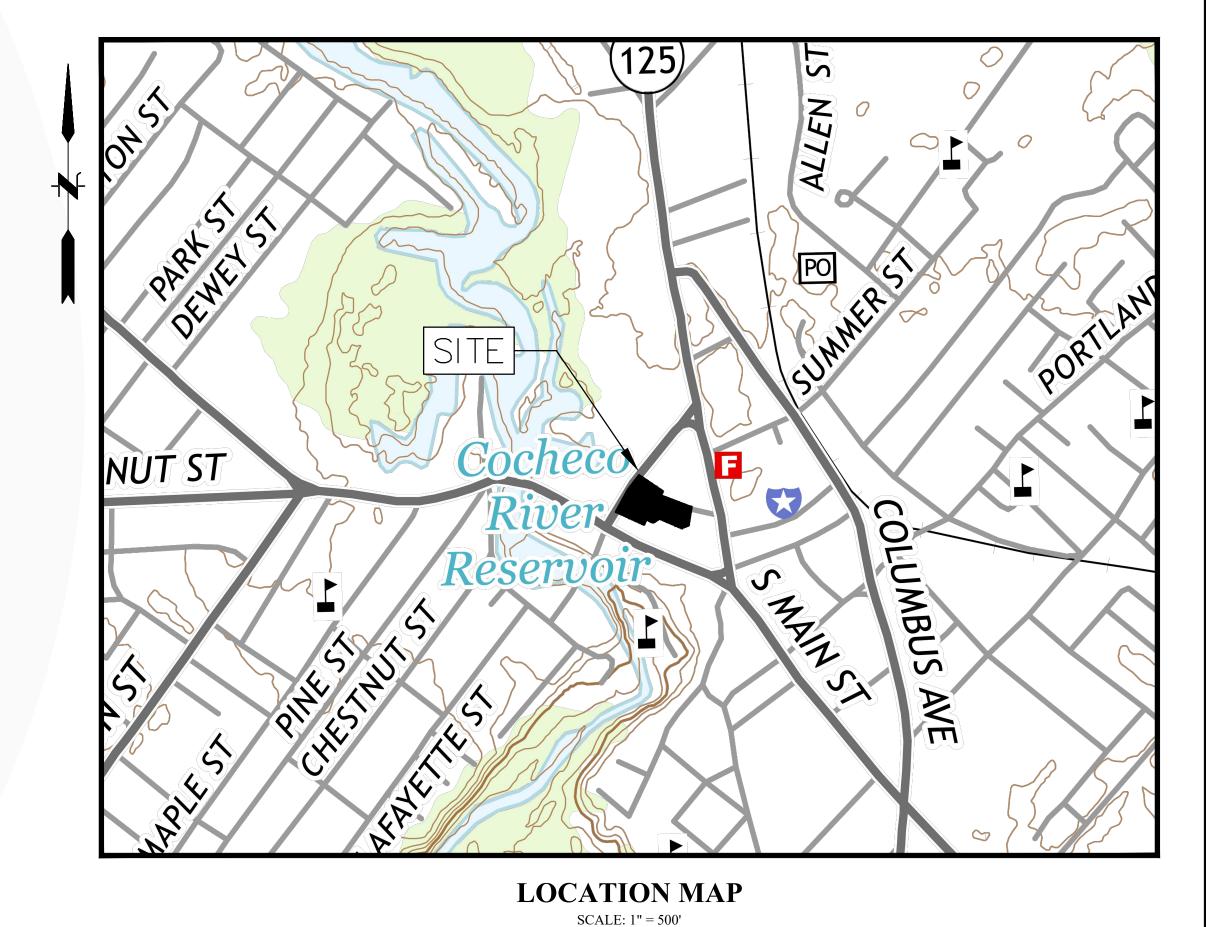
DR-100 PRE-DEVELOPMENT WATERSHED PLAN

DR-200 POST-DEVELOPMENT WATERSHED

PLAN

D-300 OVERALL STORMWATER PLAN

CD-501 - CD-509 DETAILS



DRAFT
PRELIMINARY
PLAN SET

DATE: FEBRUARY 2024

- 2. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR IN THE GROUND, WITHIN THE CONSTRUCTION AREA, AND SHALL COORDINATE WITH THE OWNERS OF SAID UTILITIES. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, RELOCATION OF ANY UTILITY, IF REQUIRED, SHALL BE ONLY AS DIRECTED BY THE OWNER OF SAID UTILITY. UTILITIES THAT ARE DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR ANCHORING, SUPPORTING, AND/OR RELOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.
- 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS IS APPROXIMATE. THE EXACT LOCATION SHALL BE ESTABLISHED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY EXCAVATION. AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION THE CONTRACTOR MUST CONTACT DIG-SAFE AT 1-888-DIG-SAFE (888-344-7233). CONTRACTOR SHALL RETAIN FILE NO.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND PAYMENT OF ALL NECESSARY PERMITS AND INSPECTIONS AS REQUIRED.
- 5. BY BEGINNING WORK, THE CONTRACTOR ACCEPTS GRADES AND SURFACES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIFFERING SITE CONDITIONS IMMEDIATELY, FOR RESOLUTION ACCORDING TO THE TERMS OF THE CONTRACT.
- 6. ALL EXCAVATIONS SHALL COMPLY WITH OSHA AND SPECIFICATION REQUIREMENTS.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR ALL ENGINEERING AND RELATED COSTS ASSOCIATED WITH ANY DESIGN ALTERNATIVES. DESIGN ALTERNATIVES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
- 8. IF ANY PROPERTY BOUNDS ARE IMPACTED BY THE WORK, NOTIFY ENGINEER FOR DIRECTION ON ACCEPTABLE MODIFICATIONS.
- 9. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL WASTE BUILDING MATERIALS, CONCRETE, MASONRY, TREES, SHRUBS, DEBRIS, AND OTHER MATERIALS NECESSARY FOR THE SATISFACTORY COMPLETION OF THE CONTRACT WORK AND AS REQUIRED BY THE OWNER. CONSTRUCTION DEBRIS SHALL BE DISPOSED IN STRICT ACCORDANCE WITH CURRENT NEW HAMPSHIRE STATE LAW. CONTRACTOR SHALL DELIVER ALL SALVAGED MATERIAL TO THE OWNER IN THE LOCATION DIRECTED THE THE OWNER. ALL COSTS FOR LOADING, TRANSPORT AND DELIVERY OF SALVAGED MATERIALS ARE SUBSIDIARY TO THE WORK.
- 10. RELOCATION OF OVERHEAD UTILITIES AND OTHER ABOVE GROUND AND UNDERGROUND STRUCTURES REQUIRED TO CONSTRUCT THIS PROJECT AS WELL AS COORDINATION WITH THEIR RESPECTIVE OWNERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY FUSS & O'NEILL, INC. DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO

- THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 12. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AND WHERE APPLICABLE, VEHICULAR ACCESS TO ABUTTING PROPERTIES AT ALL TIMES, INCLUDING THE PROVISION OF TEMPORARY WALKWAYS AS NECESSARY. TEMPORARY PROVISIONS SHALL CONSIDER THE NEEDS OF DISABLED PERSONS. PROVISIONS OF MEANS OF TEMPORARY ACCESS SHALL BE CONSIDERED SUBSIDIARY TO RELATED WORK ITEMS.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING AND COORDINATING WITH ALL ABUTTERS, PROPERTY AND BUSINESS OWNERS PRIOR TO COMMENCING WORK.
- 14. AT NO TIME SHALL CONTRACTOR PERSONNEL, EQUIPMENT, OR MATERIALS TRESPASS ONTO ANY PRIVATE PROPERTY DURING THE PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED WITHIN THE RIGHT-OF-WAY LINES INDICATED ON THE PLANS.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MUNICIPAL CONSTRUCTION PERMITS. PERMIT FEES REQUIRED BY THE PUBLIC WORKS DEPARTMENT ARE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS WAIVED.
- 16. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR THE CONSTRUCTION AND COMPLETION IN EVERY DETAIL OF THE WORK DESCRIBED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY WORK CONFORMS TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY. ALL TRENCHING AND BACKFILLING RELATIVE TO THESE FACILITIES SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF ROCHESTER, DEPARTMENT OF PUBLIC WORKS, THE NHDOT, AND ANY SPECIFICATIONS OF THE UTILITY AUTHORITIES.
- 17. BEFORE ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL REMOVE FROM WITHIN THE LIMITS OF THE RIGHT-OF-WAY ALL MACHINES, EQUIPMENT, SURPLUS MATERIALS, RUBBISH, TEMPORARY FACILITIES, BARRICADES, AND SIGNS. ALL PARTS OF THE WORK SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION.
- 18. THE CONTRACTOR SHALL, ON A DAILY BASIS, THOROUGHLY SECURE ALL EXCAVATIONS UPON COMPLETION OF OPERATION IN THE IMMEDIATE AREA OF THE EXCAVATION.
- 19. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- 20. THE CONTRACTOR SHALL RESTORE ALL DRIVEWAY PAVEMENT ALTERED WITHIN THE LIMITS SHOWN BY REPAVING IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- 21. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES. THE PROJECT AREA SHALL BE CLEANED DAILY AND EVENING STREET ACCESS MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

SURVEY NOTES

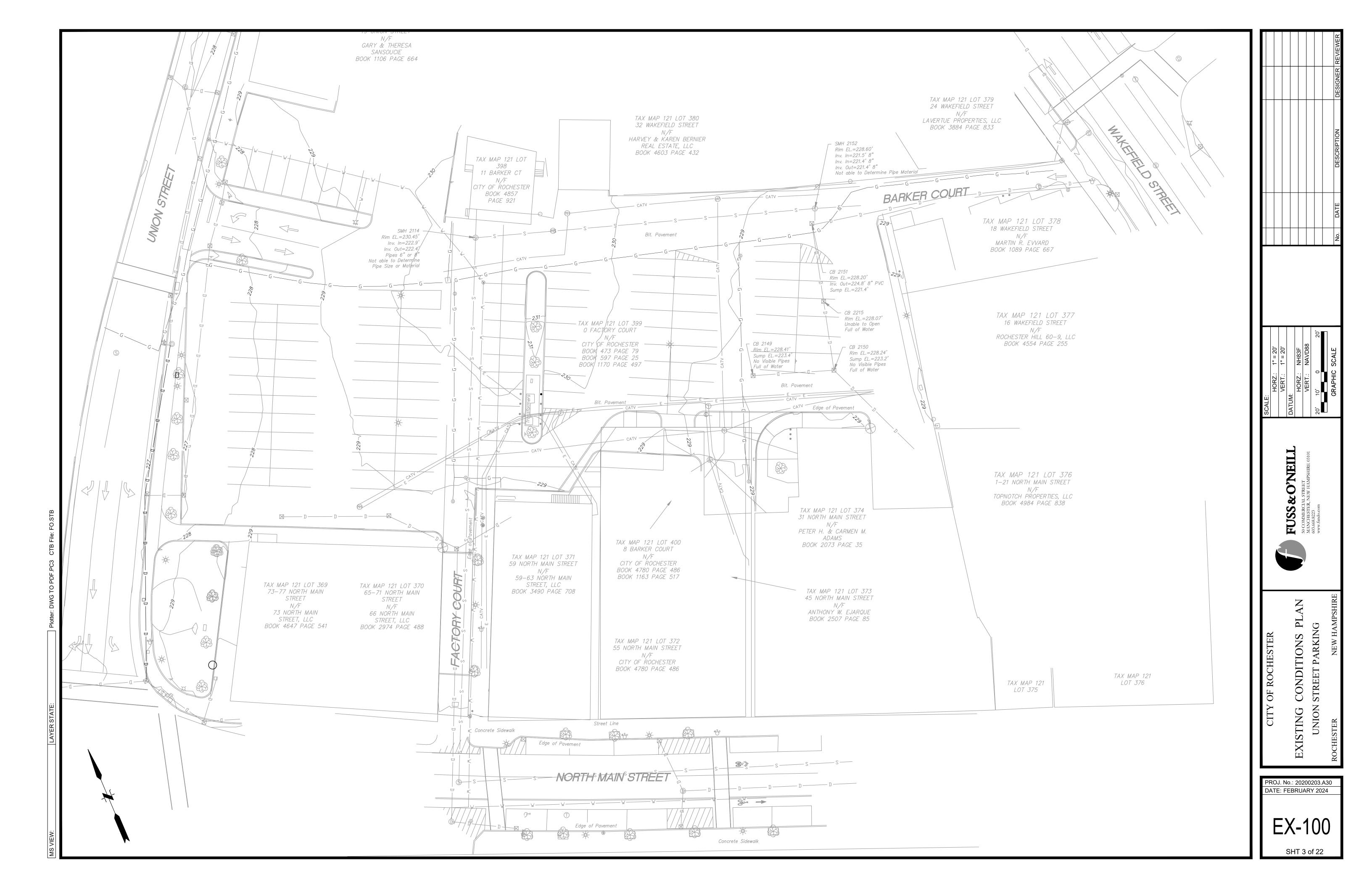
- 1. THIS PLAN IS BASED ON ACTUAL FIELD SURVEY PERFORMED ON THE GROUND IN APRIL OF 2022. THE CONTRACTOR SHALL VERIFY BENCHMARK ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
- 2. SURVEY IS BASED ON THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. HORIZONTAL DATUM IS NAD83 (2011) AND VERTICAL DATUM IS NAVD88.

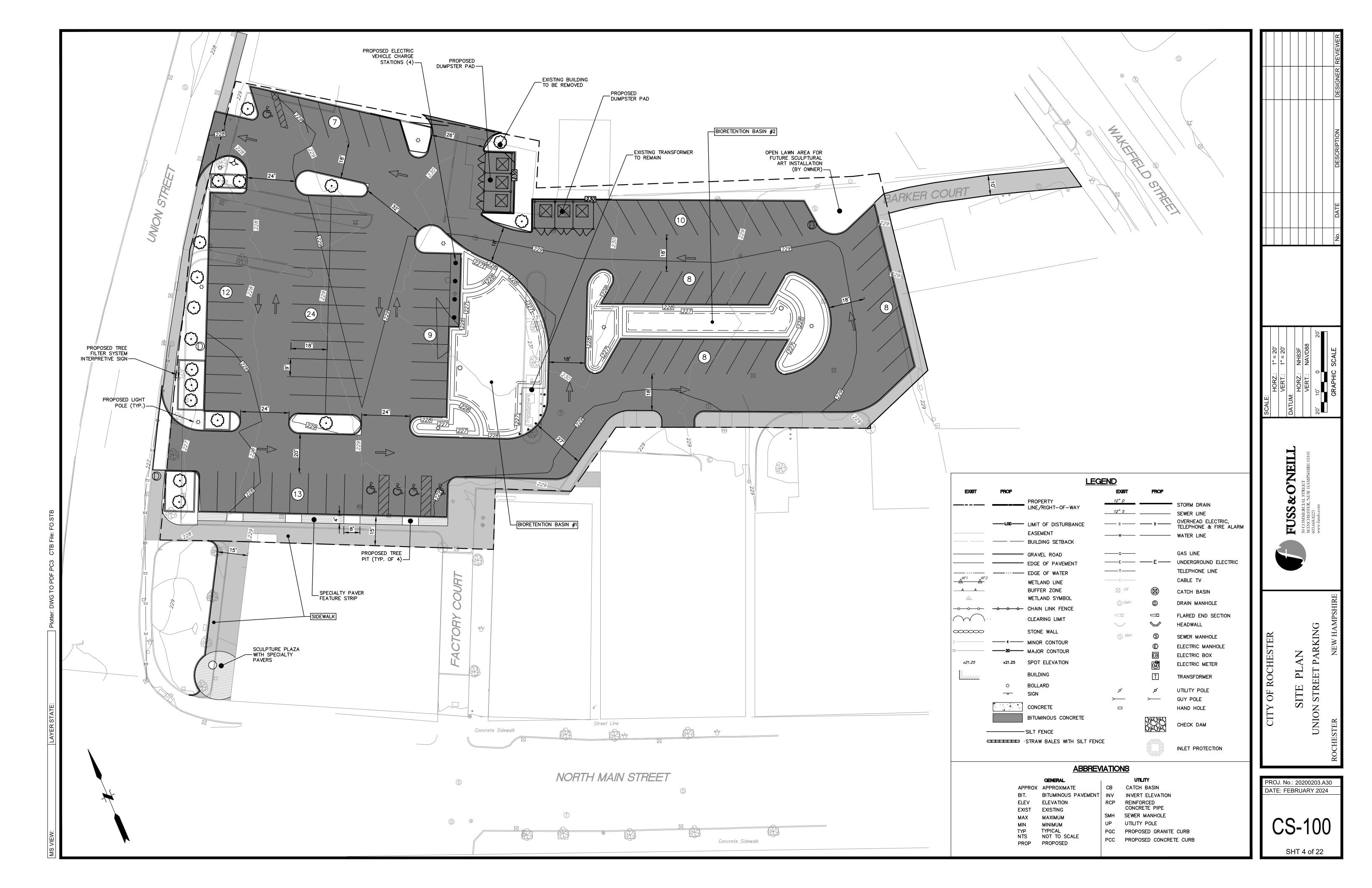
3. UTILITY STRUCTURES AT OR ABOVE THE GROUND SURFACE SHOWN HEREON ARE THOSE THAT HAVE BEEN OBSERVED FROM SURFACE EVIDENCE. UTILITIES BENEATH THE GROUND SURFACE HAVE NOT BEEN OBSERVED AND ARE SHOWN APPROXIMATELY HEREON AS DERIVED FROM A COMBINATION OF SURFACE MARKINGS BY OTHERS AND/OR RECORD INFORMATION AND ARE NOT VERIFIED LOCATIONS OR CONFIRMATION OF EXISTENCE OF SAID UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITIES SHOULD BE LOCATED IN THE FIELD PRIOR TO COMMENCEMENT OF ALL SITE WORK. CALL DIG SAFE 1-888-344-7233 A MINIMUM OF 72 HOURS PRIOR TO PLANNED ACTIVITY.

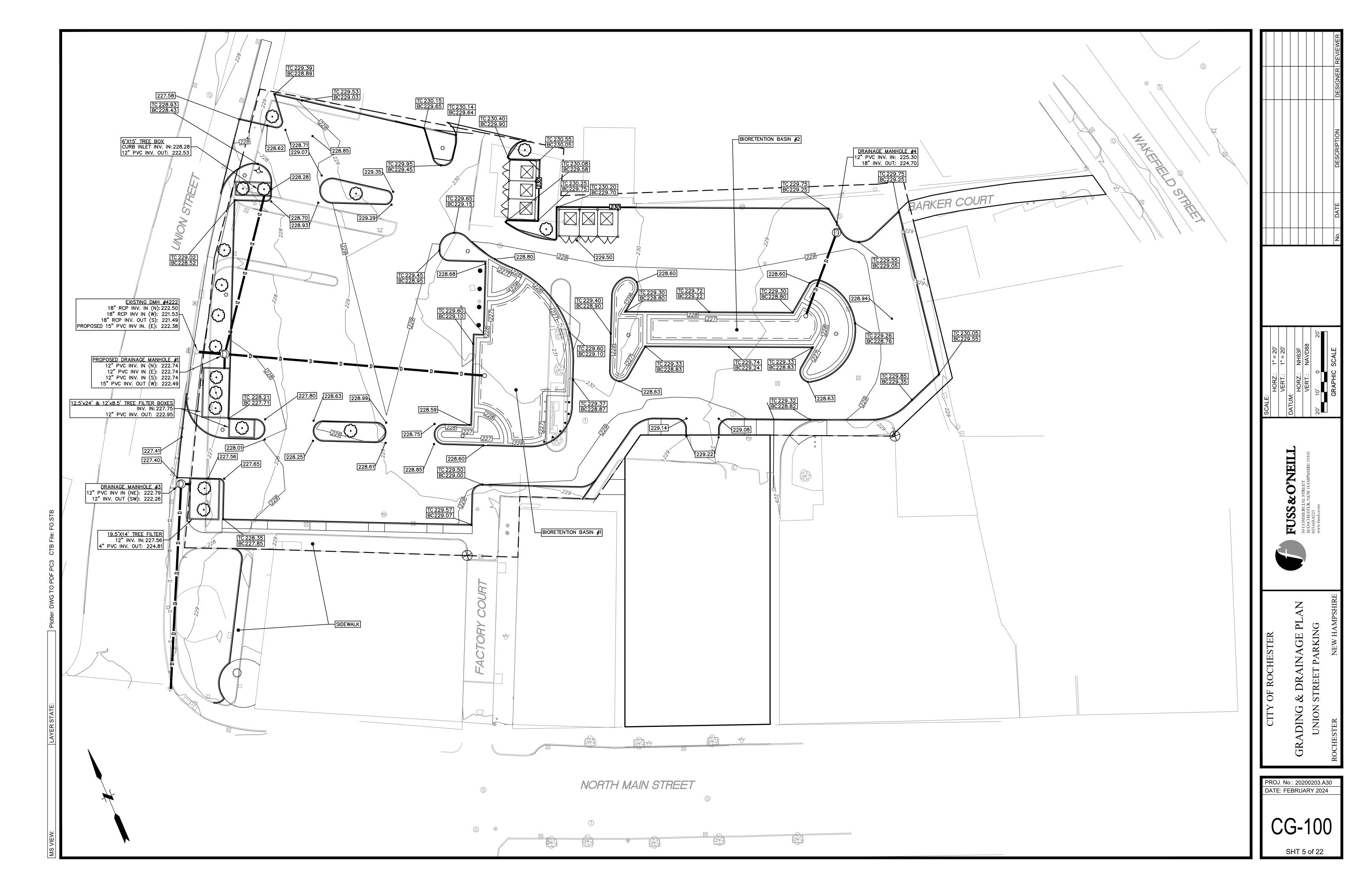
ROADWAY

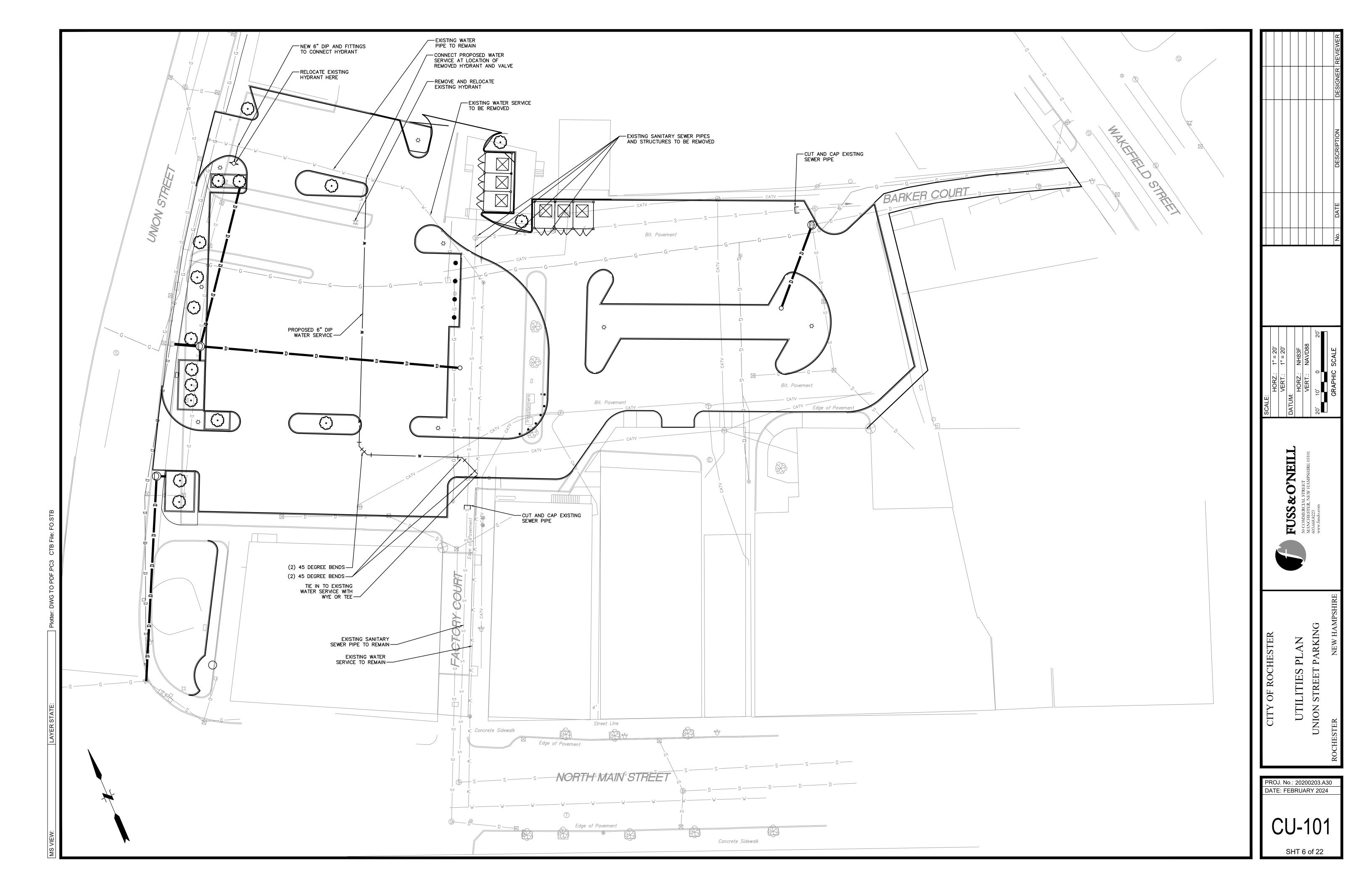
- 1. LIMITS OF CLEARING AND GRUBBING SHALL BE TO THE TOE OF SLOPE AS SHOWN ON THE PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 2. TOPSOIL SHALL BE REMOVED FOR ITS TOTAL DEPTH WITHIN THE LIMITS OF THE SLOPE LINES UNLESS OTHERWISE DIRECTED. THE TOPSOIL SHALL BE STOCKPILED AND USED WHEREVER POSSIBLE.
- 3. HUMUS SHALL BE APPLIED TO ALL EARTH SLOPES NOT LOAMED TO A NOMINAL DEPTH OF 4" (533 CY/ACRE), UNLESS OTHERWISE ORDERED.
- 4. VEGETATION ON ALL NEW EARTHEN SLOPES SHALL BE REESTABLISHED WITH ITEM 646.31 - TURF ESTABLISHMENT WITH MULCH AND TACKIFIERS.
- 5. ALL WORK SHALL BE CONSTRUCTED WITHIN THE EXISTING RIGHT-OF-WAY UNLESS OTHERWISE SHOWN ON THE PLANS.
- 6. THE CONTRACTOR SHALL PREVENT VEHICULAR ACCESS AND MAINTAIN APPROPRIATE BARRIERS AND WARNING SIGNS THROUGHOUT THE PROJECT DURATION. THIS WORK AND COSTS FOR ALL SITE CLOSURE MATERIAL, INSTALLATION AND REMOVAL, INCLUDING BUT NOT LIMITED TO FENCING, BARRIERS, AND SIGNING, SHALL BE SUBSIDIARY TO ITEM 619.1 - MAINTENANCE OF TRAFFIC.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING HORIZONTAL AND VERTICAL CONTROLS. SURVEYORS SHALL BE LICENSED IN THE STATE OF NEW HAMPSHIRE.
- 8. ALL SURVEY LAYOUT NECESSARY FOR ALL WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS NOTED OTHERWISE, PAYMENT SHALL BE SUBSIDIARY TO THE CONTRACT.

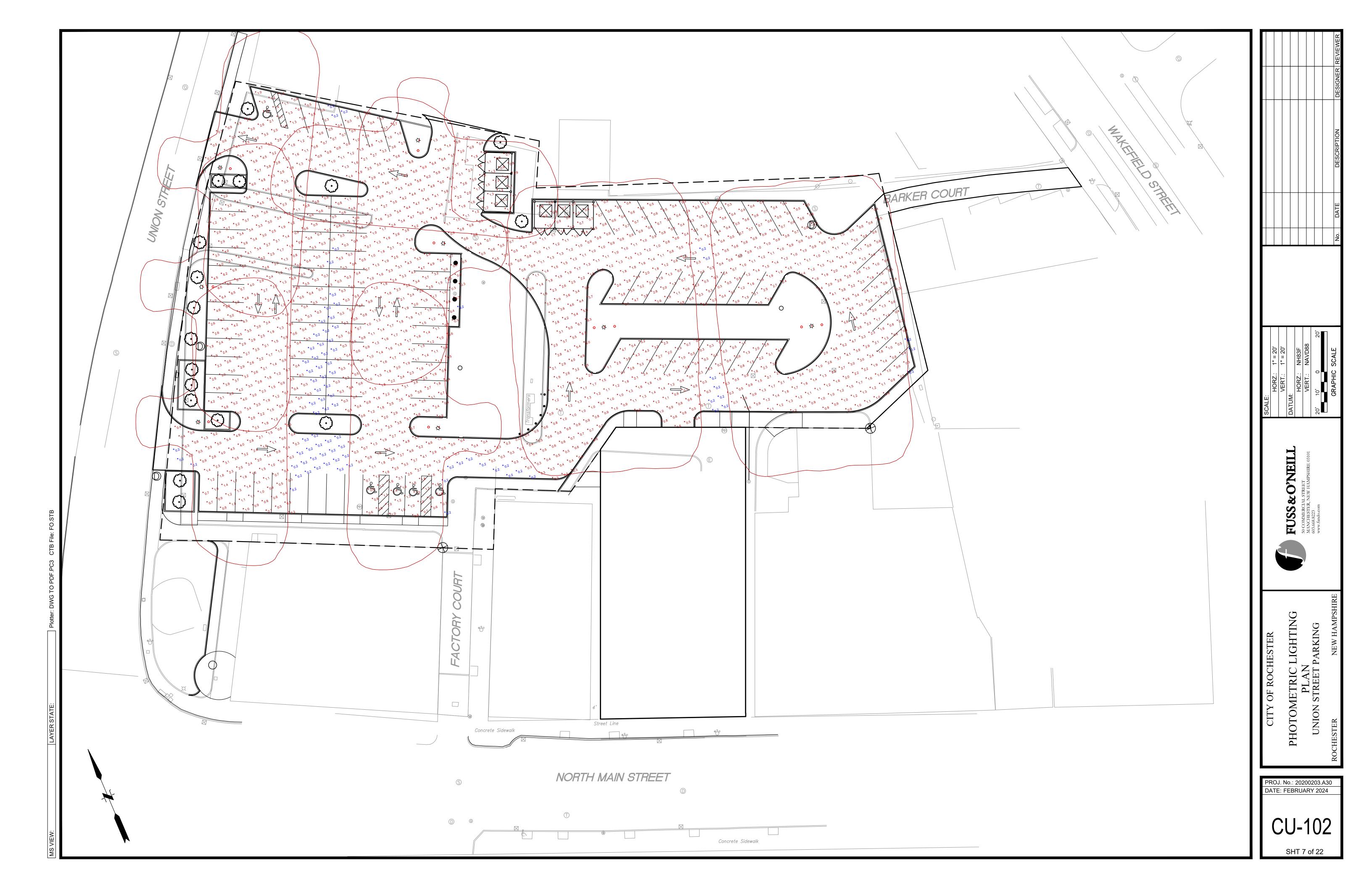
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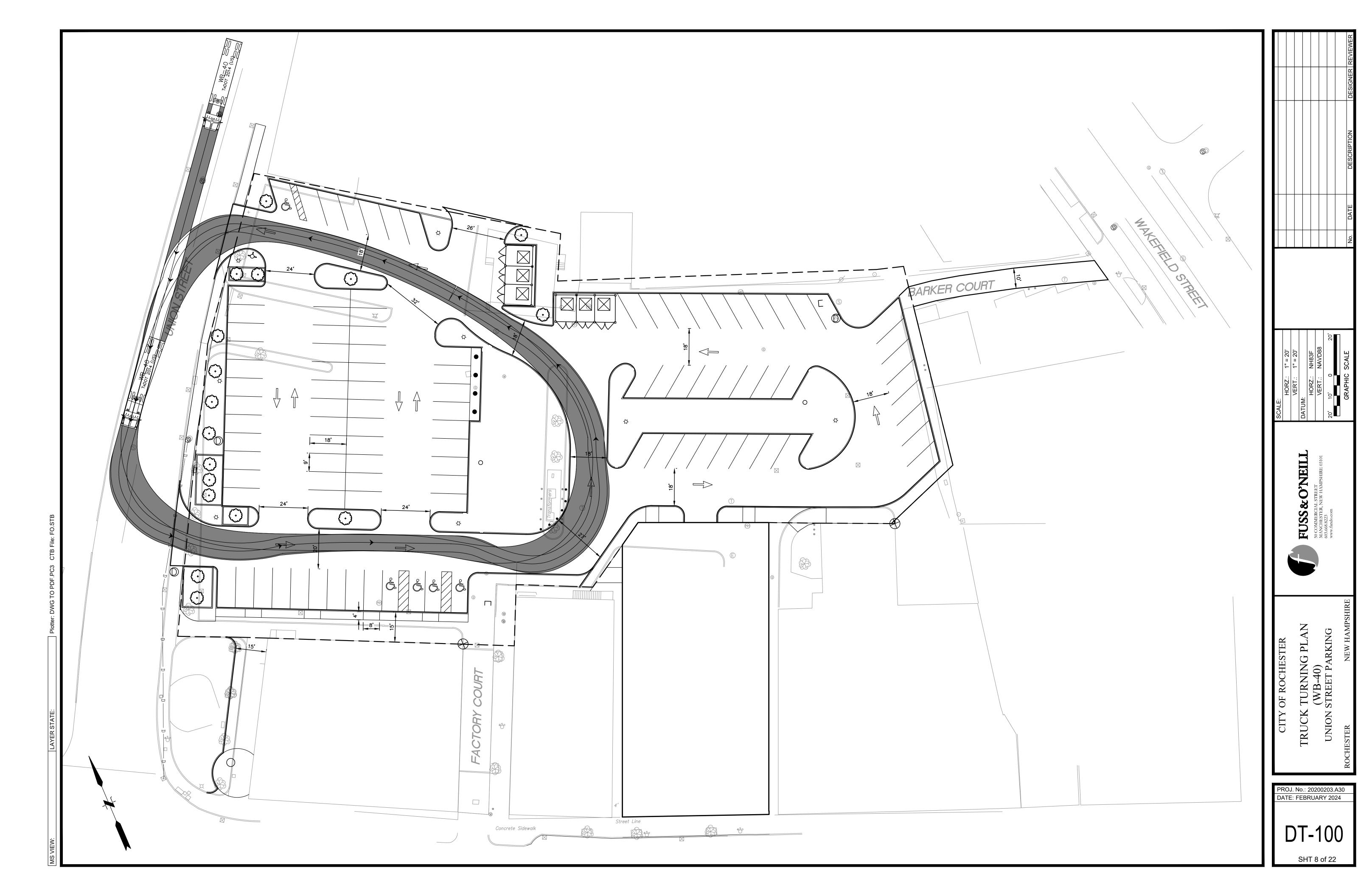


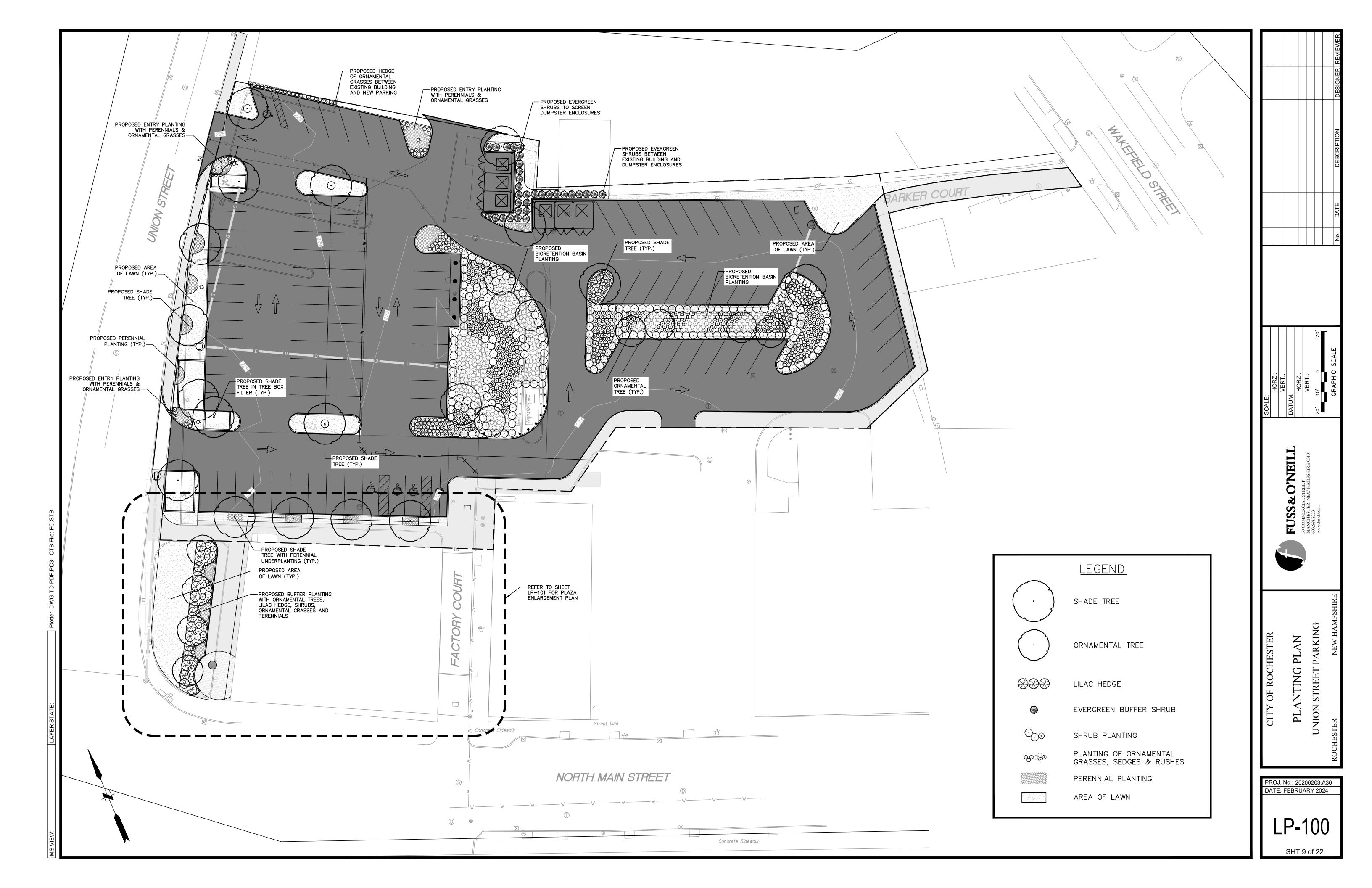


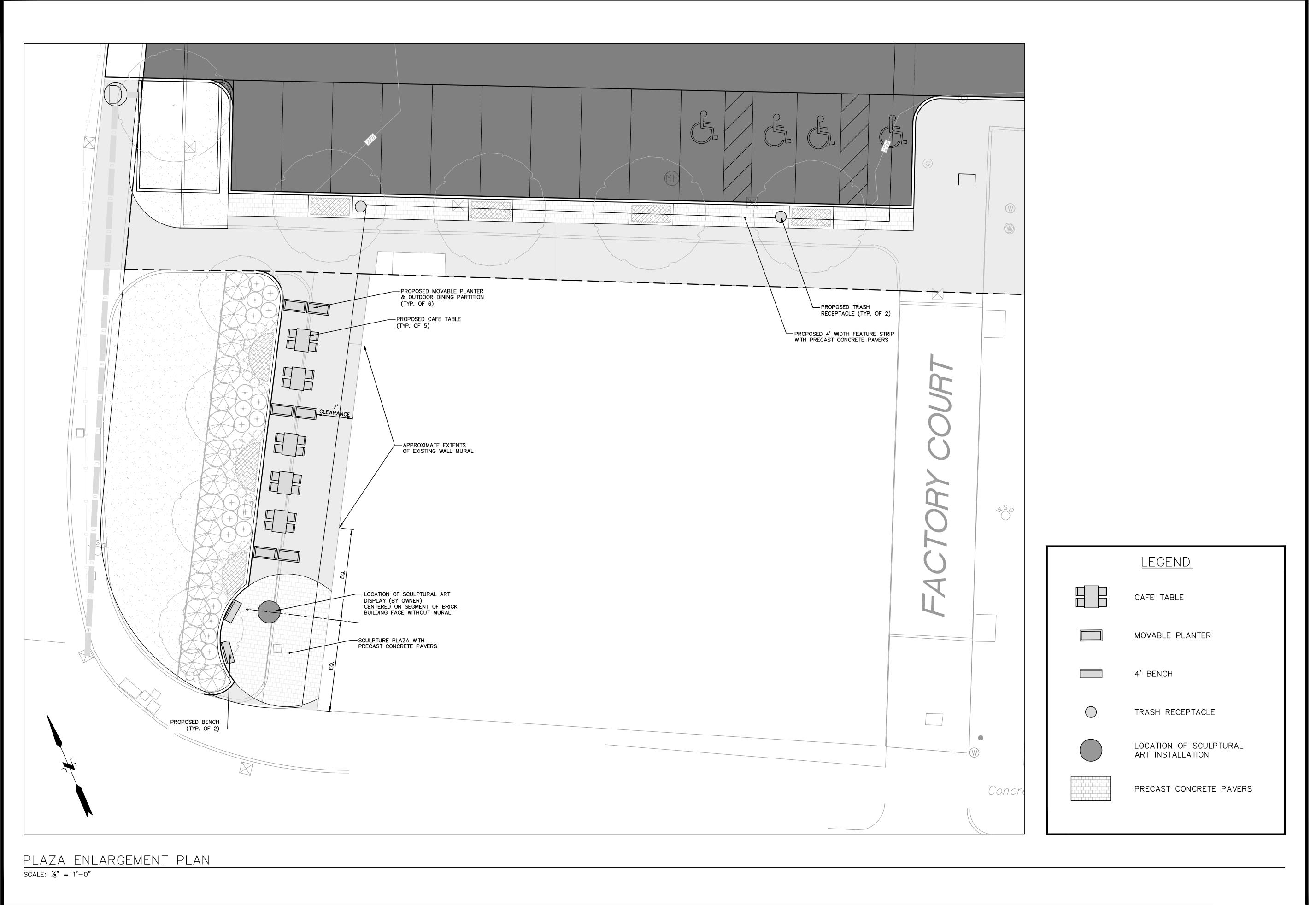










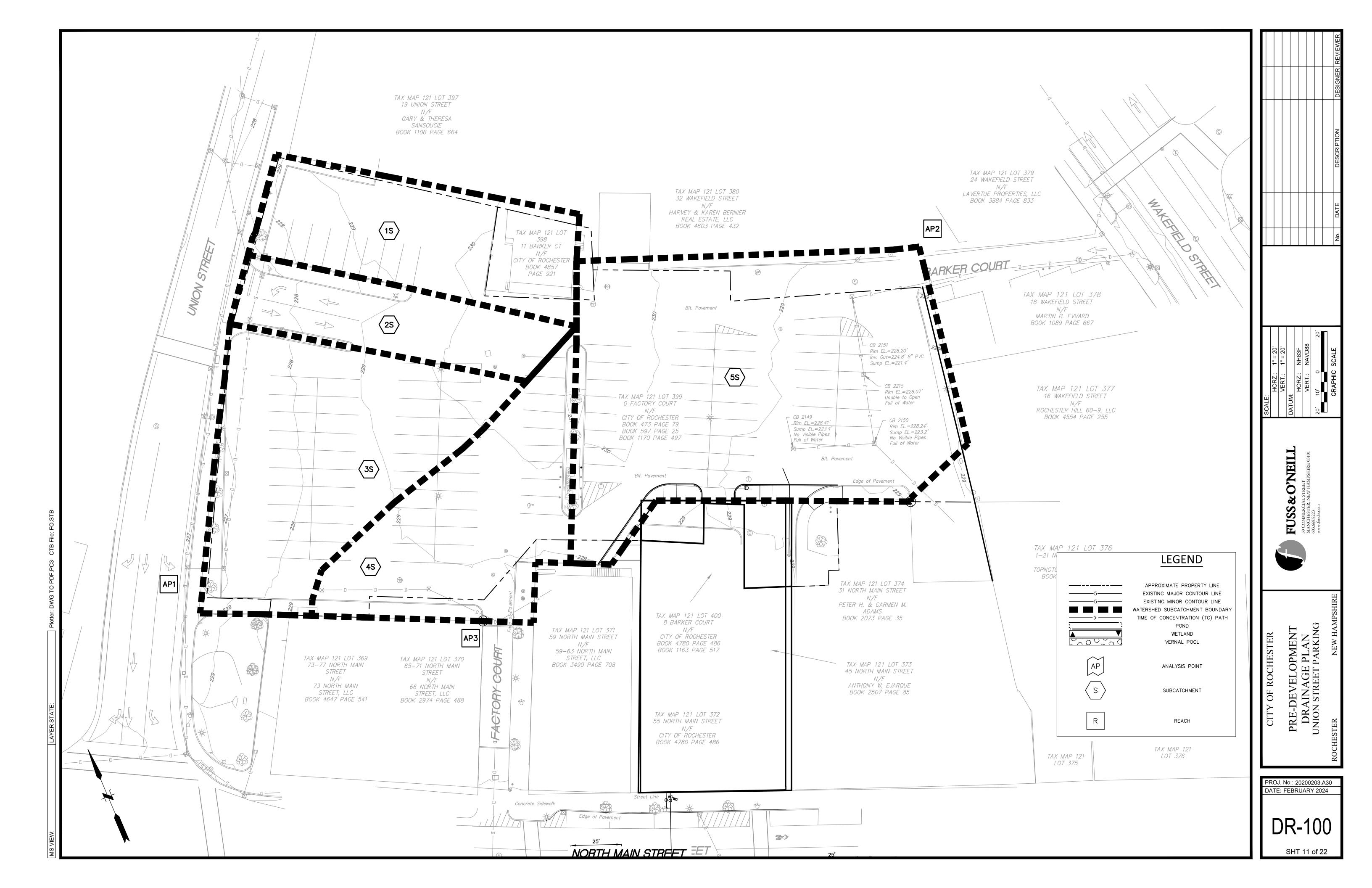


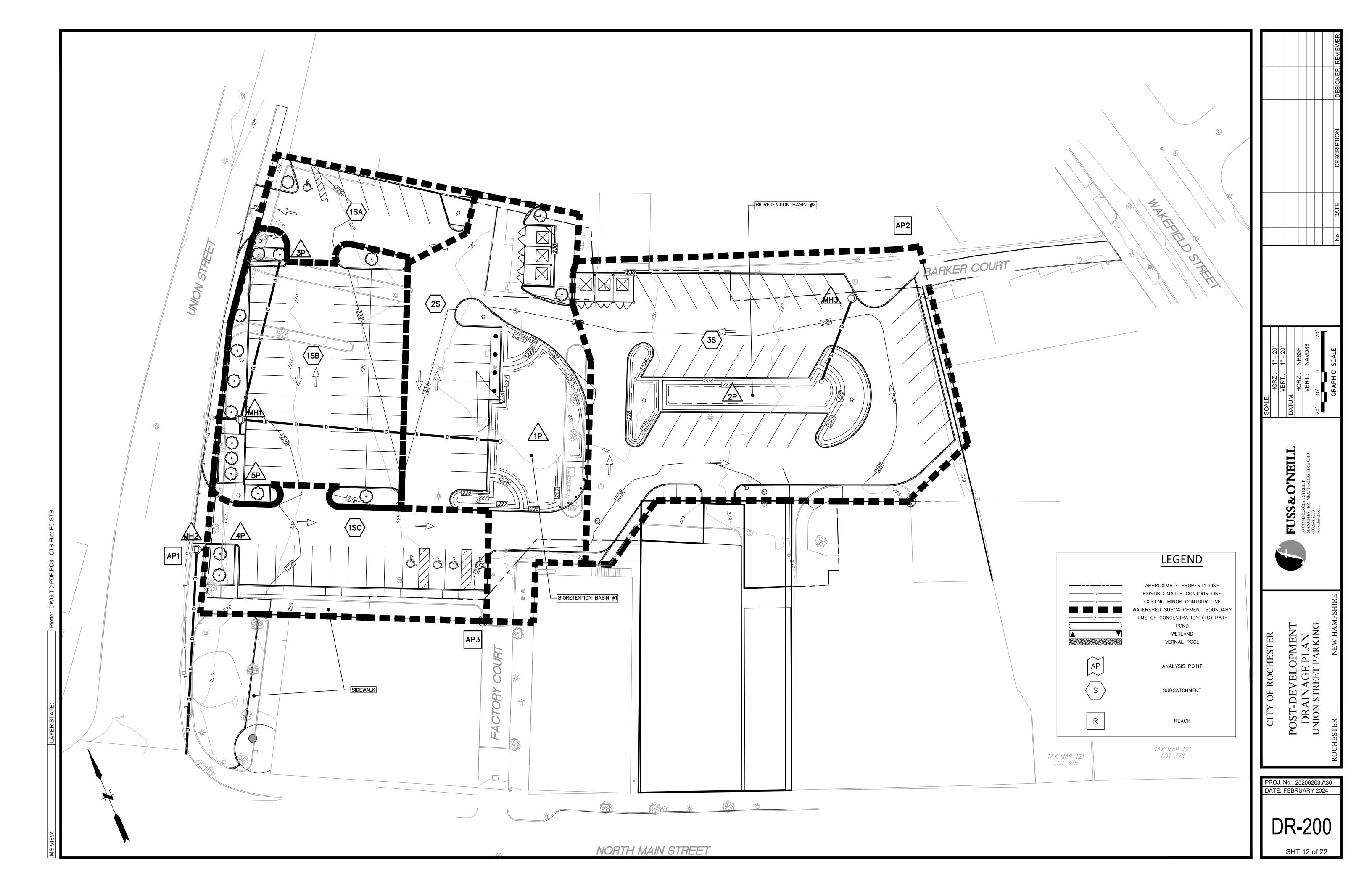
FUSS & O'NEILL
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MANCHESTER, NEW HAMPSHIRE 03101
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www.fando.com

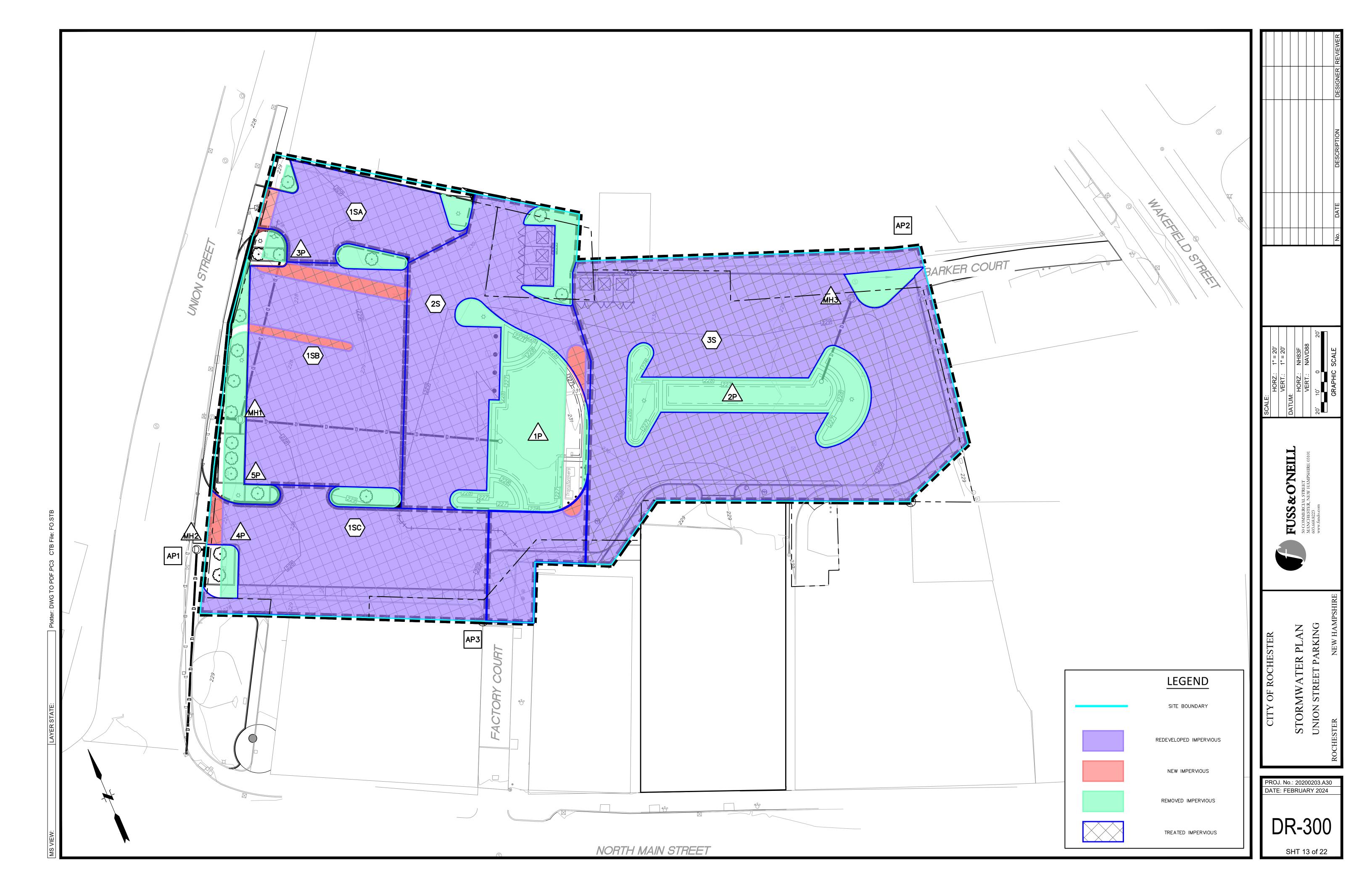
CAZA ENLARGEMENT PLA
UNION STREET PARKING

PROJ. No.: 20200203.A30 DATE: FEBRUARY 2024

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MAINTENANCE REQUIREMENTS:

- MAINTENANCE MEASURES SHOULD BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT INSPECTION OF ALL INSTALLED EROSION CONTROL PRACTICES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUED FUNCTION.
- FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF THE VEGETATION AND REPAIR ANY DAMAGED AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH.)

SPECIFICATIONS:
THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 15.

- THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO <u>1-ACRE</u> AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NHSMM, VOL. 3 AND ELSEWHERE IN THIS PLAN SET, PRIOR TO ANY THAW OR SPRING MELT EVENT. STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5
- ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHOULD BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (REFER TO NHSMM, VOL. 3 FOR SPECIFICATION)
- ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15 SHOULD BE SEEDED AND COVERED WITH A PROPERLY INSTALLED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCHES OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
- 4. ALL STONE COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
- 6. ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (I.E. BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
- WITHIN 24 HOURS OF STOCKPILING SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4 INCH LAYER OF EROSION CONTROL MIX. MULCH SHOULD BE RE-ESTABLISHED PRIOR TO ANY RAIN OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100-FT OF ANY WETLAND OR OTHER WATER RESOURCE
- 8. FROZEN MATERIAL (I.E. FROST LAYER REMOVED DURING WINTER CONSTRUCTION) SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION AWAY FROM ANY AREA NEEDING PROTECTION. FROZEN MATERIAL STOCKPILES CAN MELT IN SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO HIGH SOIL MOISTURE CONTENT.
- INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN GROUND.
- 10. ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED BY SEPTEMBER 1. ALL DITCHES AND SWALES WHICH DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AS DETERMINED BY A PROFESSIONAL ENGINEER. IF STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
- 11. ALL STONE LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- 12. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER SHOULD BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF SAND AND GRAVEL WITH A GRADATION THAT IS LESS THAN 12% OF THE SAND PORTION, OR MATERIAL PASSING THE NUMBER 4 SIEVE, BY WEIGHT, PASSES THE NUMBER 200 SIEVE.
- 13. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

DUST CONTROL PRACTICES

- 1. APPLY DUST CONTROL MEASURES AS NECESSARY TO MAINTAIN CONTROL OF DUST ON SITE.
- 2. WATER APPLICATION:
- A) MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B) AVOID EXCESSIVE APPLICATION OF WATER THAT WOULD RESULT IN MOBILIZING SEDIMENT AND SUBSEQUENT DEPOSITION IN NATURAL WATERBODIES.
- **STONE APPLICATION:**
- A) COVER SURFACE WITH CRUSHED OR COARSE GRAVEL.
- B) IN AREAS NEAR WATERWAYS USE ONLY CHEMICALLY STABILIZED OR WASHED AGGREGATE.
- REFER TO "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" FOR OTHER ALLOWABLE DUST CONTROL PRACTICES (I.E. COMMERCIAL TACKIFIERS OR CHEMICAL TREATMENTS SUCH AS CALCIUM CHLORIDE, ETC.)

SOIL STOCKPILE PRACTICES:

- LOCATE STOCKPILES A MINIMUM OF 50-FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES OR INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS AS DESCRIBED ON THE PLANS AND IN NHSMM VOL. 3. TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE
- IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- 5. PLACE BAGGED MATERIALS ON PALLETS OR UNDERCOVER.

PROTECTION OF INACTIVE STOCKPILES:

- INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY STABILIZATION PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES.
- INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS, AND SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BE

PROTECTION OF ACTIVE STOCKPILES:

- 1. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIAL FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH
- WHEN A STORM IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

INVASIVE SPECIES NOTE:

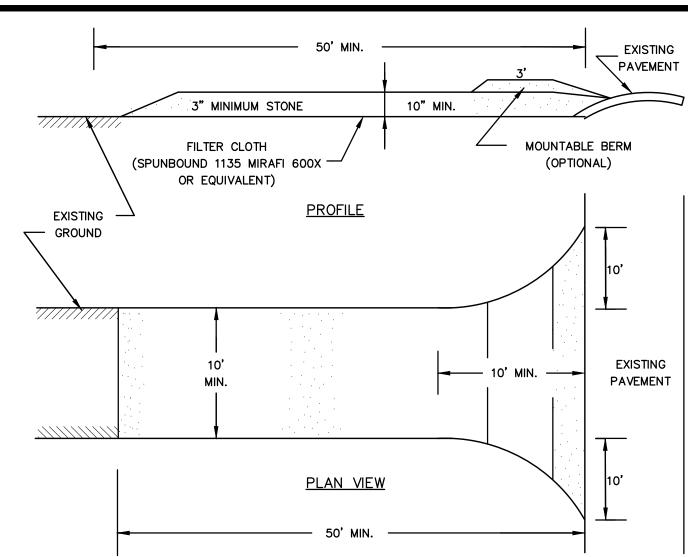
THE CONTRACTOR SHALL TAKE STEPS TO PREVENT THE SPREAD OF INVASIVE PLANT, INSECT, AND FUNGAL SPECIES BY MEETING THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES. HTTP://GENCOURT.STATE.NH.US/RULES/STATE_AGENCIES/AGR3800.HTML

GENERAL CONSTRUCTION PHASING:

- 1. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. PERIMETER CONTROLS SHALL BE FROSION CONTROL MIX BERMS OR SILT SOCKS.
- 2. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING THE SITE).
- 3. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- 4. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE
- 5. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5 INCH OF RAIN.

6. <u>STABILIZATION:</u>
A SITE IS DEEMED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT

- EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10-YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO
- A) IN AREAS THAT WILL NOT BE PAVED: i) A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
 - ii) A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR A CERTIFIED COMPOST BLANKET HAS BEEN INSTALLED, OR;
 - iii) EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- B) IN AREAS TO BE PAVED:
 - i) BASE COURSE GRAVELS HAVE BEEN INSTALLED.
- TEMPORARY STABILIZATION:
 ALL AREAS OF EXPOSED OR DISTURBED SOIL SHOULD BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS FROM THE TIME OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT OR AN INDEPENDENT MONITOR.
- 8. <u>PERMANENT STABILIZATION:</u>
 ALL AREAS OF EXPOSED OR DISTURBED SOIL SHOULD BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 3 DAYS FOLLOWING FINAL GRADING.
- 9. <u>MAXIMUM AREA OF DISTURBANCE:</u>
 THE AREA OF UNSTABILIZED SOIL SHOULD NOT EXCEED 5 ACRES AT ANY TIME.
- 10. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.
- A) FLAG OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED. EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL
- 11. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHOULD BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DEPICTED
- 12. ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHOULD BE CONSTRUCTED. APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DEPICTED
- 13. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHOULD BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND BE PROTECTED FROM EROSION.
- 14. STOCKPILES, BORROW AREAS AND SPOILS SHALL BE STABILIZED AS DESCRIBED UNDER "SOIL STOCKPILE PRACTICES".
- 15. SLOPES SHOULD NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED DAMAGE.
- 16. AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES. VEGETATION, ROOTS AND/OR OTHER OBJECTIONABLE MATERIALS.
- 17. AREAS SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF 3-INCHES PRIOR TO PLACEMENT OF TOPSOIL. TOPSOIL SHOULD BE PLACED WITHOUT SIGNIFICANT COMPACTION TO PROVIDE A LOOSE BEDDING FOR
- 18. ALL FILLS SHOULD BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS. STRUCTURES. SITE UTILITIES, CONDUITS AND OTHER FACILITIES, SHOULD BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 19. IN GENERAL, FILLS SHOULD BE COMPACTED IN LAYERS RANGING FROM 6 TO 24 INCHES IN THICKNESS. THE CONTRACTOR SHOULD REVIEW THE PROJECT GEOTECHNICAL REPORT AND/OR THE "PROJECT SPECIFIC PHASING NOTES" FOR SPECIFIC GUIDANCE.
- 20. ANY AND ALL FILL MATERIAL SHOULD BE FREE OF BRUSH, RUBBISH, ROCKS (LARGER THAN 3/4 THE DEPTH OF THE LIFT BEING INSTALLED), LOGS, STUMPS, BUILDING DEBRIS, FROZEN MATERIAL AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY
- 21. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE (I.E. CLAY, SILT) MATERIALS ARE SUSCEPTIBLE TO ACCELERATED SETTLEMENT AND POTENTIAL ACCELERATED EROSION. WORK IN AREAS OF THESE MATERIALS SHOULD BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER.
- 22. THE OUTER FACE OF THE FILL SLOPE SHOULD BE ALLOWED TO STAY LOOSE, NOT ROLLED OR COMPACTED, OR BLADE SMOOTHED. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TREADS (CLEAT TRACKS) CREATE GROOVES PERPENDICULAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR. SEE "SURFACE ROUGHENING" IN THE NHSMM, VOL.3.
- 23. ROUGHEN THE SURFACE OF ALL SLOPES DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION AND FACILITATE VEGETATION ESTABLISHMENT.
- 24. USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE TO REDUCE THE LENGTH OF CUT-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GULLY EROSION. ALL BENCHES SHOULD BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION.
- 25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHOULD BE EVALUATED BY A PROFESSIONAL ENGINEER (PREFERABLY THE DESIGN ENGINEER) TO DETERMINE IF THE PROPOSED DESIGN SHOULD BE REVISED TO PROPERLY MANAGE THE CONDITION.
- 26. STABILIZE ALL GRADED AREAS (AS ABOVE) WITH VEGETATION, CRUSHED STONE, COMPOST BLANKET, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETE OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH OR OTHER APPROVED METHODS TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
- 27. ALL GRADED AREAS SHOULD BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING. ABOVE NOTES EXCERPTED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" (NHSMM, VOL. 3)



MAINTENANCE REQUIREMENTS:

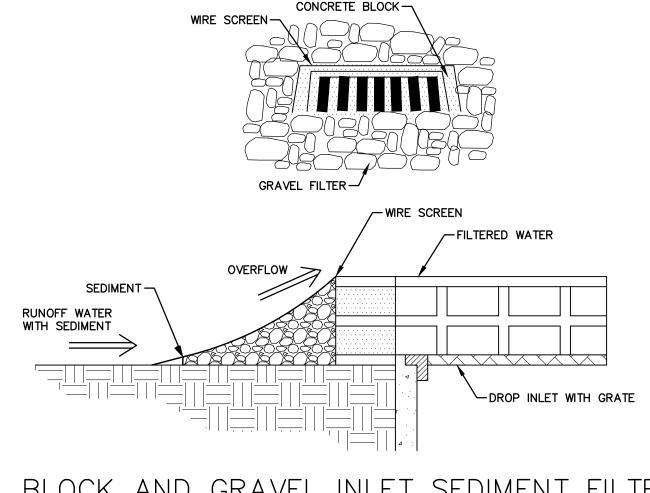
- WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHOULD TEN BE
- 2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
- WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.

- THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT
- THE PAD SHOULD BE THE FULL WIDTH OF CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS
- 4. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
- 5. THE PAD SHOULD BE AT LEAST 6 INCHES THICK.
- 6. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
- THE PAD SHOULD BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
- 8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

USDA-SCS STABILIZED

CONSTRUCTION ENTRANCE



BLOCK AND GRAVEL INLET SEDIMENT FILTER

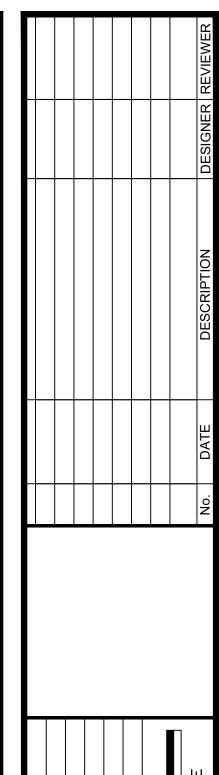
- CONSTRUCTION SPECIFICATIONS:

 1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE BARRIER CAN BE VARIED. INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24
- WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED.
- 3. STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN ABOVE. STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 6 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
- 4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

MAINTENANCE NOTES: 1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

- 2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 3. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS

SEDIMENTATION CONTROL AT CATCH BASINS NOT TO SCALE





SEDIMENT DETAILS ET PARKING EROSION CONTRC UNION STR

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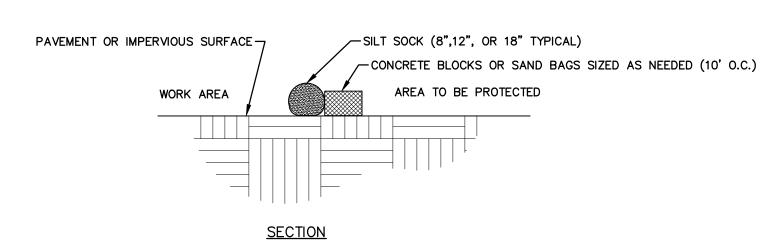
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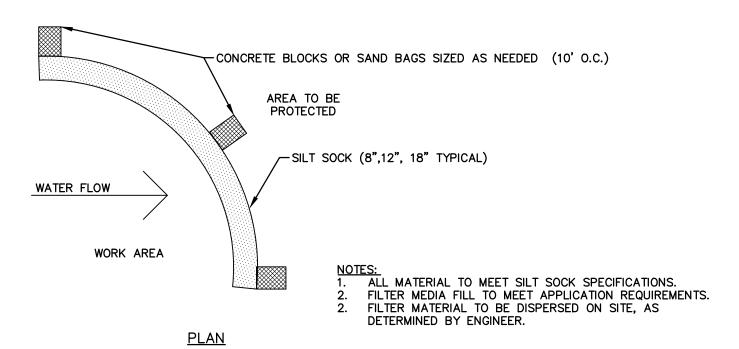
MAINTENANCE REQUIREMENTS:

- 1. SILT SOCKS SHOULD BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS;
- 2. SEDIMENT DEPOSITION SHOULD BE REMOVED, AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE—HALF THE HEIGHT OF THE SOCK, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BACK TOWARD THE SILT SOCK.
- 3. SILT SOCKS SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHOULD BE REPLACED WITH A TEMPORARY CHECK DAM.
- 4. SHOULD THE FABRIC ON A SILT SOCK DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY; THE FABRIC SHOULD BE REPLACED
- 5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT SOCK IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SEEDED.
- 6. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT
- 7. SILT SOCKS HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT SOCKS SHOULD BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

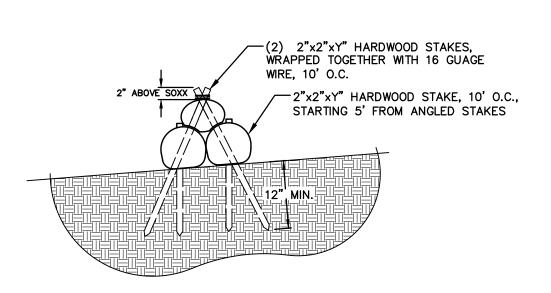
CONSTRUCTION SPECIFICATIONS:

- 1. SILT SOCKS SHOULD BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE SILT SOCK. SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
- 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE SILT SOCK SHOULD BE LESS THAN 1 ACRE PER 100 LINEAR FEET OF SILT SOCK;
- 3. THE MAXIMUM LENGTH OF SLOPE ABOVE THE SILT SOCK SHOULD BE 100 FEET;
- 4. THE MAXIMUM SLOPE ABOVE THE SILT SOCK SHOULD BE 2:1;
- 5. SILT SOCKS SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE,
 - A. THE ENDS OF THE SILT SOCK SHOULD BE FLARED UPSLOPE;
 - B. STAKE POSTS SHOULD BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 10 FEET ON CENTER;
 - C. ADJOINING SECTIONS OF THE SILT SHOULD BE OVERLAPPED BY A MINIMUM OF 18 INCHES.
- 6. SILT SOCKS PLACED AT THE TOE OF A SLOPE SHOULD BE SET AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.

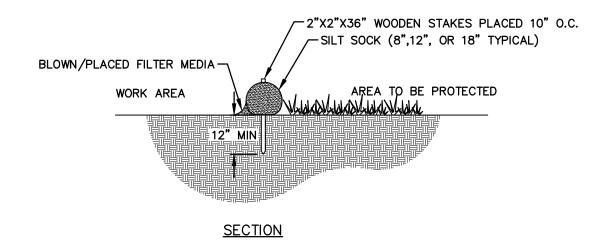


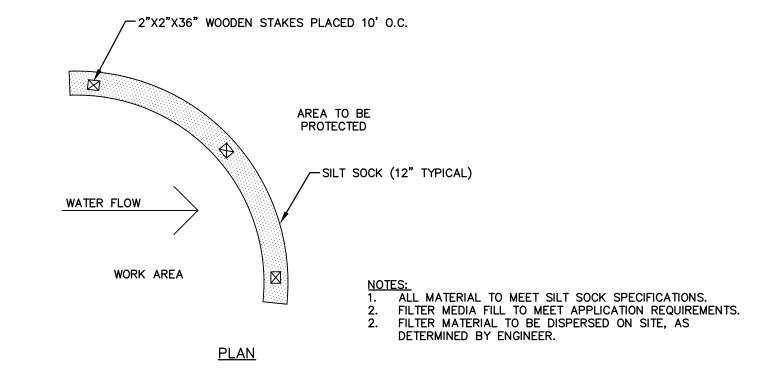


SILT SOCK FOR SEDIMENT CONTROL ON PAVEMENT SCALE: N.T.S.

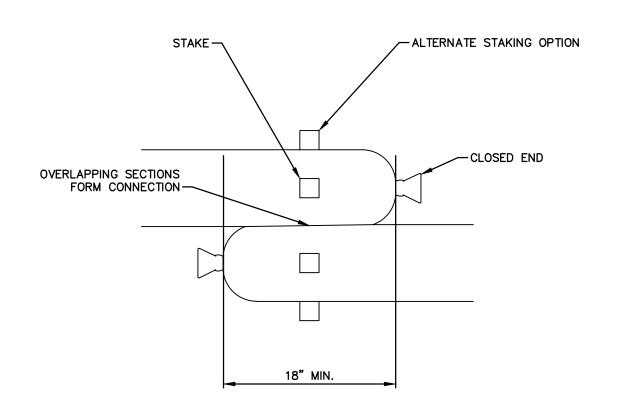


SILT SOCK PYRAMIND STACK DETAIL NOT TO SCALE



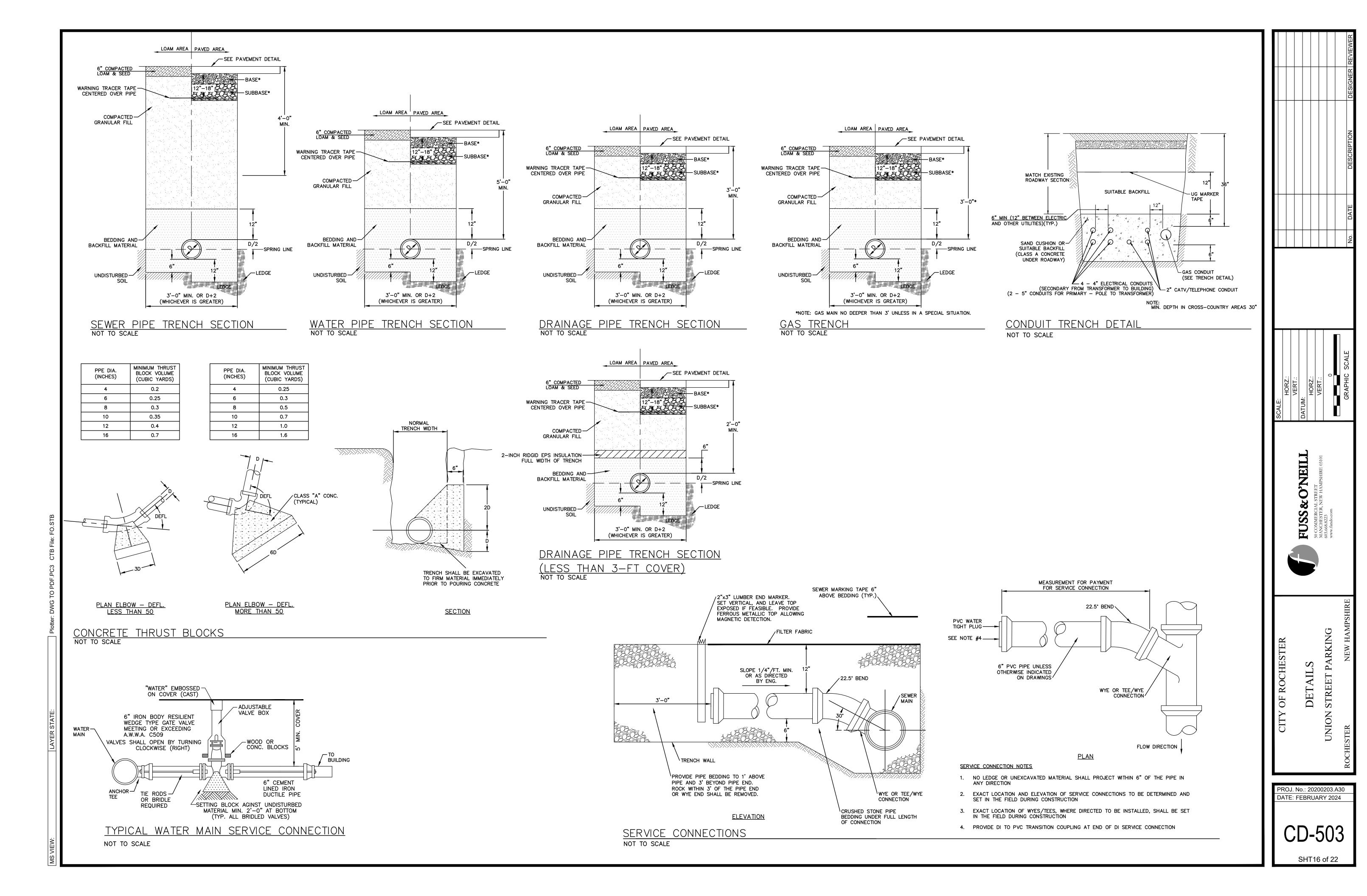


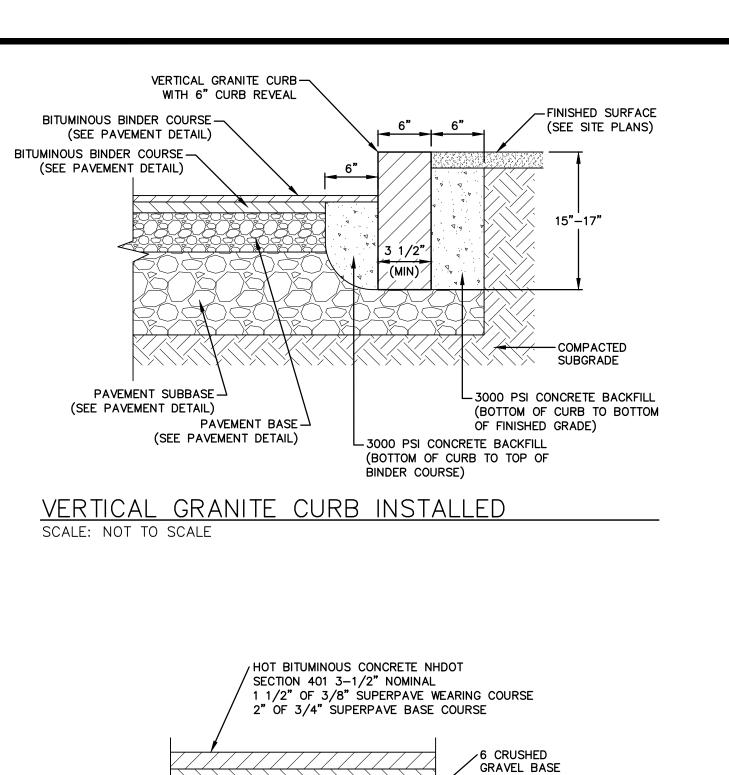
SILT SOCK FOR SEDIMENT CONTROL SCALE: N.T.S.

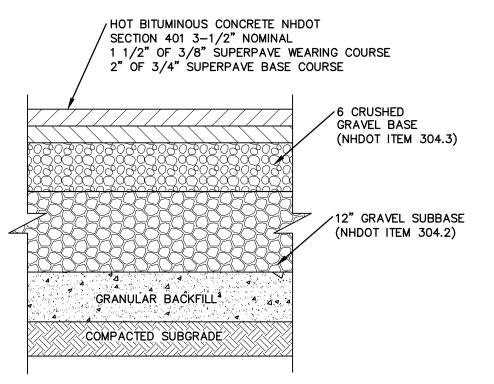


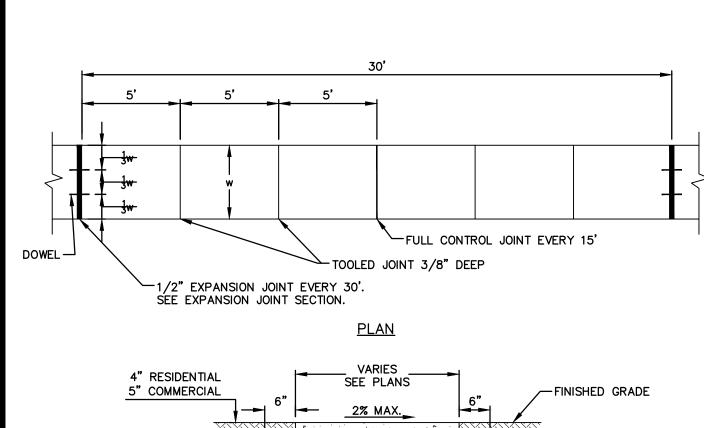
SILT SOCK CONNECTION/ATTACHMENT DETAIL SCALE: N.T.S.

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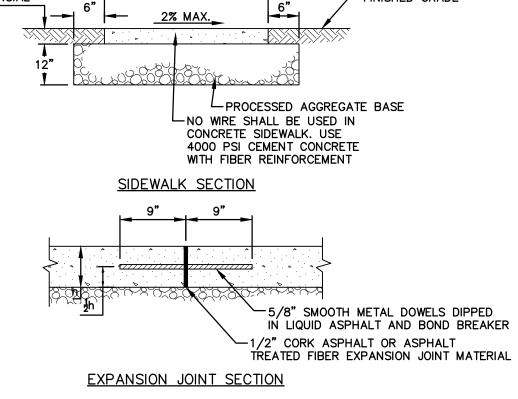


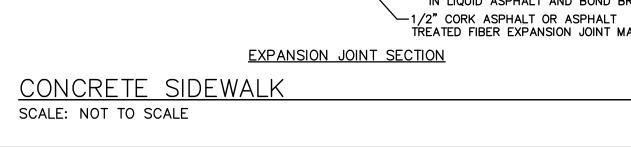


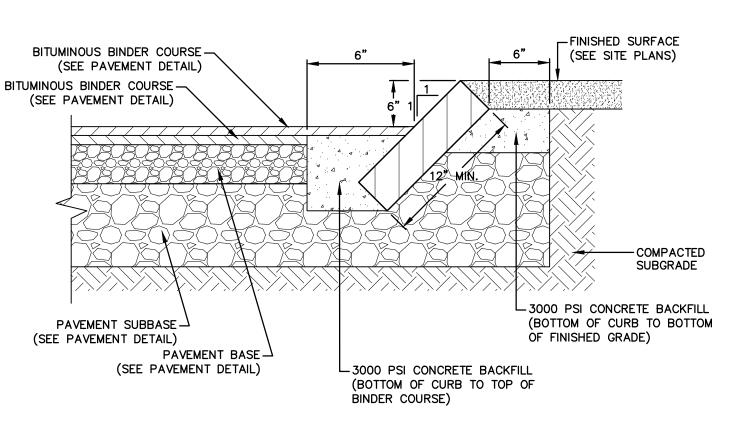


TYPICAL SITE PAVEMENT SECTION

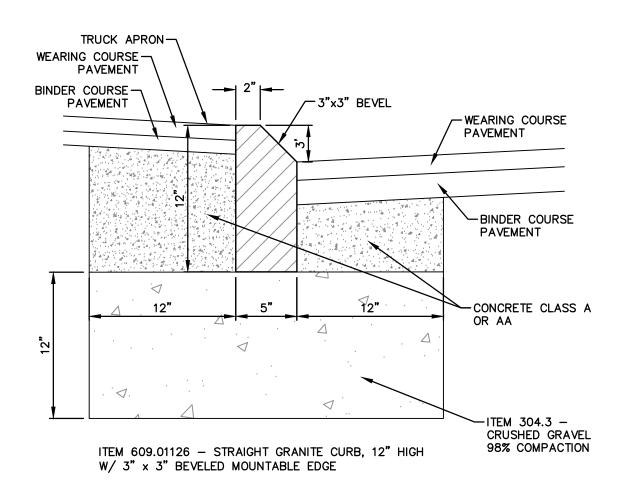
SCALE: NOT TO SCALE



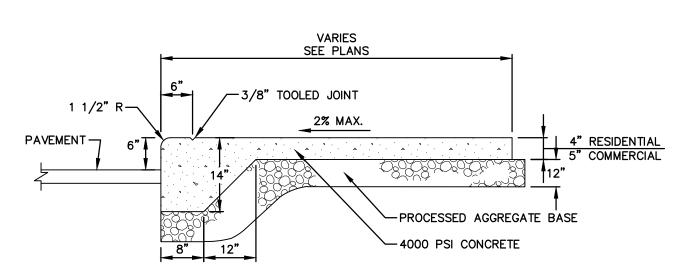




SLOPED GRANITE CURB INSTALLED SCALE: NOT TO SCALE



MOUNTABLE GRANITE CURB INSTALLED NOT TO SCALE



MONOLITHIC CONCRETE CURB AND WALK NOT TO SCALE

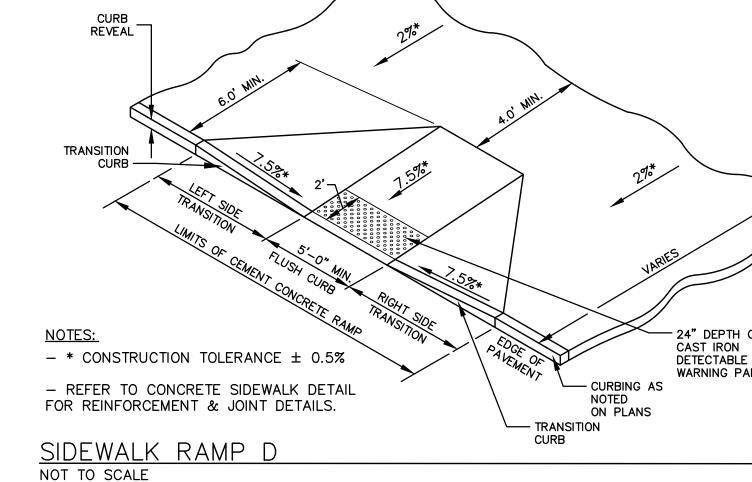
12" WIDE SINGLE SOLID (RETROREFLECTIVE WHITE PAINT)

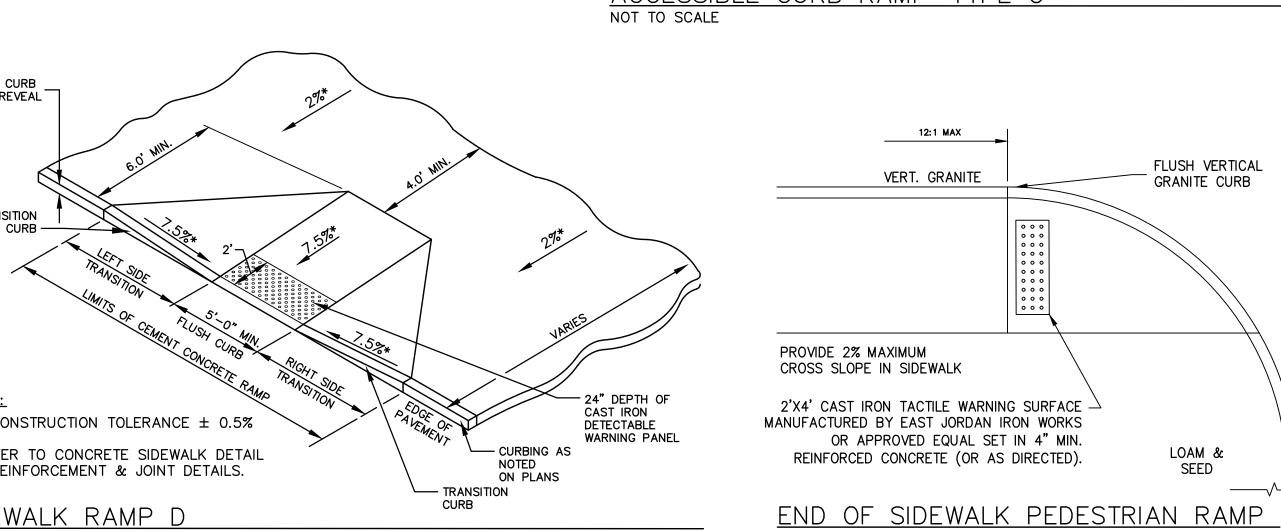
NOTE: EXISTING CROSSWALK MARKING SHALL BE OBLITERATED IN ACCORDANCE WITH

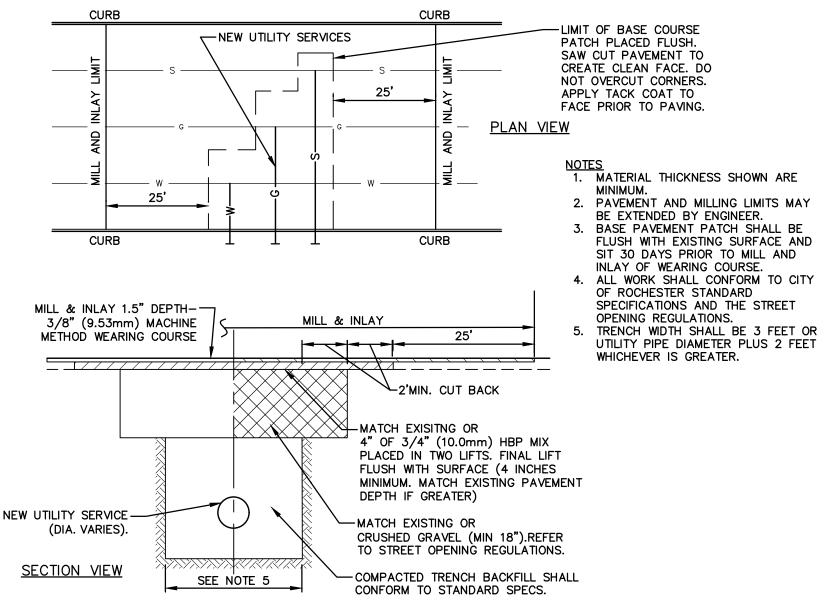
SECTION 632/3.6 'OBLITERATION OF PAVEMENT MARKING' OF NHDOT STANDARD SPECIFICATIONS AND SHALL BE CONSIDERED SUBSIDIARY.

CROSS-WALK MARKING DETAIL

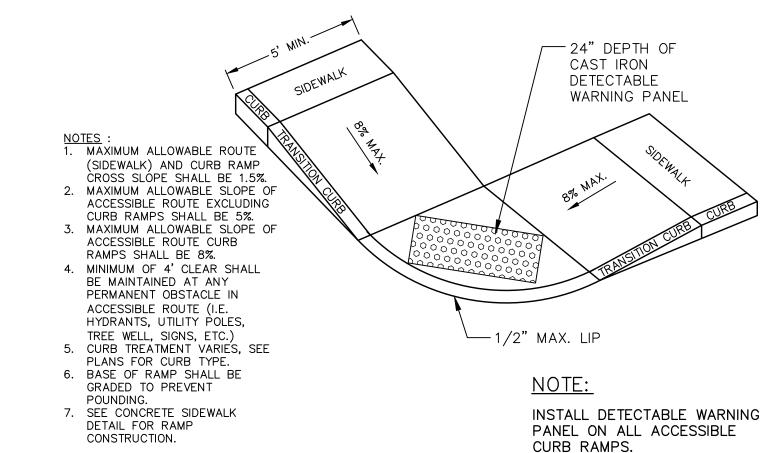
NOT TO SCALE







PAVEMENT RESTORATION - MORATORIUM STREETS NOT TO SCALE



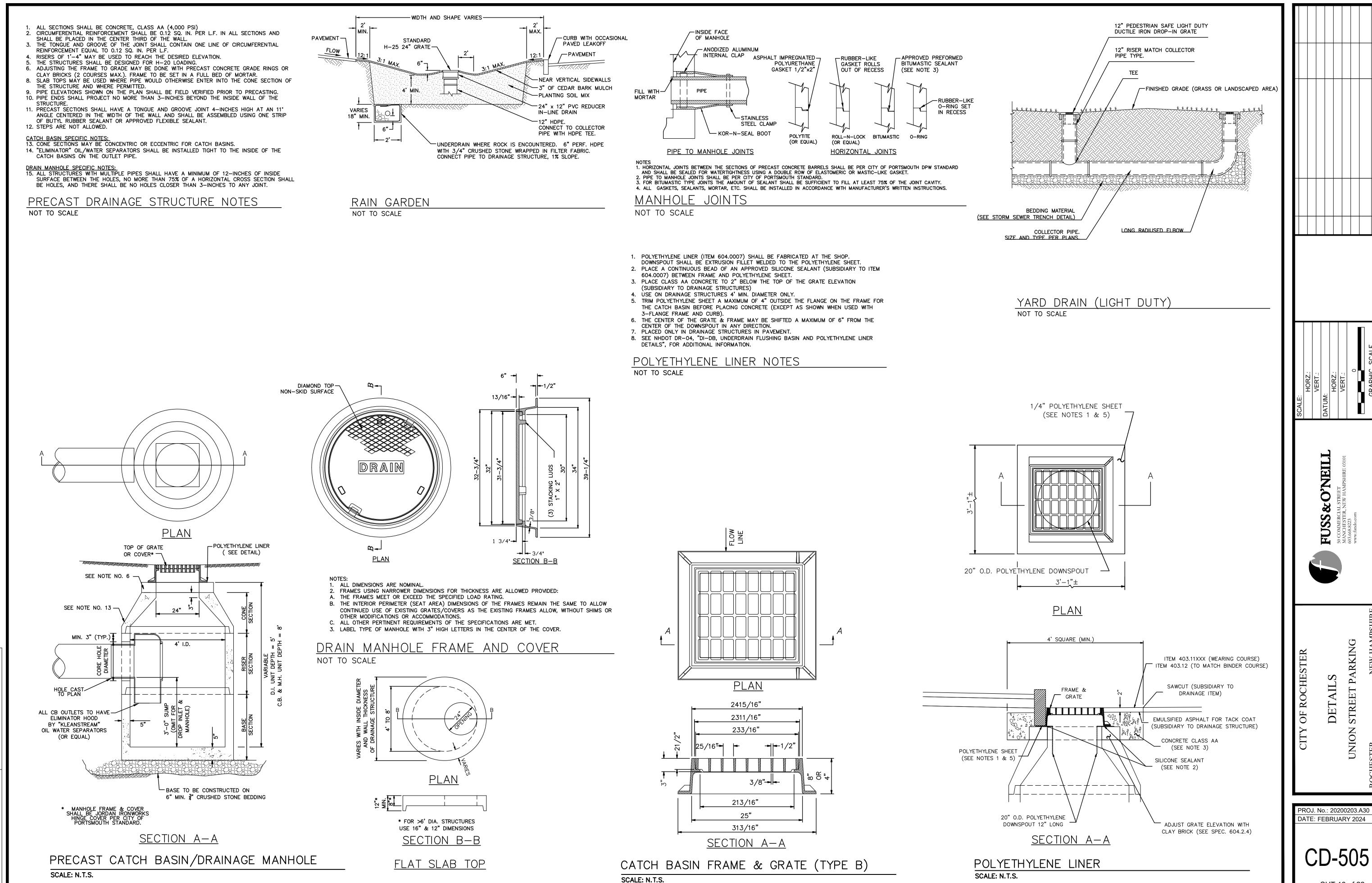
ACCESSIBLE CURB RAMP-TYPE C



DETAIL

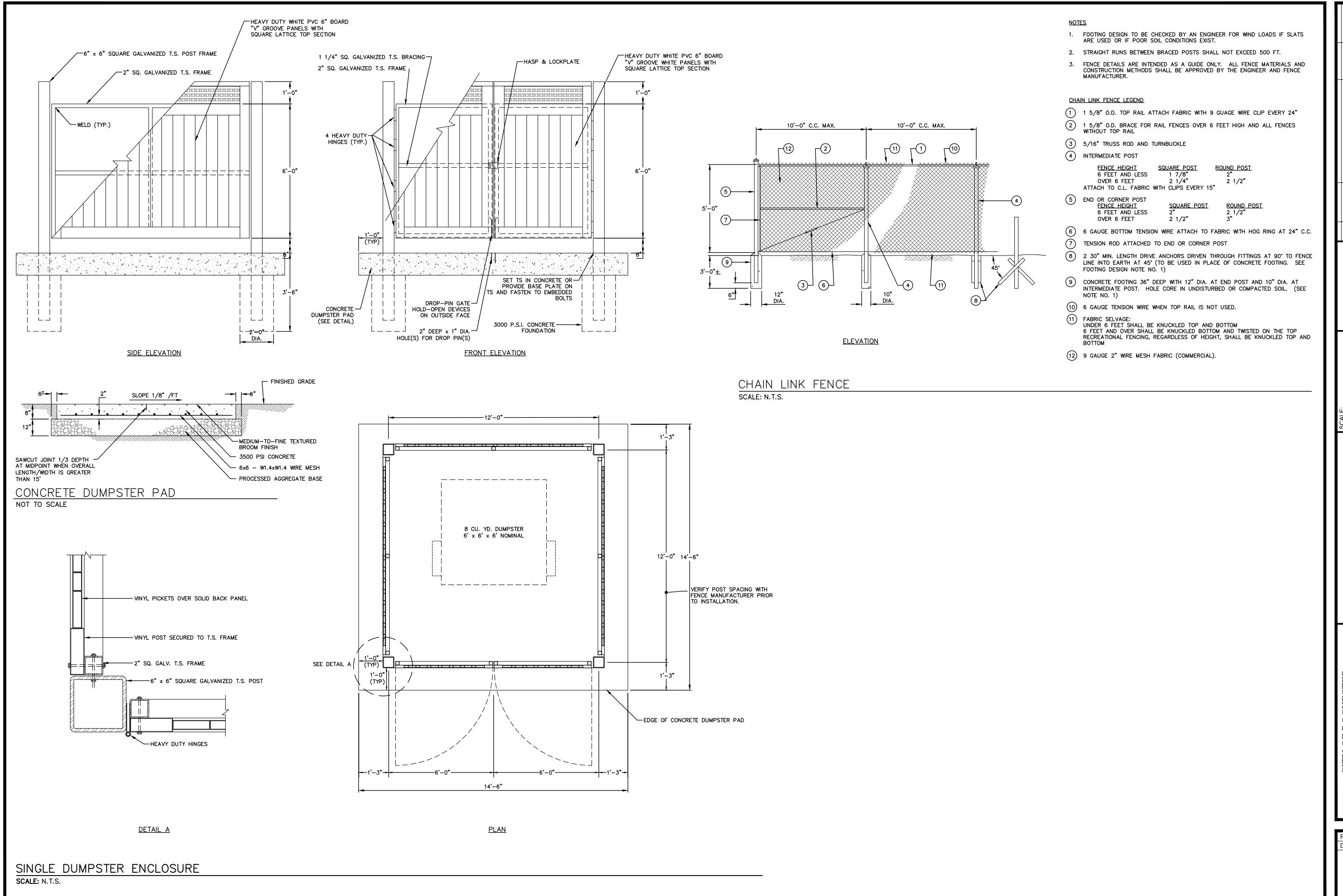
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		SIZE (DF SIGN		TEXT	DIMENSI	ONS					POSTS PER SIGN						
СР	IDENT#	WIDTH (INCHES)	HEIGHT (INCHES)	TEXT	LETTER	HEIGHT	(INCH)	SHIELD SIZE (INCH)	AROW (INCH)	NUMERA # SIGNS L (INCH) REQ'D	SIGN AREA (SQ. FT.)		BREAKAWAY	STEEL BEAM	CONCRETE BASE	OD ALUMINUM	U-CHANNEL GALV	REMARKS
					UC	LC	CAPS				NOM AREA	TOTAL AREA	88	ST	CON	4" 0	U-CF	
	R1-1	30	30	STOP			10C			2	6.25	12.50				14		RED/WHITE
	W8-1	30	30	BUMP							6.25	6.25				1		BLACK/RED/ YELLOW
	R7-8R	12	18	RESERVED PARKING						1						4		GREEN/BLUE/ WHITE
	R7-8L	12	18	RESERVED PARKING						1						4		GREEN/BLUE/ WHITE
	R7-8P	18	9	VAN						2						0		GREEN/WHITE
	R5–1	30	30	DO NOT ENTER						1								
	R6-1	36	12	ONE WAY						2								
	INTERNAL DIRECTION SIGN	I								3								
	FREESTANDING SIGN (PERMIT REQUIRED)									4								

LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".

WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)

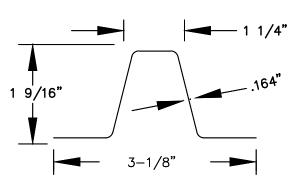
HOLES: 3/8" DIA. 1' C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR

ASTM A-576 (GRADE 1070-1080).

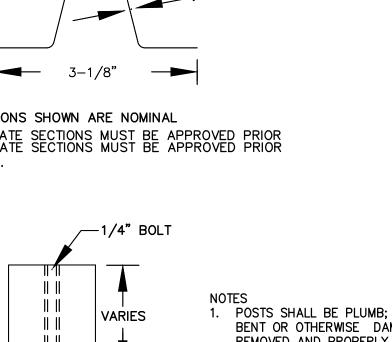
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN

APPROVED MEDILIM CREEN, RAKED ON OR ALP DRIED APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION



SHALL BE COMPLETE BEFORE PAINTING.

DIMENSIONS SHOWN ARE NOMINAL ALTERNATE SECTIONS MUST BE APPROVED PRIOR ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



1. POSTS SHALL BE PLUMB; ANY POST
BENT OR OTHERWISE DAMAGED SHALL BE
REMOVED AND PROPERLY REPLACED.

90° CUT OPTIONAL

 POSTS MAY BE SET OF DRIVEN. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT TO EXCEED A 6" DEPTH, THOROUGHLY COMPACTED.

3. CARE SHALL BE TAKEN TO PRESERVE THE ALIGNMENT OF THE POST. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.

4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.

5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.

|<mark>-2'</mark>|

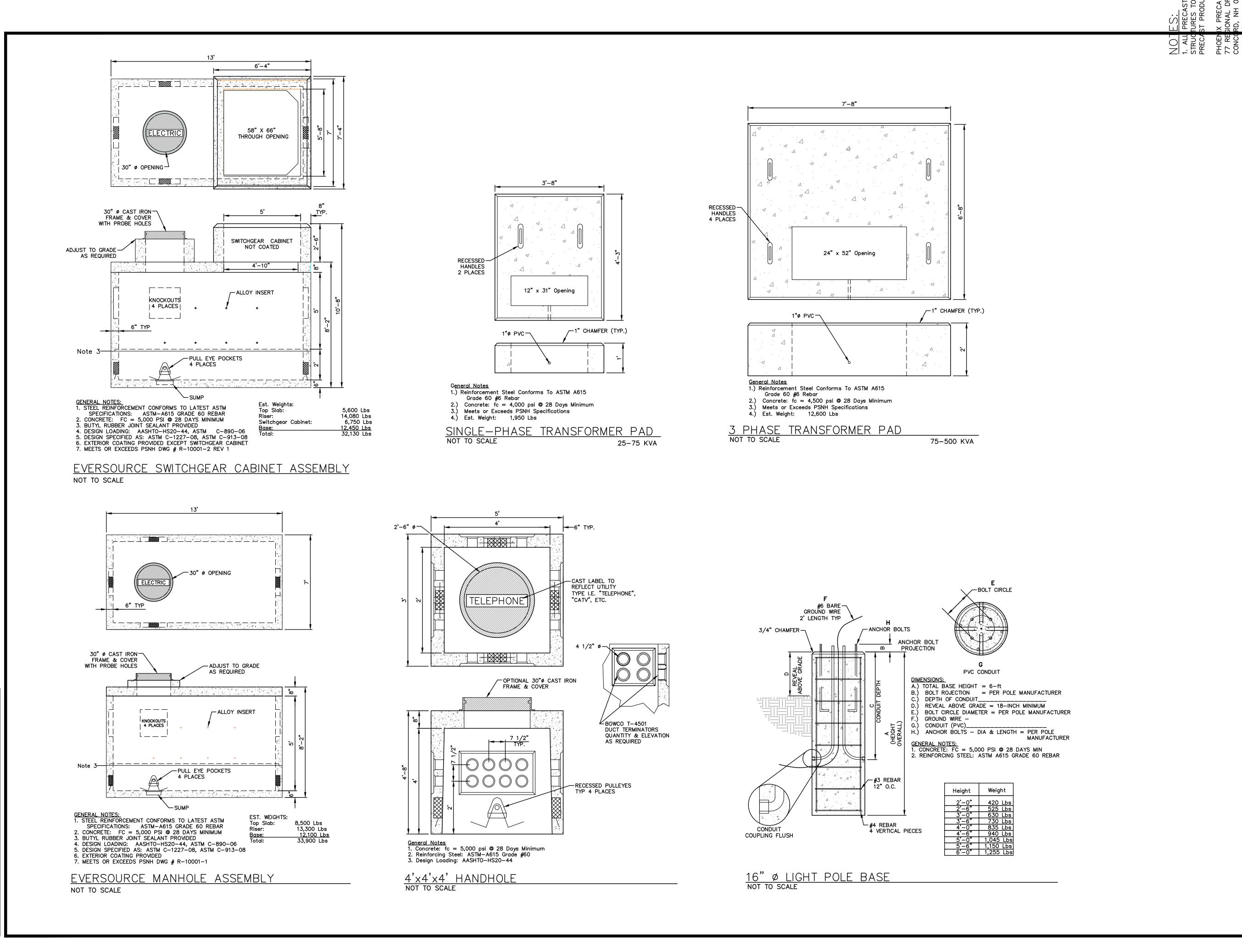
1/4" BOLT —

GROUND —

GRANITE CURB \

PROJ. No.: 20200203.A30 DATE: FEBRUARY 2024

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CITY OF ROCHEST

DETAILS

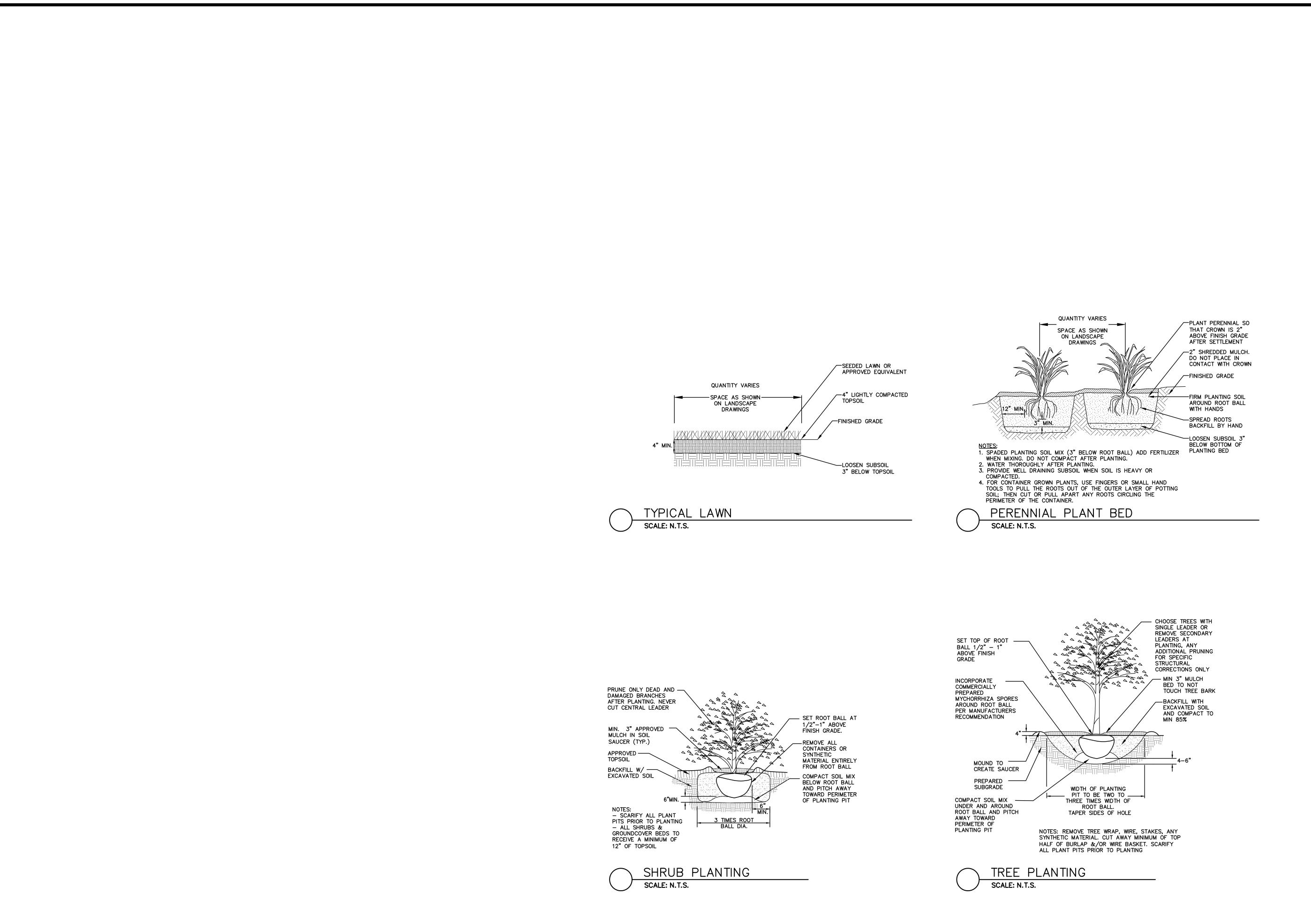
UNION STREET PAR

PROJ. No.: 20200203.A30

DATE: FEBRUARY 2024

CD-508

SHT 21 of 22



DETAILS

ANDSCAPE

PROJ. No.: 20200203.A30 DATE: FEBRUARY 2024

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