



## **NONRESIDENTIAL SITE PLAN APPLICATION**

**City of Rochester, New Hampshire**

Date: \_\_\_\_\_ Is a conditional use needed? Yes: \_\_\_\_\_ No: \_\_\_\_\_ Unclear: \_\_\_\_\_  
(If so, we encourage you to submit an application as soon as possible.)

### **Property information**

Tax map #: \_\_\_\_\_; Lot #'s): \_\_\_\_\_; Zoning district: \_\_\_\_\_

Property address/location: \_\_\_\_\_

Name of project (if applicable): \_\_\_\_\_

Size of site: \_\_\_\_\_ acres; overlay zoning district(s)? \_\_\_\_\_

### **Property owner**

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Email: \_\_\_\_\_

### **Applicant/developer** (if different from property owner)

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Email: \_\_\_\_\_

### **Engineer/designer**

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Fax #: \_\_\_\_\_

Email address: \_\_\_\_\_ Professional license #: \_\_\_\_\_

### **Proposed activity** (check all that apply)

New building(s): \_\_\_\_\_ Site development (other structures, parking, utilities, etc.): \_\_\_\_\_

Addition(s) onto existing building(s): \_\_\_\_\_ Demolition: \_\_\_\_\_ Change of use: \_\_\_\_\_

Describe proposed activity/use: \_\_\_\_\_

Describe existing conditions/use (vacant land?): \_\_\_\_\_

### Utility information

City water? yes \_\_\_ no \_\_\_; How far is City water from the site? \_\_\_\_\_

City sewer? yes \_\_\_ no \_\_\_; How far is City sewer from the site? \_\_\_\_\_

If City water, what are the estimated total daily needs? \_\_\_\_\_ gallons per day

If City water, is it proposed for anything other than domestic purposes? yes \_\_\_ no \_\_\_

If City sewer, do you plan to discharge anything other than domestic waste? yes \_\_\_ no \_\_\_

Where will stormwater be discharged? \_\_\_\_\_

### Building information

Type of building(s): \_\_\_\_\_

Building height: \_\_\_\_\_ Finished floor elevation: \_\_\_\_\_

### Other information

# parking spaces: existing:\_\_\_ total proposed:\_\_\_; Are there pertinent covenants? \_\_\_\_\_

Number of cubic yards of earth being removed from the site \_\_\_\_\_

Number of existing employees: \_\_\_\_\_; number of proposed employees total: \_\_\_\_\_

Check any that are proposed: variance \_\_\_; special exception \_\_\_; conditional use \_\_\_

Wetlands: Is any fill proposed? \_\_\_; area to be filled: \_\_\_\_\_; buffer impact? \_\_\_\_\_

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint - Building 1	1,700 sf	1.9%
Building footprint - Building 2	6,200 sf	6.8%
Building footprint - Building 3	6,200 sf	6.8%
Building footprint - Building 4	3,300 sf	3.7%
Parking and vehicle circulation	25,644 sf	28.4%
Planted/landscaped areas (excluding drainage)	1,620 sf	1.8%
Natural/undisturbed areas (excluding wetlands)	28,547 sf	31.6%
Wetlands	0	
Other – drainage structures, outside storage, etc.	17,150 sf	19.0%

## Comments

Please feel free to add any comments, additional information, or requests for waivers here:

## Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

*I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.*

Signature of property owner: \_\_\_\_\_

Date: \_\_\_\_\_

4/16/24

Signature of applicant/developer: \_\_\_\_\_

Date: \_\_\_\_\_

4/16/24

Signature of agent: \_\_\_\_\_

Date: \_\_\_\_\_

4/16/24

## Authorization to enter subject property

*I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.*

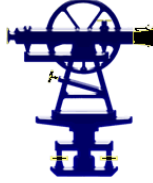
Signature of property owner: \_\_\_\_\_

Date: \_\_\_\_\_

# NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249  
Continental Blvd. (03867)  
Rochester, NH 03866-0249  
Phone (603) 335-3948  
[www.norwayplains.com](http://www.norwayplains.com)



P. O. Box 268  
31 Mooney St.  
Alton, NH 03809  
Phone & Fax (603) 875-3948

April 15, 2024

Tracy Gora, Chief Planner  
Planning Department  
City of Rochester  
33 Wakefield Street  
Rochester, NH 03867

**Re: Non- Residential Site Plan Application and conditional Use Application; Proposed Self-Storage Facility, 18 Sterling Drive, Map 208, Lot 18-1.**

Dear Mrs. Gora:

On behalf of Packys Investment Properties LLC, Norway Plains Associates, Inc. is pleased to submit a Non-Residential Site Plan Application and Conditional Use Application. Packys Investment Properties LLC is the owner of the parcel located at 18 Sterling Drive identified by the City of Rochester assessors as Tax Map 208, Lot 18-1 with a total area of 2.08 acres. The parcel is located in the Granite Ridge Development Zoning District, and Aquifer Protection Overlay District.

The parcel is located on the west side of Sterling Drive. The site is partially mostly long grass with some areas of gravel and pavement left from the original residential development on the lot. There is an existing curb cut driveway location along Sterling Drive to access the site.

The proposed project is to construct a 17,400 square foot self-storage facility on the parcel. The facility will have four (4) steel self-storage buildings; two will be 155 feet by 40 feet, and one will be 165 feet by 20 feet and one will be 85 feet by 20 feet. The two 40-foot-wide building will have hipped roofs while the 20-foot-wide buildings will have shed roofs that drain to the rear. The buildings will all be a beige color with blue doors, matching the other facilities owned and operated by the applicant.

Access into the site will be via a paved driveway constructed at the current driveway cut. The site will have a 24-foot-wide paved travel way around and between each building. There will be no driveway in the rear of the 20-foot-wide buildings as they will be single loaded with doors only on the front.

The stormwater from the impervious surfaces will be directed towards one of the two forebays, which will flow into one of the infiltration basins on the property. The basins have been designed for the 50-year storm event. The infiltration basins are intended to provide the groundwater recharge to offset the impervious coverage for the project. Therefore, a vast amount of the stormwater will be infiltrated back into the ground. Both basins will be constructed with an outlet structure that is connected to the closed drainage of Sterling Drive. As a result of effective stormwater management practices, there will be a reduction in both the peak runoff rate and volume leaving the site.

Since the site will not have an office, there will be no connection to public water or sewer. A fire hydrant exists on Sterling Drive in front of the parcel. Electricity and communications wires will be buried from the transformers located within the Sterling Drive right-of-way. The site will be illuminated by LED lighting fixtures mounted on poles around the perimeter of the site. The fixtures will be full cut-off and adhere to the City of Rochester lighting ordinances. The fixtures will be light and motion sensor to limit the time they are on during the overnight. Infrared Security camera will be installed throughout the site for added protection.

A Conditional Use Permit is necessary to allow for Solar, Commercial, where the proposed solar will generate less than one MW AC of power. The proposal includes installing fifteen (15) solar trackers throughout the site. Of those solar trackers four (4) of them will be constructed such that the support pole will rise through the middle of the roof of two of the storage buildings. This will allow the solar panel trackers to rotate with the sun orbit and not impede on the vehicular traffic flows. The other eleven (11) solar trackers will be constructed around the parcel. The panels will be approximately 41' long and about 21 feet high at the maximum 60% angle. To ensure the rotating panel does not get impeded by any snow on the roof, the bottom of the rotating edge will be about 4 feet higher than the ridge line. Overall, the top of the panel will be less than 35 feet from the ground or about 8 feet taller than the normal installation of these panels.

No signs are proposed within the parcel as the existing sign on 17 Sterling Drive will be utilized for this business. Lilacs will be planted between the proposed development and the existing medical building along the berm of infiltration basin one to shield the view from the existing business from the proposed development.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,  
**NORWAY PLAINS ASSOCIATES, INC.**

A handwritten signature in black ink, appearing to read "Scott A. Lawler", written in a cursive style.

By:  
Scott A. Lawler, PE, Project Engineer

cc: Packys Investment Properties LLC



**Conditional Use Permit Application**  
**City of Rochester, New Hampshire**

**Date:** \_\_\_\_\_

**Property information**

Tax map #: \_\_\_\_\_; Lot #(s): \_\_\_\_\_; Zoning district: \_\_\_\_\_

Property address/location: \_\_\_\_\_

Name of project (if applicable): \_\_\_\_\_

**Property owner**

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Fax \_\_\_\_\_

**Applicant/developer** (if different from property owner)

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Fax #: \_\_\_\_\_

**Engineer/designer**

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Fax #: \_\_\_\_\_

Email address: \_\_\_\_\_ Professional license #: \_\_\_\_\_

**Proposed Project**

Please describe the proposed project: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please describe the existing conditions:

The lot is currently vacant, it was previously developed residentially,

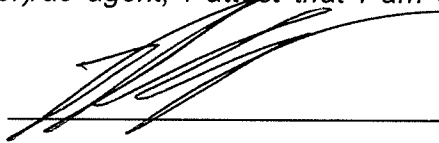
but that use has been abandoned.

## Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

*I/we hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.*


Signature of property owner:



Date:

4/16/24

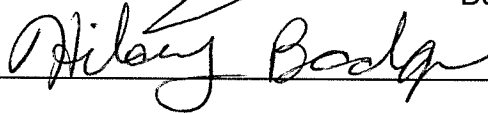
Signature of applicant/developer:



Date:

4/16/24

Signature of agent:



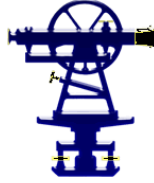
Date:

4/16/24

# NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249  
Continental Blvd. (03867)  
Rochester, NH 03866-0249  
Phone (603) 335-3948  
www.norwayplains.com



P. O. Box 268  
31 Mooney St.  
Alton, NH 03809  
Phone (603) 875-3948

April 9, 2024

Tracy Gora, Chief Planner  
Planning Department  
City of Rochester  
33 Wakefield Street  
Rochester, NH 03867

**Re: Waiver Request: Section 10(A); Number of Parking Spaces, Packys Investment Properties LLC; 18 Sterling Drive, Rochester, NH, Tax Map 208, Lot 18-1.**

Dear Tracy:

On behalf of Packy Campbell and Packys Investment Properties LLC, Norway Plains Associates respectfully requests waivers to the following Site Plan Regulation:

**Waiver Request Section 10 (A):**

*Section 10(A) of the Rochester Site Plan Review Regulations requires that the minimum number of designated off street parking shall be provided on each site based upon the type of use, as shown in the Table of Parking Requirements. For Industrial use, the requirement is 1 space per 1000 square feet of gross floor area plus 3 spaces per 1,000 gross square feet for area designated for offices or retail sales.*

Under the Site Review Regulations, the proposed industrial use, the total number of parking spaces based on industrial use – Warehouse / Storage; 18 spaces would be required based on information provided below:

<u>17,400 sf proposed Storage</u>	Plus	<u>0 sf. proposed office</u>
1 space per 1,000 sf		3 spaces per 1,000 sf Office

Since the proposed buildings will be a self-storage facility and there will not be an office or full-time employees, there is no need to have designated parking. Renters will be loading and unloading at their individual units. Therefore, we respectfully request a waiver to eliminate the need for parking spaces as part of the site design.

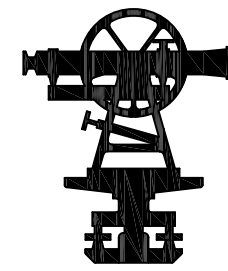
Thank you for your consideration.

Sincerely,

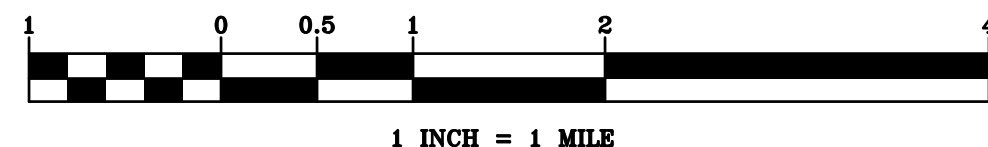
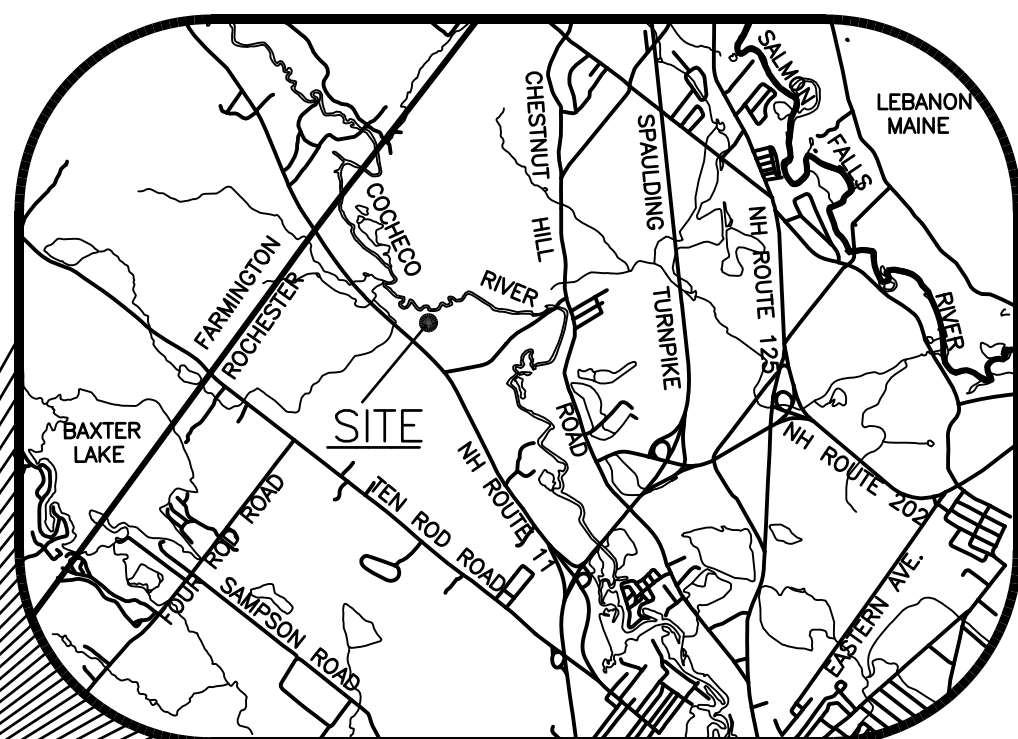
**NORWAY PLAINS ASSOCIATES, INC.**

By: \_\_\_\_\_  
Scott A. Lawler, P.E., Project Engineer





PROPOSED SELF-STORAGE FACILITY  
18 STERLING DRIVE  
PREPARED FOR  
PACKYS INVESTMENT PROPERTIES LLC  
APRIL 2024



THE BLANDING'S TURTLE



THE WOOD TURTLE

- WILDLIFE PROTECTION NOTES:**
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGREVIEW@WILDLIFE.NH.GOV. EMAIL SUBJECT LINE: NH022-3925, 18 STERLING DRIVE, FARMINGTON, WILDLIFE SPECIES OBSERVATION.
  - PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
  - IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
  - THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

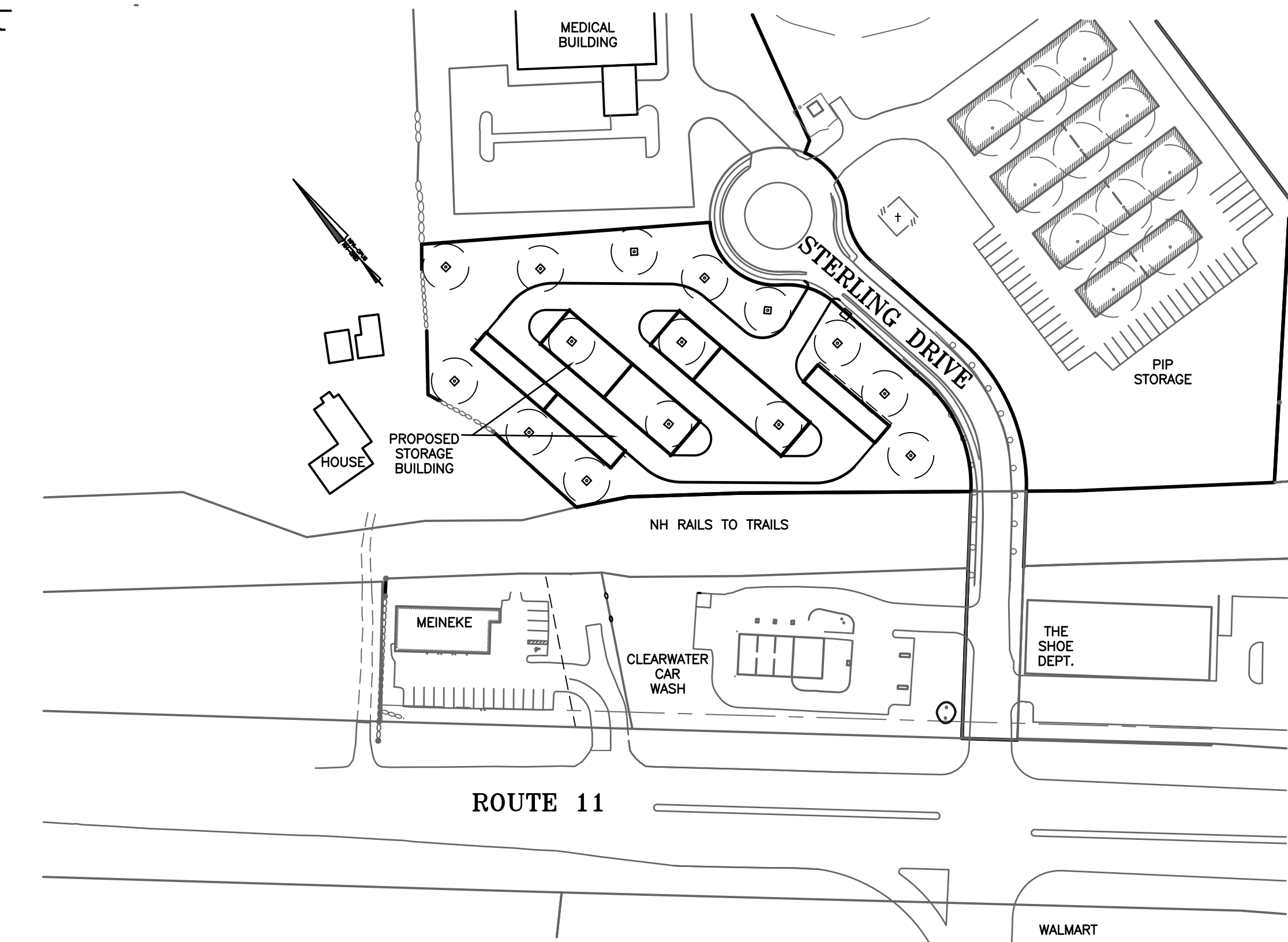
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

**OWNER OF RECORD**

TAX MAP 208, LOT 18-1  
OWNER OF RECORD:  
PACKYS INVESTMENT PROPERTIES LLC  
PO BOX 77  
FARMINGTON, NH 03835-0077  
SCRD BOOK 4965, PAGE 915

**APPLICANT**

PACKYS INVESTMENT PROPOERTIES LLC  
PO BOX 77  
FARMINGTON, NH 03835-0077  
(603) 765-9101



**OVERALL SITE**  
1" = 100'

**STATE AND FEDERAL PERMITS:**

**STATE OF NEW HAMPSHIRE PERMIT NUMBERS:**

NHDES ALTERATION OF TERRAIN:	NOT REQUIRED
NHDES WETLANDS PERMIT:	NOT REQUIRED
NHDES DAM PERMIT:	NOT REQUIRED
NHDES SUBDIVISION PERMIT:	NOT REQUIRED
NHDES SUBSURFACE SYSTEMS PERMIT:	NOT REQUIRED
NHDES WASTEWATER PERMIT:	NOT REQUIRED
NHDOT DRIVEWAY/ENTRANCE PERMIT:	NOT REQUIRED

**NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):**  
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: **REQUIRED**

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

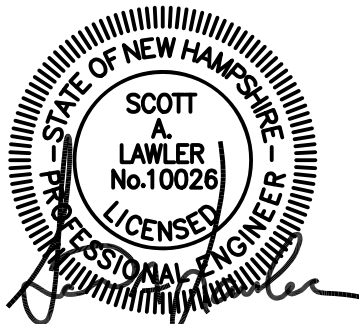
FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

**FINAL APPROVAL BY THE**  
**ROCHESTER PLANNING BOARD ON** \_\_\_\_\_ **DATE** \_\_\_\_\_

SIGNED BY \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_  
NAME POSITION DATE

**SHEET INDEX**

	COVER	
SHEET E-1	EXISTING FEATURES	1" = 30'
SHEET C-1	OVERALL SITE PLAN	1" = 30'
SHEET C-2	SITE LAYOUT PLAN	1" = 30'
SHEET C-3	GRADING AND DRAINAGE PLAN	1" = 30'
SHEET C-4	EROSION CONTROL PLAN	AS SHOWN
SHEET C-5	UTILITY PLAN	AS SHOWN
SHEET C-6	CONSTRUCTION DETAILS	AS SHOWN
SHEET C-7	DRAINAGE DETAILS	AS SHOWN
SHEET C-8	TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET C-9	PERMANENT EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET L-1	LIGHTING PLAN	1" = 30'

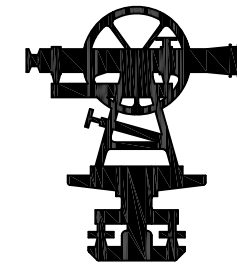


**CIVIL ENGINEERS**

NORWAY PLAINS ASSOCIATES, INC.  
2 CONTINENTAL BOULEVARD  
ROCHESTER, NEW HAMPSHIRE 03867  
(603) 335-3948

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1





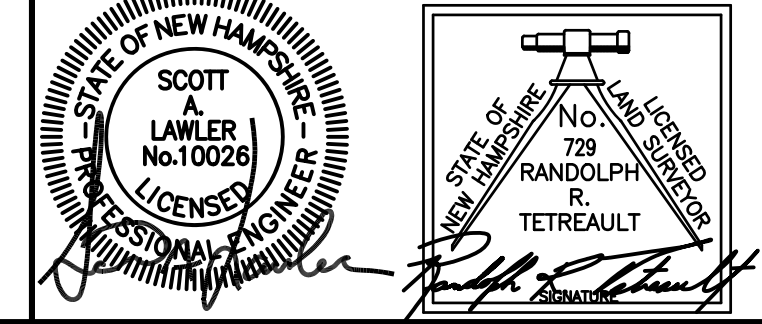
LEGEND

- PROPERTY LINE
- FASCIANT
- EXISTING STONEWALLS
- EXISTING CONTOUR LINE
- EXISTING DRAIN LINE
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND UTILITIES
- EXISTING FORCE MAIN
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING MONUMENT
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING TEST PIT LOCATION & NUMBER
- EXISTING WETLANDS
- EXISTING LIGHT POLES

EXISTING DRAINAGE STRUCTURES

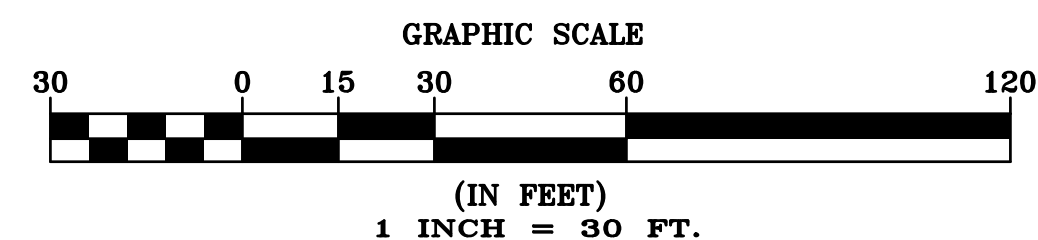
CB 1	CB 2
RIM=237.6'	RIM=245.8'
INV IN = 232.8'	INV IN = 239.9'
INV OUT = 232.8'	INV OUT = 239.35'
	SUMP = 236.1'

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



- GENERAL SITE PLAN NOTES
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 208, LOT 18-1.
  - THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (ORD) ZONE AND THE AQUIFER PROTECTION OVERLAY DISTRICT (APOD).
  - TOTAL PARCEL AREA: LOT 18-1 = 2.08 ACRES OR 90,361 SQUARE FEET
  - THE LOT IS SERVICED BY CITY SEWER AND WATER.
  - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
    - GRANITE RIDGE DEVELOPMENT (ORD) ZONE:
      - MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
      - MINIMUM LOT FRONTAGE = 50 FEET
      - PAVEMENT SETBACKS:
        - FRONT = 10'
        - SIDE = 5'
        - REAR = 10'
      - MINIMUM BUILDING SETBACKS:
        - FRONT = 300'
        - SIDE = 50'
        - REAR = 100'
      - MAXIMUM LOT COVERAGE = NO STANDARD
      - MAXIMUM BUILDING HEIGHT = NO STANDARD
    - ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NGVD29
    - PARCEL IS NOT LOCATED WITHIN ZONE AE (100YR FLOOD) AND THE FLOODWAY ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #3301700184D DATED MAY 17, 2005.
    - SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE.
      - H08 - HINKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
- Test Pits Conducted by Ashley Rowe, Subsurface Designer  
NOVEMBER 22, 2021
- TEST PIT 1
- |     |   |     |                                                                                          |
|-----|---|-----|------------------------------------------------------------------------------------------|
| 0'  | - | 8'  | LOAM TOPSOIL (TYP.)                                                                      |
| 8'  | - | 72" | SLIGHTLY GRAVELLY COARSE TO MEDIUM SANDS, SINGLE GRAIN, LOOSE. 6" MINUS STONES TO DEPTH. |
| 72" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI           |
- TEST PIT 2
- |     |   |     |                                                                                |
|-----|---|-----|--------------------------------------------------------------------------------|
| 0'  | - | 64" | LOAM TOPSOIL (TYP.)                                                            |
| 64" | - | 54" | SANDY LOAM, GRANULAR, FRIABLE.                                                 |
| 54" | - | 76" | LOAMY MEDIUM GRAIN SAND, SINGLE GRAIN, LOOSE.                                  |
| 76" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI |
- TEST PIT 3
- |     |   |     |                                                                                |
|-----|---|-----|--------------------------------------------------------------------------------|
| 0'  | - | 5'  | LOAM TOPSOIL (TYP.)                                                            |
| 5'  | - | 72" | LOAMY COARSE SANDS, SINGLE GRAIN, LOOSE. 3" MINUS STONES VERY COMMON BELOW 40" |
| 72" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI |
- TEST PIT 4 (IN OLD LEACH FIELD)
- |     |   |     |                                                                                |
|-----|---|-----|--------------------------------------------------------------------------------|
| 0'  | - | 9'  | LOAM TOPSOIL (TYP.)                                                            |
| 9'  | - | 22" | 4" MINUS SEPTIC STONE                                                          |
| 22" | - | 64" | MEDIUM GRAIN SANDS, SINGLE GRAIN, LOOSE.                                       |
| 64" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI |
- TEST PIT 5
- |     |   |     |                                                                                      |
|-----|---|-----|--------------------------------------------------------------------------------------|
| 0'  | - | 7'  | LOAM TOPSOIL (TYP.)                                                                  |
| 7'  | - | 64" | EXTREMELY GRAVELLY COARSE SANDS, STONES COMMON TO DEPTH RANGING FROM 3' TO 15' PLUS. |
| 64" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI       |
- TEST PIT 6
- |     |   |     |                                                                                  |
|-----|---|-----|----------------------------------------------------------------------------------|
| 0'  | - | 7'  | LOAM TOPSOIL (TYP.)                                                              |
| 7'  | - | 56" | EXTREMELY GRAVELLY COARSE SANDS, STONES COMMON TO DEPTH RANGING FROM 12' TO 24'. |
| 56" | - |     | NO REFUSAL, OBSERVED WATER, OR APPARENT SEASONAL HIGH WATER TABLE. PERC. 6 MPI   |
- Additional Test Pits - March 14, 2024 - Conducted by Ashley Rowe, Subsurface Designer
- TEST PIT A
- |     |   |      |                                                |
|-----|---|------|------------------------------------------------|
| 0'  | - | 12'  | LOAM TOPSOIL (TYP.), COMMON ROOTS.             |
| 12' | - | 46"  | LOAMY MEDIUM SAND, 3" MINUS STONES THROUGHOUT. |
| 46" | - | 106" | MEDIUM GRAIN CLEAN SAND, SINGLE GRAIN, LOOSE.  |
- TEST PIT B
- |     |   |      |                                                                                                                              |
|-----|---|------|------------------------------------------------------------------------------------------------------------------------------|
| 0'  | - | 25'  | LOAM TOPSOIL (TYP.), MANY 1" STONES, FRIABLE, FIRM IN PLACE.                                                                 |
| 25' | - | 48"  | LOAMY SAND, GRANULAR, FRIABLE, FIRM IN PLACE, INCLUSIONS OF COARSE GRAVELLY SAND, SINGLE GRAIN, LOOSE, 3" STONES THROUGHOUT. |
| 48" | - | 84"  | LOAMS, MEDIUM SANDS, 3" MINUS STONES THROUGHOUT.                                                                             |
| 84" | - | 112" | VERY FINE SILTY SAND, GRANULAR, FRIABLE, FIRM IN PLACE.                                                                      |
- REDOX CONCENTRATIONS @ 91"
- Test Pits Conducted: April 2, 2024  
By: Joseph W. Noel, New Hampshire Certified Soil Scientist #017
- Test Pit JN1 (NPA Stake #531)
- A/B0-20 inches mixed dark brown (10YR 3/3) & dark yellowish brown (10YR 4/6) sandy loam to loamy sand fill material, friable, granular to massive
- Bw 20-47 inches dark yellowish brown (10YR 4/6) sandy loam to loamy sand fill material, very friable, massive
- Natural Substratum
- C1 47-60 inches light olive brown (2.5Y 5/3) fine sand to very fine sand, firm in place-friable in hand, massive, common prominent redox features (high chroma)
- C2 60-94 inches light olive brown (2.5Y 5/4) fine sand with loamy sand strata, friable massive, common faint few distinct redox features
- Seasonal High Water Table @ 47" (possible perched zone)
- Observed Water Table none to 94" (very moist)
- Restrictive Horizon none to 94"
- Bedrock none to 94"
- Note: Little False Bluestem (Schizachyrium scaparium) & Primrose (Oenothera sp.) vegetation (dry site indicators)
- Soil Series: Undorthents - well drained
- Test Pit JN2 (NPA Stake #529)
- A 0-5 inches dark brown (10YR 3/3) regraded loamy sand (considered/similar as natural A), very friable, granular
- Bw 5-26 inches yellowish brown (10YR 5/6) sand, very friable, massive
- BC 28-47 inches brown (10YR 5/3) gravelly very coarse sand, loose, single grain (sloping)
- C1 47-78 inches pale brown (10YR 6/3) sand, loose, single grain
- C2 78-85 inches pale brown (10YR 6/3) sand, loose, single grain, common faint few distinct redox features
- Seasonal High Water Table @ 78"
- Observed Water Table none to 85"
- Restrictive Horizon none to 85"
- Bedrock none to 85"
- Soil Series: Windsor - best fit
- Test Pit JN3 (NPA Stake #530)
- A 0-17 inches dark brown (10YR 3/3) sandy loam & loamy sand fill material, friable, granular
- B 17-25 inches dark yellowish brown (10YR 4/6) loamy sand fill material, friable, granular
- Natural Substratum
- C1 25-82 inches light olive brown (2.5Y 5/3 & 2.5Y 5/4) sand to coarse sand, loose, single grain
- C2 82-98 inches light olive brown (2.5Y 5/3) sand, loose, single grain, common distinct redox features
- Seasonal High Water Table @ 82"
- Observed Water Table none to 96"
- Restrictive Horizon none to 96"
- Bedrock none to 96"
- Soil Series: Undorthents - well drained

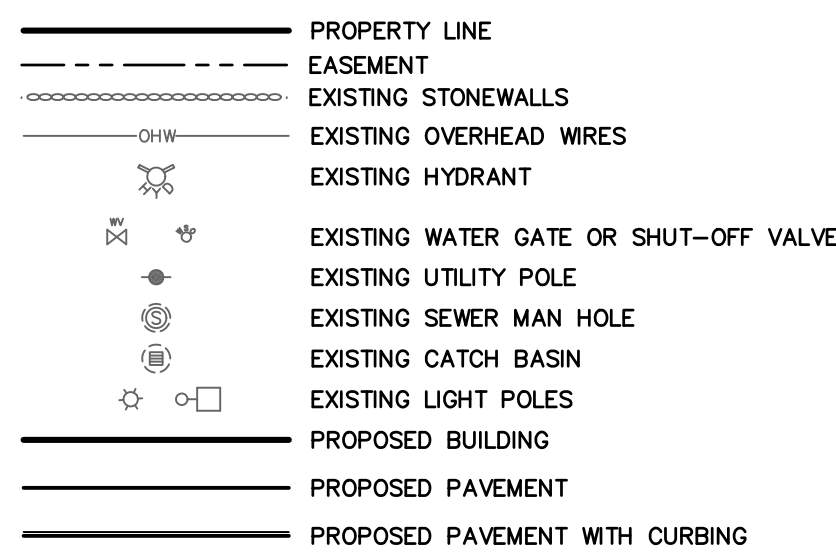
EXISTING FEATURES PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKYS INVESTMENT  
PROPERTIES LLC  
APRIL 2024



FILE NO. 116  
PLAN NO. C-3077  
DWC. NO. 19273/SP-1



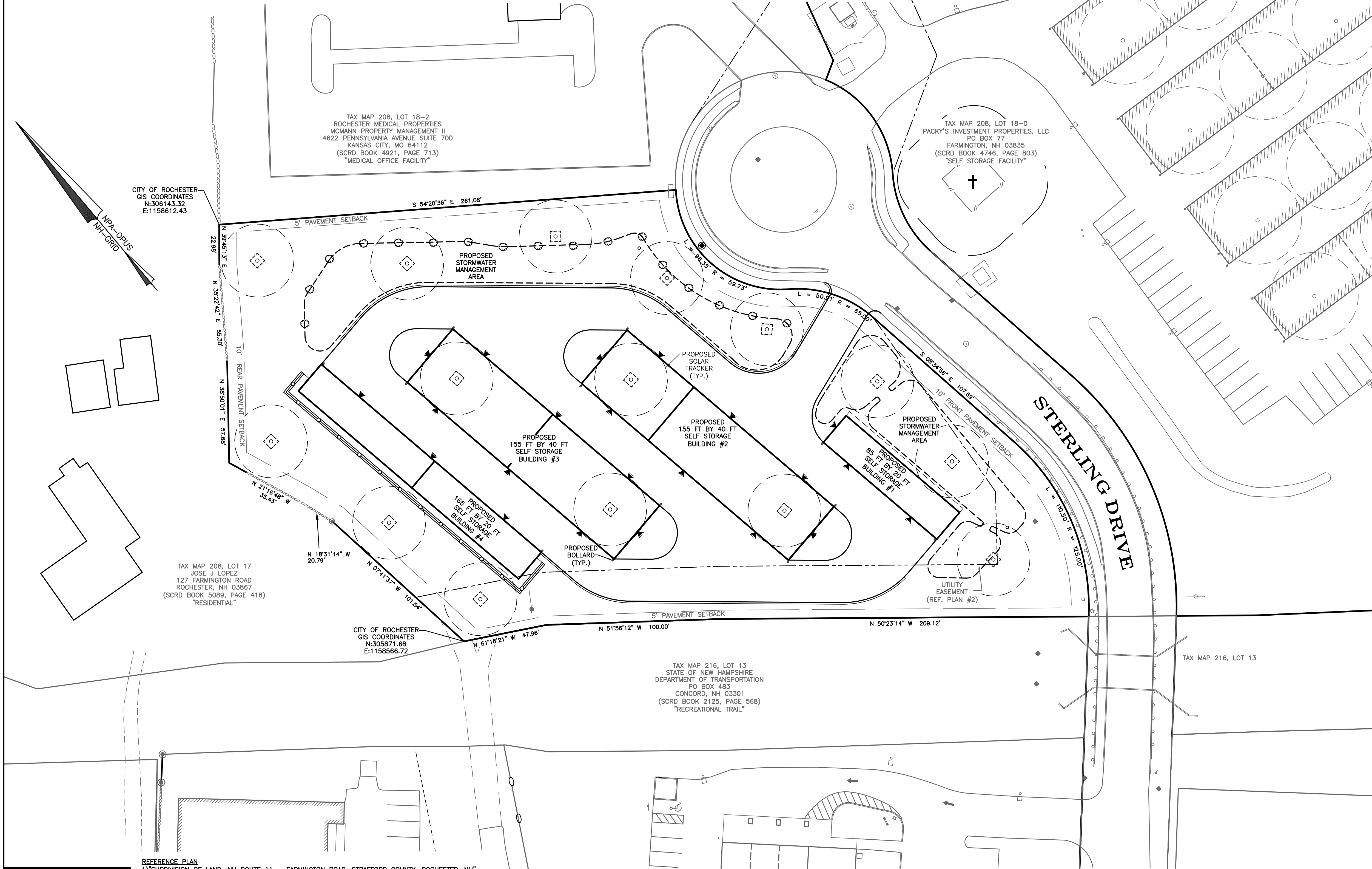
## LEGEND



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

## SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.



- GENERAL SITE PLAN NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT A SELF-STORAGE FACILITY WITH ACCESSORY SOLAR TRACKERS ON TAX MAP 208, LOT 18-1.
  2. THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, AND THE AQUIFER PROTECTION OVERLAY DISTRICT (APOD).
  3. TOTAL PARCEL AREA: LOT 18-1 = 2.08 ACRES OR 90,361 SQUARE FEET.
  4. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON THE LOT.
  5. THE LOT IS SERVICED BY CITY SEWER AND WATER.
  6. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:  
GRANITE RIDGE DEVELOPMENT (GRD) ZONE:  
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD  
MINIMUM LOT FRONTAGE = 50 FEET  
PAVEMENT SETBACKS:  
FRONT = 10'  
SIDE = 5'  
REAR = 10'  
MINIMUM BUILDING SETBACKS:  
FRONT = 300'  
SIDE = 50'  
REAR = 100'  
MAXIMUM LOT COVERAGE = NO STANDARD  
MAXIMUM BUILDING HEIGHT = NO STANDARD
  7. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NGVD29
  8. PARCEL IS NOT LOCATED WITHIN ZONE AE (100YR FLOOD) OR THE FLOODWAY ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017C0184D DATED MAY 17, 2005.
  9. SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE.  
\* HbB - HINKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
  10. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD ST., ROCHESTER, NH 03867. (603) 335-1338.
  11. PARKING REQUIREMENTS:  
REQUIRED: 1 SPACE / 1,000 SF --> 1 SPACE / 1,000 SF \* 17,400 = 18 SPACES  
PROVIDED = 0 SPACES - WAIVER REQUESTED
  12. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
  13. THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE MAP, CHAPTER 218. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED.
  14. ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
  15. SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON STERLING DRIVE AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
  16. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
  17. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
  18. THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
  19. ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT. NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
  20. THIS PROJECT PROPOSED TO DISTURB OVER ONE ACRE OF EXISTING GROUND COVER AND MEETS OTHER SPECIFIC REQUIREMENTS RELATED TO PERMIT CRITERIA FOR EPA NPDES COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SUBMISSION OF A NOTICE OF INTENT (NOI) TO EPA, INSPECTIONS AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION OF A NOTICE OF TERMINATION (NOT) TO EPA. THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF THE CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.
  21. ALL LIGHT FIXTURES SHALL HAVE A LIGHT SENSOR AND MOTION SENSORS TO TURN OFF UNLESS MOTION DETECTED.
  22. SECURITY CAMERA WILL BE PLACED ON THE PROPOSED BUILDINGS AND SHALL HAVE AN INFRARED FEATURE.
  23. ON MAY 8, 2024 THE CITY OF ROCHESTER ZONING BOARD OF ADJUSTMENTS GRANTED A VARIANCE TO PERMIT THE CONSTRUCTION OF A STORAGE FACILITY WITHIN THE 100 FOOT SETBACK AREA AND WITHIN 75 FEET FROM A RESIDENTIAL USE.

OVERALL SITE PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKYS INVESTMENT  
PROPERTIES LLC

APRIL 2024  
GRAPHIC SCALE



(IN FEET)  
1 INCH = 30 FEET

C-1

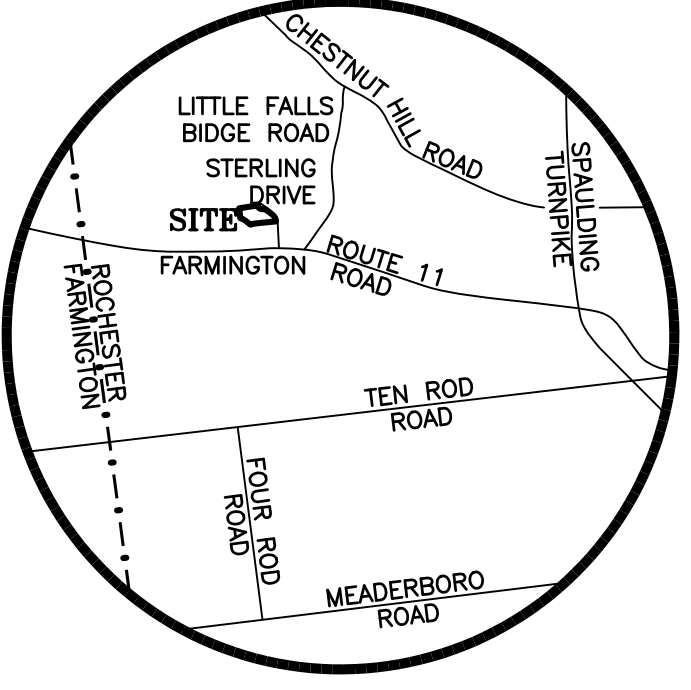
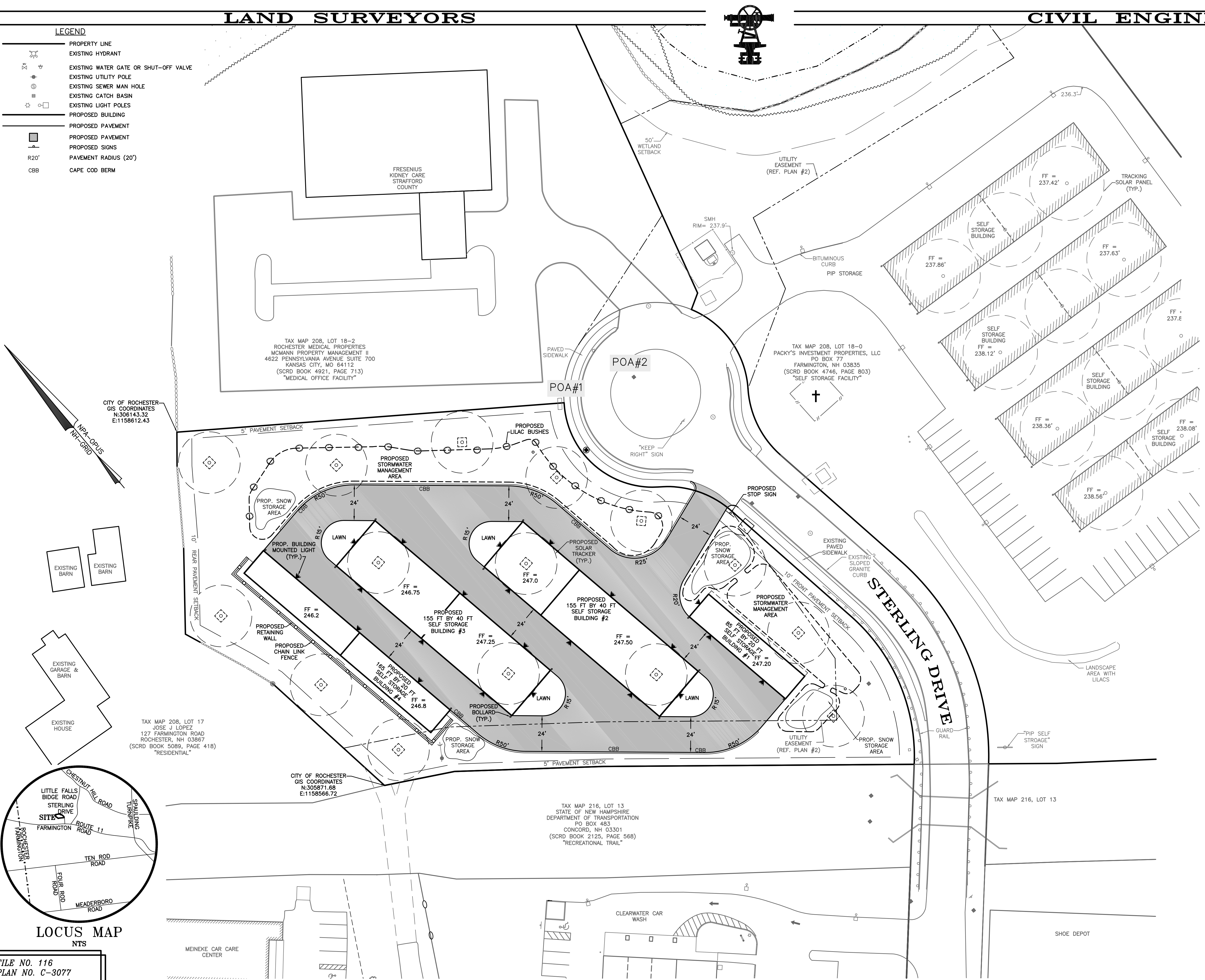
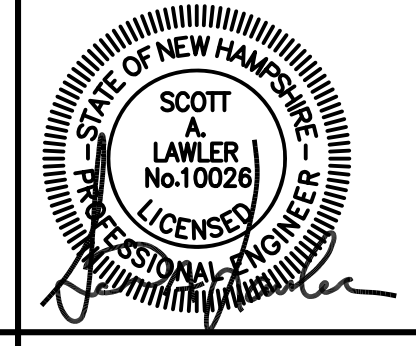
FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1

REFERENCE PLAN  
1) SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH\*  
FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED  
SCRD PLAN 94-28.  
2) EASEMENT PLAN - SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY,  
ROCHESTER, NH\* FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS  
ASSOCIATES, INC. RECORDED SCRD PLAN 94-28.



LEGEND

- PROPERTY LINE
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SIGNS
- PAVEMENT RADIUS (20')
- CBB
- CAPE COD BERM



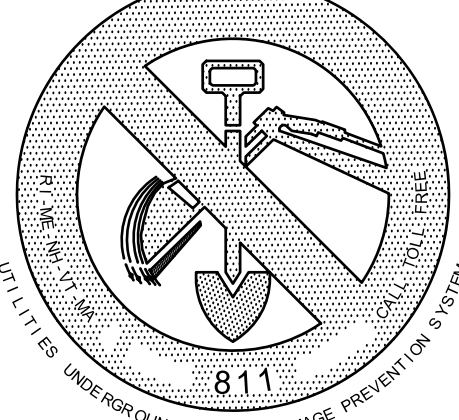
**SITE LAYOUT PLAN**  
**TAX MAP 208, LOTS 18-1**  
**18 STERLING DRIVE**  
**ROCHESTER, NH**  
 PREPARED FOR:  
**PACKYS INVESTMENT**  
**PROPERTIES LLC**  
 APRIL 2024  
 GRAPHIC SCALE  
 30 0 15 30 60 120  
 (IN FEET)  
 1 INCH = 30 FEET



## LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- EXISTING OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SIGNS
- CORROGATED PLASTIC PIPE
- PROPOSED DRAINAGE FLOW

## DIG SAFE



CITY OF ROCHESTER  
GIS COORDINATES  
N:306143.32  
E:1158612.43

TAX MAP 208, LOT 18-2  
ROCHESTER MEDICAL PROPERTIES  
MCMANN PROPERTY MANAGEMENT II  
4622 PENNSYLVANIA AVENUE SUITE 700  
KANSAS CITY, MO 64112  
(SCRD BOOK 4921, PAGE 713)  
"MEDICAL OFFICE FACILITY"

PROP. OUTLET STRUCTURE 1

TAX MAP 208, LOT 18-0  
PACKY'S INVESTMENT PROPERTIES, LLC  
PO BOX 77  
FARMINGTON, NH 03835  
(SCRD BOOK 4746, PAGE 803)  
"SELF STORAGE FACILITY"

TAX MAP 208, LOT 17  
JOSE J LOPEZ  
127 FARMINGTON ROAD  
ROCHESTER, NH 03867  
(SCRD BOOK 5089, PAGE 418)  
"RESIDENTIAL"

CITY OF ROCHESTER  
GIS COORDINATES  
N:305871.68  
E:1158566.72

TAX MAP 216, LOT 13  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03301  
(SCRD BOOK 2125, PAGE 568)  
"RECREATIONAL TRAIL"

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273-18/SP-1

## EXISTING DRAINAGE STRUCTURES

CB 1  
RIM = 237.6'  
INV IN = 232.8'  
INV OUT = 232.8'

CB 2  
RIM = 245.8'  
INV IN = 239.9'  
PROP. INV IN = 239.50'  
INV OUT = 239.35'  
SUMP = 236.1'

## PROPOSED DRAINAGE STRUCTURES

PROP. CB 1  
RIM = 241.0'  
INV IN = 236.8'  
INV OUT = 236.7'

PROP. OUTLET STRUCTURE 1  
RIM = 245.35'  
INV OUT = 237.0' (12" CPP)

PROP. OUTLET STRUCTURE 2  
RIM = 245.0'  
INV OUT = 240.0'

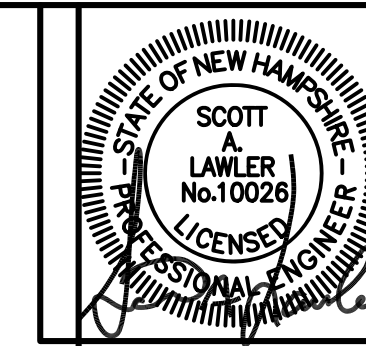
GRADING & DRAINAGE PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKY'S INVESTMENT  
PROPERTIES LLC

APRIL 2024  
GRAPHIC SCALE



(IN FEET)  
1 INCH = 30 FEET





	PROPERTY LINE
	EXISTING DRAIN LINE
	EXISTING CONTOUR LINE
	EXISTING CATCH BASIN
	PROPOSED DRAIN LINE
	PROPOSED CONTOUR LINE
	PROPOSED CATCH BASIN
	PROPOSED TEMPORARY CATCH BASIN FILTERS
	PROPOSED TEMPORARY STABILIZED CONSTRUCTION

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

### CONSTRUCTION SEQUENCING NOTES

1. ENTER TO THE CONSTRUCTION PLAN SET PRIOR TO COMMENCING CONSTRUCTION. THESE PLANS MUST BE ADHERED TO DURING CONSTRUCTION.
2. ESTABLISH STAGING AREA WHERE BEST SUITED, MOVE AS NECESSARY DURING CONSTRUCTION. USE THIS AREA FOR ALL MATERIAL STORAGE AND CONSTRUCTION EQUIPMENT. STAGING AREA SHALL NOT BE PLACED IN ANY STORMWATER MANAGEMENT AREAS.
3. INSTALL EROSION CONSTRUCTION FENCE AT PERIMETER OF DISTURBANCE AREA.
4. INSTALL ORANGE CONTROL BERM AS SHOWN ON SHEET C-4.
5. INSTALL CATCH BASIN INLET PROTECTION AS SHOWN ON SHEET C-4.
6. INSTALL CONSTRUCTION EXIT AS SHOWN ON SHEET C-4.
7. REMOVE AND CUT MATERIAL AS NEEDED BASED ON GRADING PLAN ON SHEET C-3.
8. INSTALL RETAINING WALL AS SHOWN ON SHEET C-3.
9. DIG TRENCH FOR UNDERGROUND CONDUIT.
10. DIG AREA FOR EACH TRACING PANEL FOUNDATION AND BUILDING FOUNDATION.
11. ESTABLISH CONCRETE WASHOUT AREA IN AN APPROPRIATE LOCATION. CONCRETE WASHOUT AREA SHALL NOT BE PLACED IN ANY STORMWATER MANAGEMENT AREAS.
12. INSTALL UNDERGROUND CONDUIT 30" BELOW GRADE AND SURROUND IN SAND BOX AS SHOWN IN DETAIL ON SHEET C-6.
13. COMPLETE ANY NECESSARY CUTS FOR THE INFILTRATION BASINS AS SHOWN ON SHEET C-3.
14. INSTALL UTILITY STRUCTURES AND CATCH BASIN AS SHOWN ON SHEET C-3.
15. INSTALL BASE MATERIALS FOR PAVED AREAS AND COMPACT AS REQUIRED, USE DETAILS FROM SHEET C-6 FOR GUIDANCE.
16. INSTALL FOUNDATION FOR SOLAR TRACKERS AND BUILDINGS.
17. INSTALL SOLAR TRACKERS.
18. CONSTRUCT STORAGE BUILDINGS.
19. INSTALL DRIP EDGE AS SHOWN ON SHEET C-3.
20. PAVE SITE USING DETAILS FROM SHEET C-6.
21. INSTALL 4" INCHES OF LOAM AND SEED IN ANY AREAS NOT PAVED OR GRAVELED.
22. REMOVE ALL EROSION CONTROL MEASURES ONCE THE LAND IS STABILIZED.

MAINTENANCE AND INSPECTION:

1. DURING CONSTRUCTION ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY ½ INCH OF RAINFALL, AND ANNUALLY.
2. EXCESS SEDIMENT SHOULD BE REMOVED FROM TEMPORARY SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES WHEN IT REACHES PRESCRIBED THRESHOLDS DISCUSSED IN THE DETAILS FOR EACH PRACTICE.
3. ALL DAMAGED TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE REPAIRED OR REPLACED IMMEDIATELY UPON NOTICE.
4. SEDIMENT SHALL BE DISPOSED OF PROPERLY EITHER ON SITE OR OFF SITE.

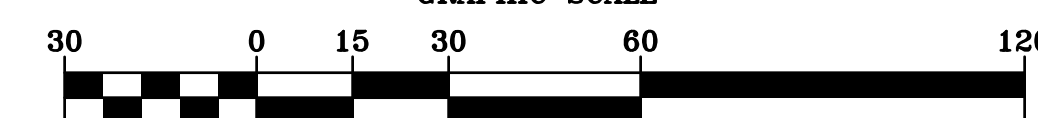
PROJECT COMPLETION AND STABILIZATION:

1. UPON PROJECT COMPLETION, ONCE THE SITE IS DEEMED STABILIZED (VEGETATION IS GERMINATED), THE TEMPORARY SEDIMENT CONTROL BARRIERS AND EROSION CONTROL PRACTICES SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING REMOVAL SHALL BE REPAIRED IN AN APPROPRIATE MANNER.
  2. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ON-SITE INFILTRATION BASIN AND SEDIMENT FOREBAY.
- WASTE DISPOSAL DURING CONSTRUCTION:**
1. ANY CONCRETE WASHOUT SHALL OCCUR WITHIN THE CONCRETE WASHOUT AREA. SANITARY WASTE SHALL BE DISPOSED IN THE PORTABLE TOILET ON SITE AND AREA AROUND IT SHALL BE MAINTAINED ANY TRASH ACCUMULATED DURING CONSTRUCTION SHALL BE REMOVED FROM SITE DAILY.

**EROSION & SEDIMENTATION  
CONTROL PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKYS INVESTMENT  
PROPERTIES LLC**

APRIL 2024

GRAPHIC SCALE



(IN FEET)  
1 INCH = 30 FT.

C-4

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

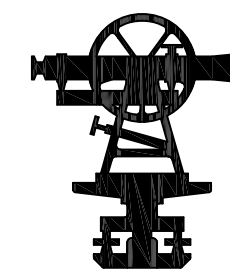
NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



## LEGEND

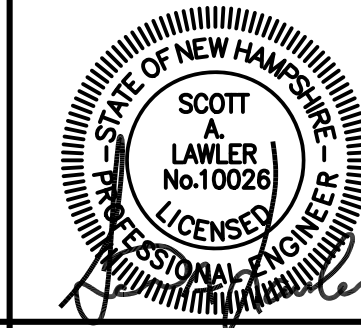
—	PROPERTY LINE
—OHW—	EXISTING OVERHEAD WIRES
—W—	EXISTING WATER MAIN
—S—	EXISTING GRAVITY SEWER MAIN
—FM—	EXISTING SEWER FORCE MAIN
—UGE—	EXISTING UNDERGROUND ELECTRIC WIRES
—UGU—	EXISTING UNDERGROUND UTILITY WIRES
----	EXISTING DRAIN LINE
—PUGE—	EXISTING HYDRANT
⊗	EXISTING WATER GATE OR SHUT-OFF VALVE
⊙	EXISTING UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING CATCH BASIN
⊙	EXISTING LIGHT POLES
----	PROPOSED DRAIN LINE
----	PROPOSED UNDERGROUND ELECTRIC WIRES
----	PROPOSED HYDRANT
----	PROPOSED WATER VALVE
----	PROPOSED CATCH BASIN
----	PROPOSED BUILDING LIGHT FIXTURES



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

## NOTES:

- CONSTRUCTION WILL CONFORM TO THE FOLLOWING UTILITIES STANDARDS AND SPECIFICATION:
  - SANITARY SEWER DISPOSAL - CITY OF ROCHESTER
  - ELECTRIC DISTRIBUTION - EVERSOURCE
  - TELEPHONE - FAIRPOINT
  - CABLE - METROCAST
  - WATER - CITY OF ROCHESTER, STANDARDS
- ALL PROPOSED ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL WORK WITHIN THE STERLING DRIVE RIGHT OF WAY MUST OBTAIN A PERMIT FROM THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ANY AND ALL PERMITS TO WORK IN THE RIGHT OF WAY.



EXISTING DRAINAGE STRUCTURES  
CB 1  
RIM=237.6'  
INV IN = 232.8'  
INV OUT = 232.8'

CB 2  
RIM=245.8'  
INV IN = 239.9'  
PROP. INV IN = 239.50'  
INV OUT = 239.35'  
SUMP = 236.1'

PROPOSED DRAINAGE STRUCTURES  
PROP. CB 1  
RIM = 241.0'  
INV IN = 236.8'  
INV OUT = 236.7'

PROP. OUTLET STRUCTURE 1  
RIM = 245.35'  
INV OUT = 237.0' (12" CPP)

PROP. OUTLET STRUCTURE 2  
RIM = 243.85'  
INV OUT = 240.0'

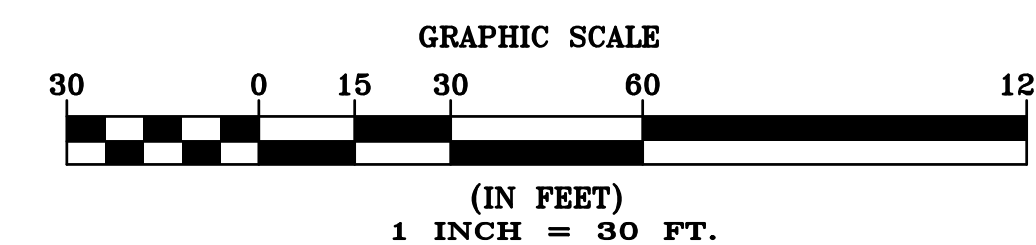
CITY OF ROCHESTER  
GIS COORDINATES  
N:306143.32  
E:1158612.43

TAX MAP 208, LOT 17  
JOSE, J LOPEZ  
127 FARMINGTON ROAD  
ROCHESTER, NH 03867  
(SCRD BOOK 5089, PAGE 418)  
"RESIDENTIAL"

CITY OF ROCHESTER  
GIS COORDINATES  
N:305871.68  
E:1158566.72

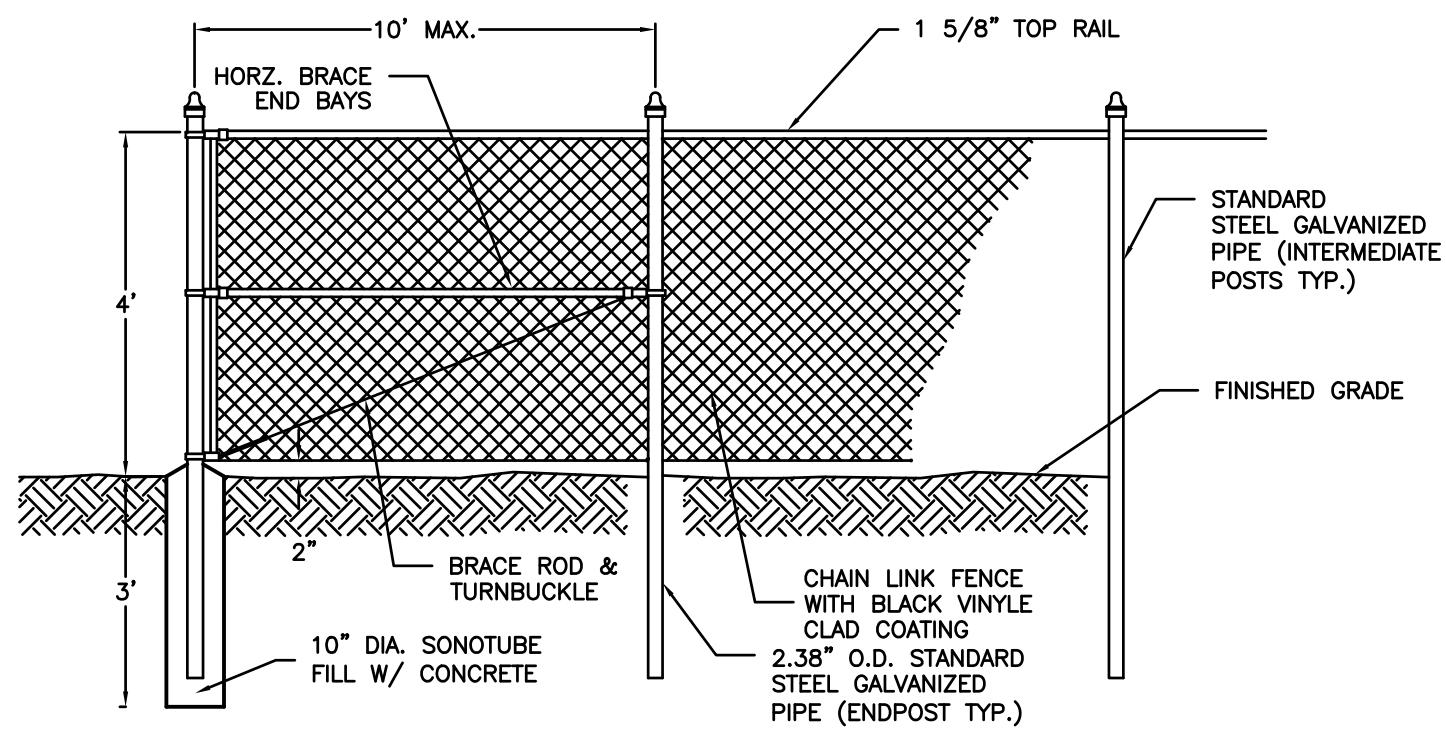
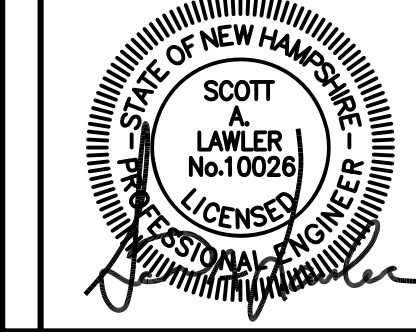
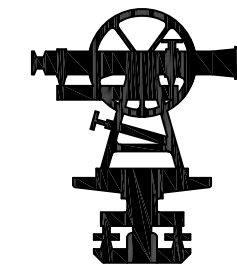
TAX MAP 216, LOT 13  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03301  
(SCRD BOOK 2125, PAGE 568)  
"RECREATIONAL TRAIL"

UTILITY PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKY'S INVESTMENT  
PROPERTIES LLC  
APRIL 2024

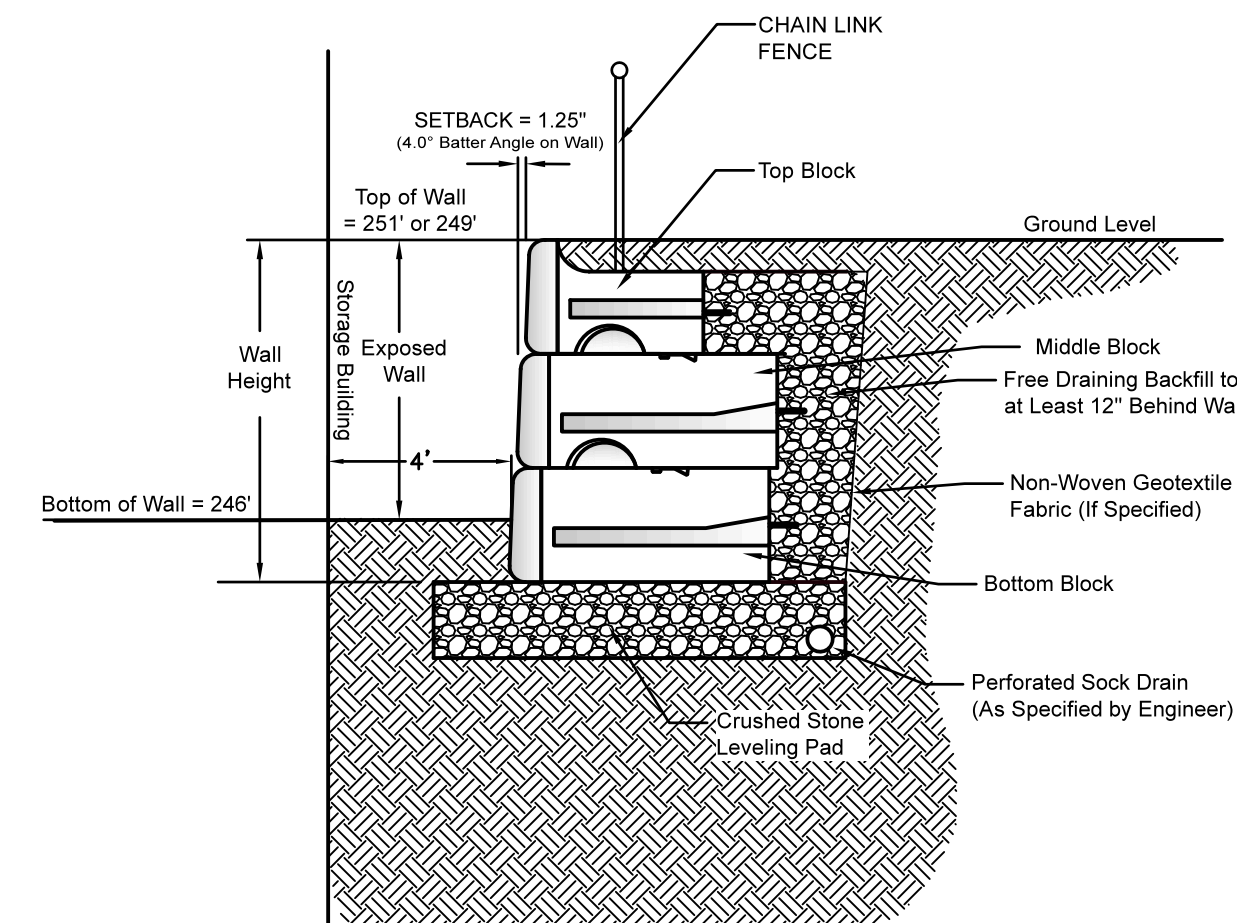


FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1



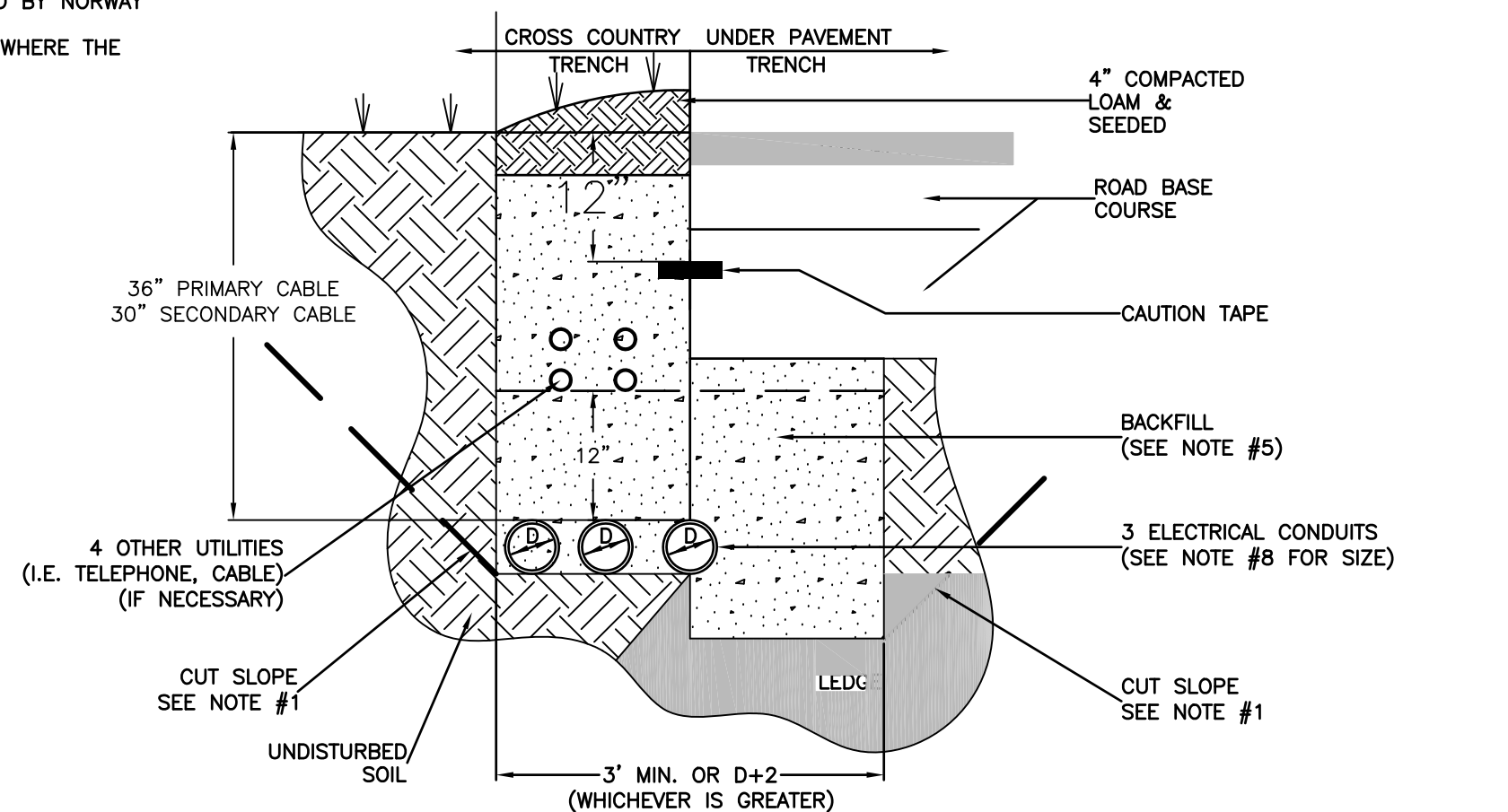


**TYPICAL CHAINLINK FENCE**  
NOT TO SCALE



**TYPICAL BLOCK RETAINING WALL DETAIL**  
NOT TO SCALE

- NOTES:
- DESIGN OF RETAINING WALLS TO BE PROVIDED BY MANUFACTURE AND INSTALLED PER THE MANUFACTURES REQUIREMENTS.
  - SHOP DRAWINGS SHALL BE SUBMITTED PRIOR TO ORDERING AND APPROVED BY NORWAY PLAINS ASSOCIATES, INC.
  - CHAINLINK FENCE SHALL BE INSTALLED AND ANCHORED ON TOP OF WALL WHERE THE VERTICAL DROP IS GREATER THAN 2 FEET OR AS REQUIRED BY CODES.



- NOTES:
- ALL NON-METALLIC CONDUIT AND FITTINGS SHALL BE ELECTRICAL GRADE, SCHEDULE 40 PVC, AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF NEMA T22-1990 AND BE UL LISTED. ONLY GRAY-COLORED CONDUIT WILL BE ACCEPTED. ANY PVC CONDUIT NOT HAVING THE PROPER NEMA AND UL MARKINGS WILL NOT BE ACCEPTED. ALL STEEL CONDUITS SHALL CONFORM TO ASTM A120 AND BE RIGID GALVANIZED STEEL. ALL PVC JOINTS MUST BE CEMENTED. STEEL FITTINGS SHALL BE SEALED WITH COMPOUND.
  - ALL 90 DEGREE SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES. ALL STEEL SWEEPS WITHIN 18\"/>

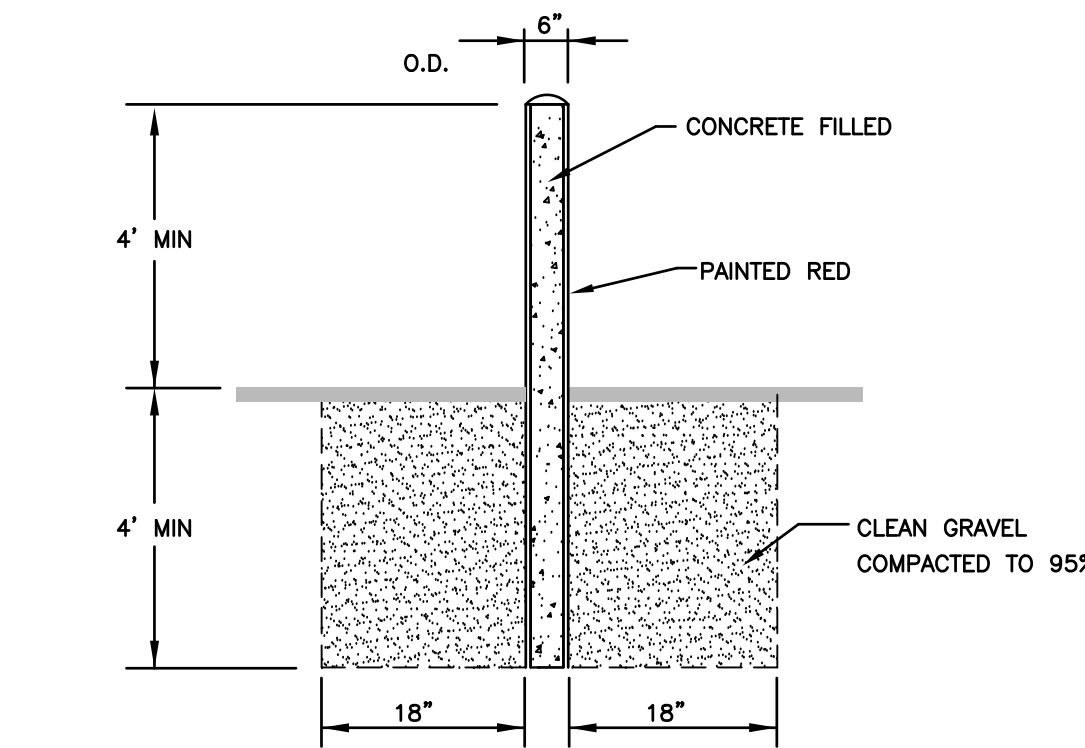
**ELECTRICAL & UNDERGROUND UTILITY  
TRENCH INSTALLATION DETAIL**  
NOT TO SCALE

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1

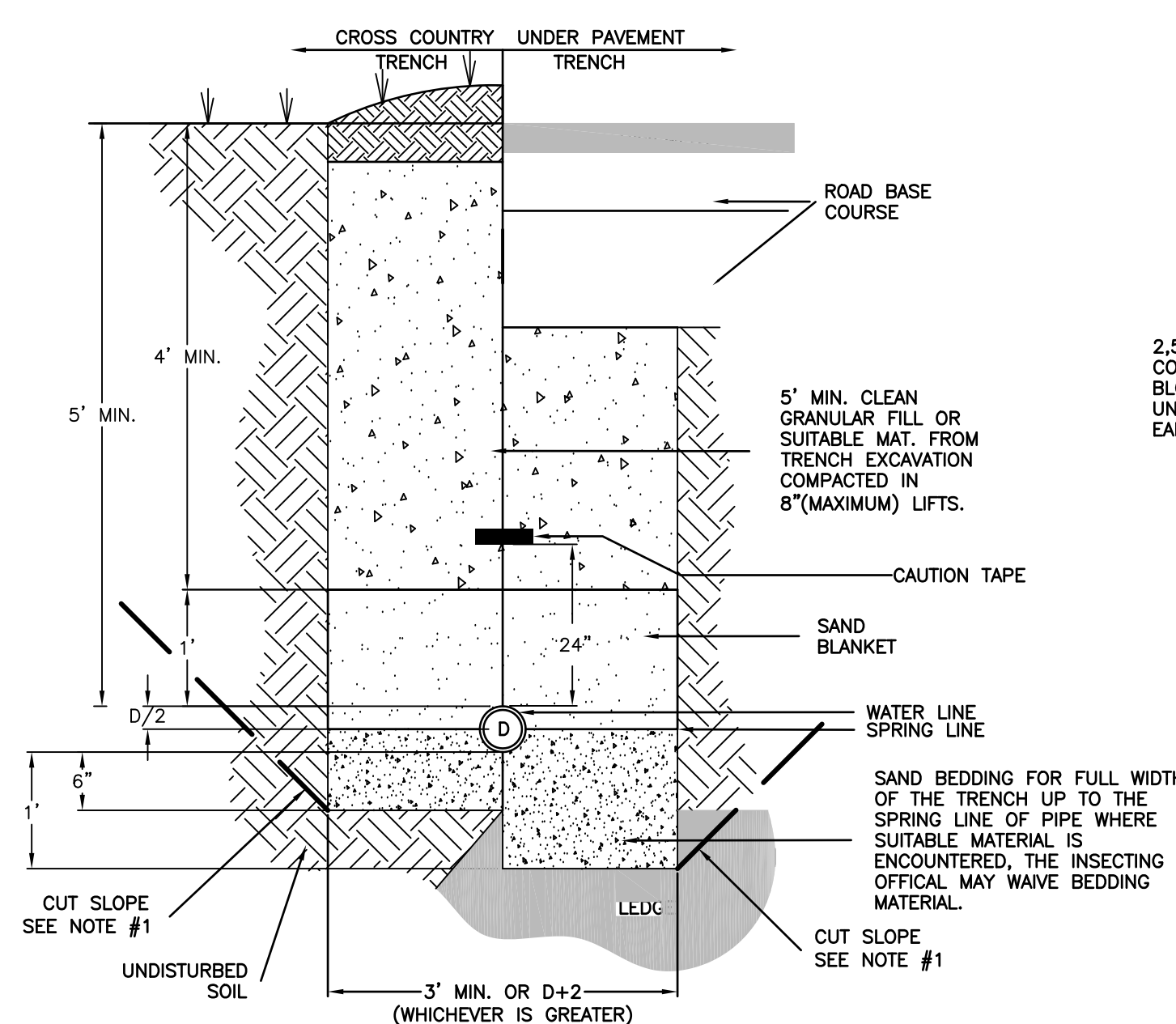
**PARKING LOT CROSS-SECTIONS**  
NOT TO SCALE

- PAVEMENT NOTES:
- PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  - PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  - PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

**TYPICAL PAVEMENT MATCHING DETAIL**  
NOT TO SCALE

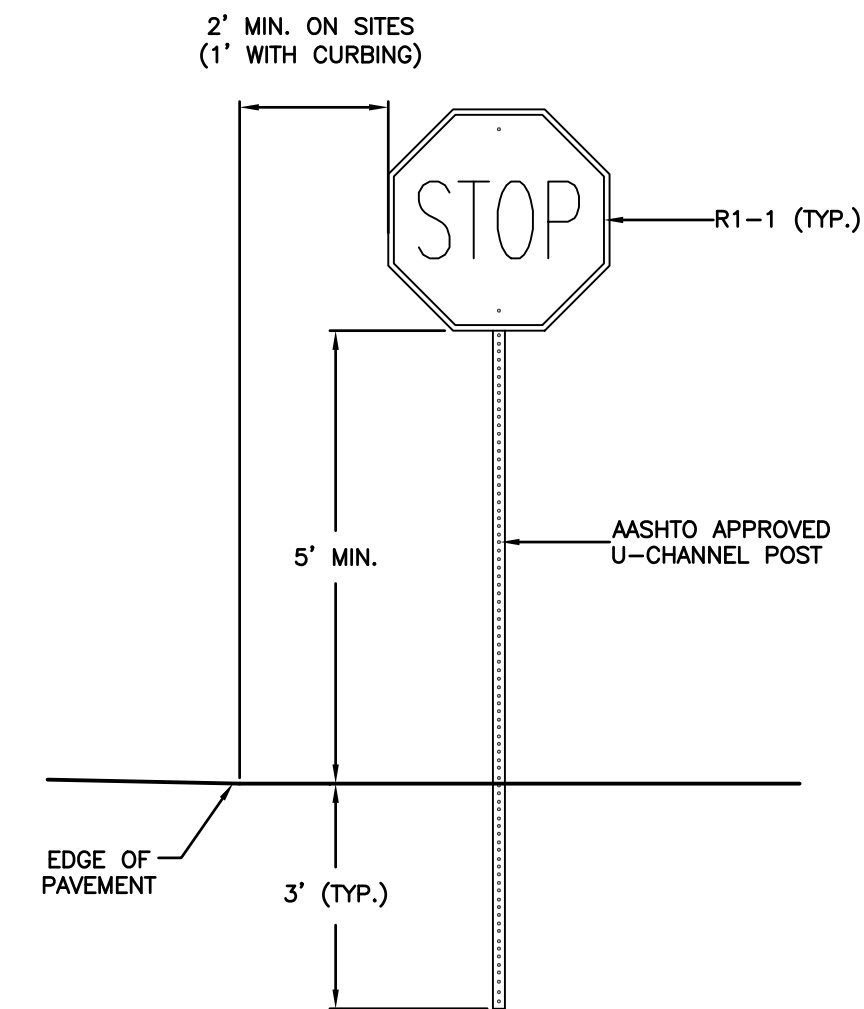


**STEEL BOLLARD DETAIL**  
NOT TO SCALE



- NOTES:
- PIPES MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4-FT. INSTALLATIONS DEEPER THAN 4-FT REQUIRE THE USE OF A TRENCH BOX.
  - PIPE MATERIALS SHALL BE AS SPECIFIED ON THE DESIGN PLAN.
  - SAND BLANKET MAY BE OMITTED FOR REINFORCED CONCRETE PIPE.

**WATER PIPE TRENCH INSTALLATION DETAIL**  
NOT TO SCALE

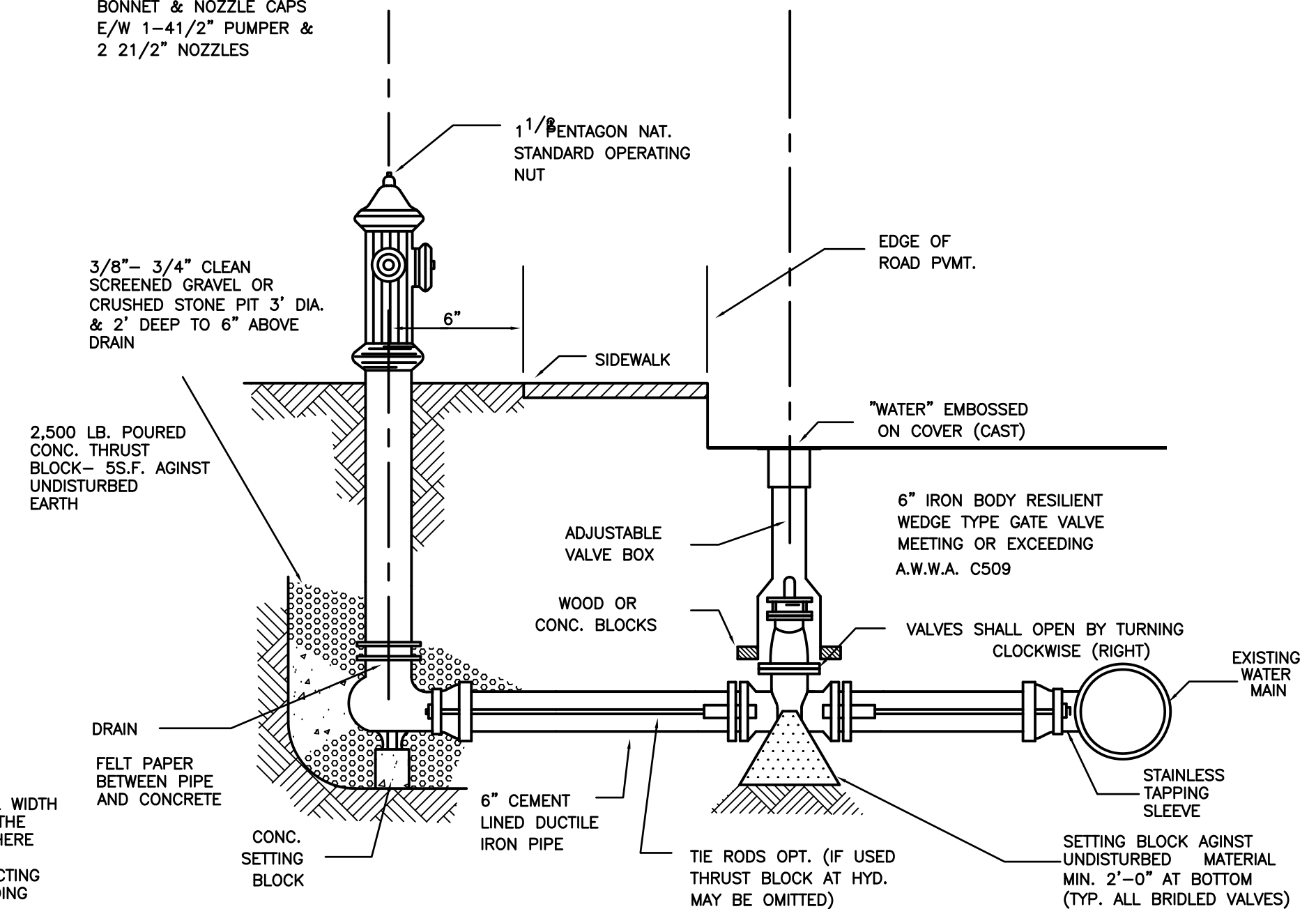


- NOTES:
- SIGN POST SHALL BE AASHTO APPROVED U-CHANNEL OR OTHER PER AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINARIES AND SIGNALS", LATEST EDITION.
  - SIGNS SHALL BE MOUNTED 5 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
  - SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 2 FT. FROM EDGE OF PAVEMENT UNLESS CURBED.

**TYPICAL TRAFFIC SIGN**  
NOT TO SCALE

HYDRANTS ARE TO BE KENNEDY GUARDIAN MODEL #K81A W/6\"/>

HYDRANTS TO BE OSHA RED W/WHITE FLOURESCENT BONNET & NOZZLE CAPS E/W 1-41/2\"/>



**TYPICAL HYDRANT SECTION**  
NOT TO SCALE

CONSTRUCTION DETAILS  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKYS INVESTMENT  
PROPERTIES LLC  
APRIL 2024

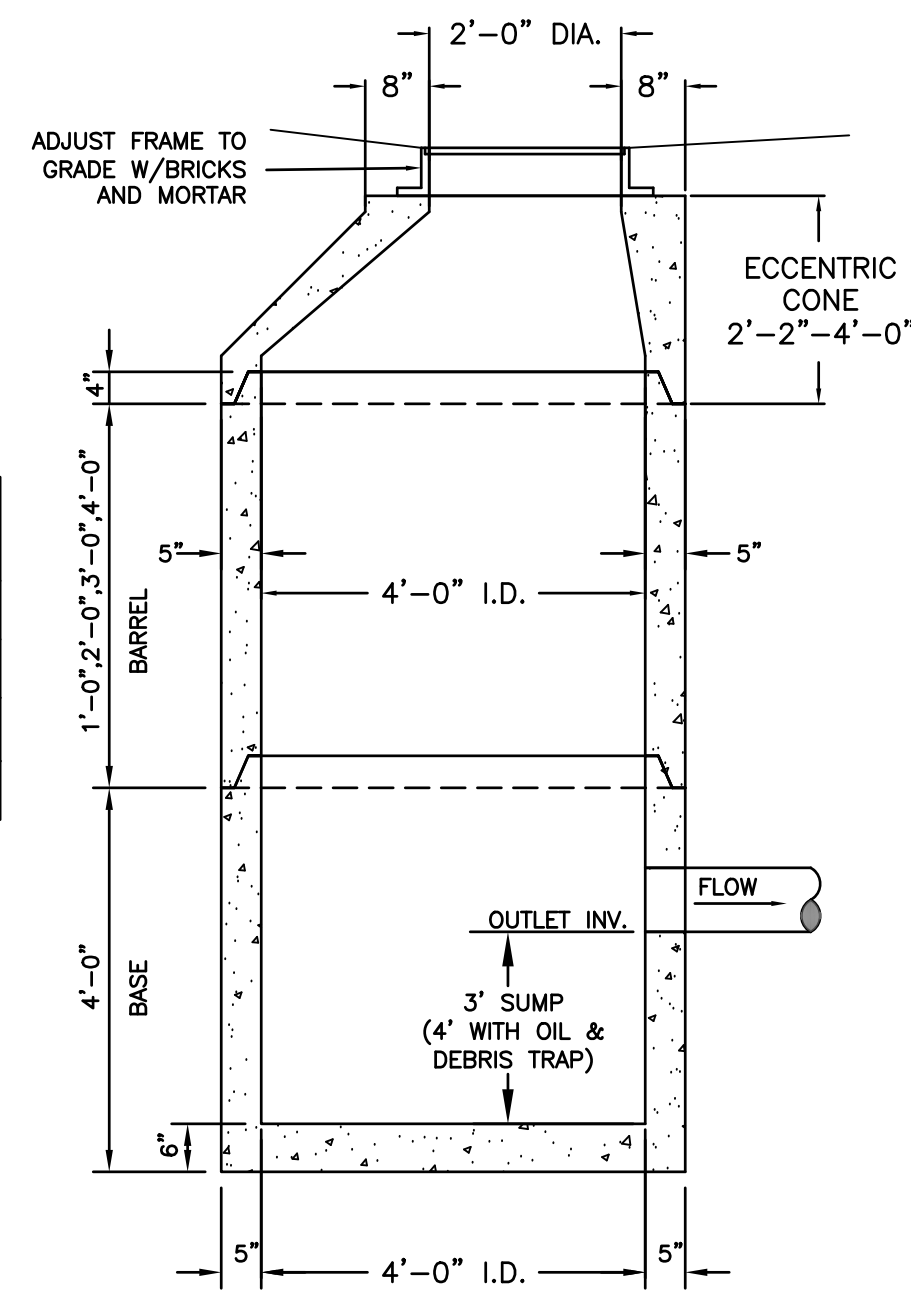




DRAIN LINE DIAMETER	SUM OF DRAIN LINE DIAMETER	CATCH BASIN DIAMETER
15" TO 18"	LESS THAN 54"	4'
21" TO 27"	LESS THAN 72"	5'
30" TO 33"	LESS THAN 90"	6'
36" & LARGER	GREATER THAN 90"	REFER TO THE STANDARD

**NOTES:**

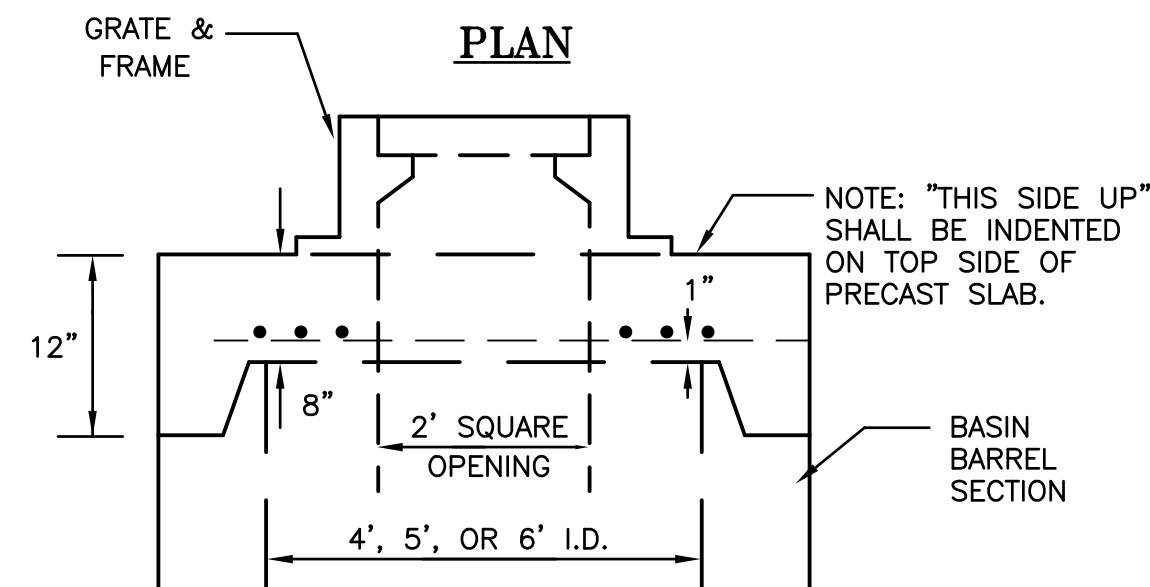
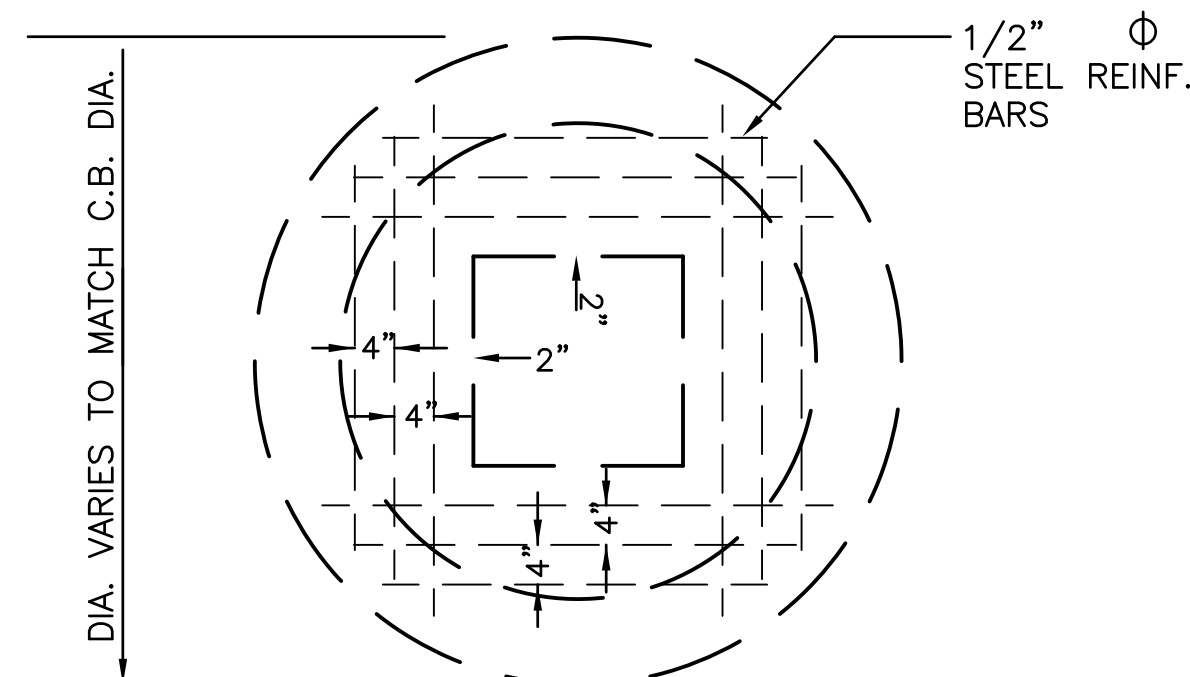
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
2. REINFORCING: SHALL BE PROVIDED FOR H-20 LOADING.
3. SHIELD JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
4. PIPE OPENINGS CAST IN AS REQUIRED.
5. RISER HEIGHT VARIES 1', 2', 3' OR 4' TO REACH DEEPER DEPTH.
6. PIPE CONNECTIONS SHALL BE MORTARED.
7. PRECAST SECTIONS SHALL CONFORM TO ASTM C-478.
8. SEE SLAB TOP DETAIL FOR STRUCTURES REQUIRING SURFLOPS, I.E. DOUBLE GRATE AND FRAME STRUCTURES.



SECTION VIEW

## PRE-CAST REINFORCED CATCH BASIN

NOT TO SCALE

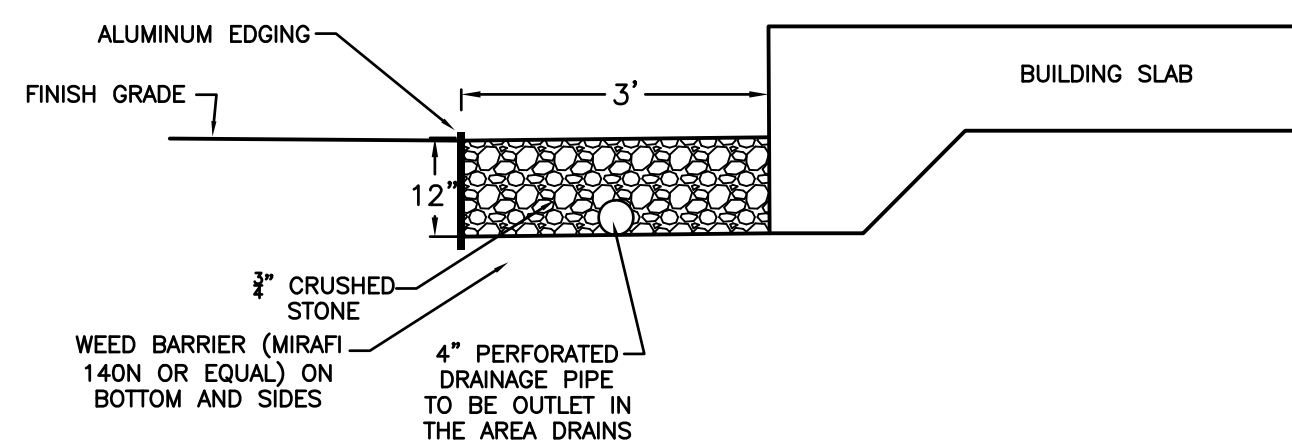
ELEVATION

NOTE:

1. SLAB TO BE PLACED IN LIEU OF TAPERED SECTION WHERE PIPE WOULD OTHERWISE ENTER INTO TAPERED SECTION OF THE STRUCTURE AND WHERE PERMITTED.
2. SLAB TOP MAY BE CASTED WITH MINIMUM OR NO INTERLOCKING CHANNEL. HOWEVER, THE CONTRACTOR MUST ENSURE THE SLAB TOP IS FIRMLY ATTACHED TO THE STRUCTURE.

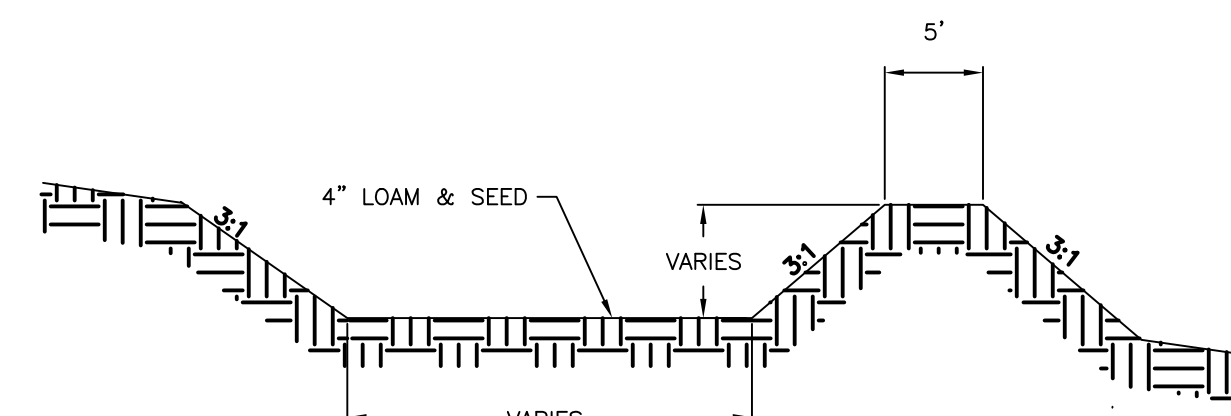
### REINFORCED CONCRETE SLAB COVER

NOT TO SCALE



## FOUNDATION AND DRIP EDGE DRAIN DETAIL

NOT TO SCALE



### INFILTRATION BASIN CROSS SECTION

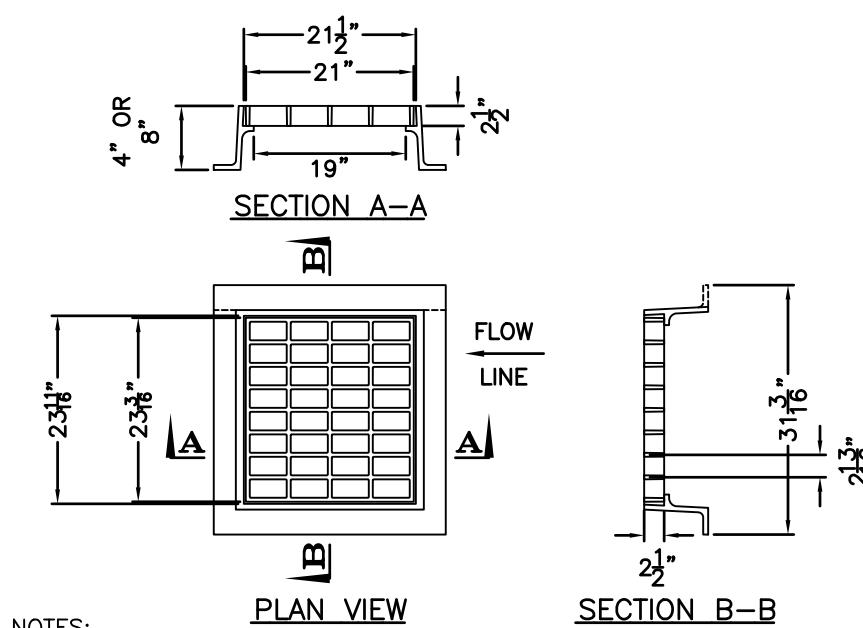
**INFILTRATION BASIN NOTES:**

**SPECIFICATIONS:**

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DGR.
4. VEGETATION SHALL BE ESTABLISHED IMMEDIATELY AFTER FINAL GRADING IS COMPLETED.
5. CONSTRUCT THE INFILTRATION BASIN TO THE GRADES DEPICTED ON THE PLAN AND CROSS-SECTION.
6. LOAM AND SEED ONLY THE SLOPES OF THE INFILTRATION BASIN AS PRESCRIBED IN THE "PERMANENT VEGETATION" NOTES FOUND ON SHEET 10-1.
7. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

**MAINTENANCE REQUIREMENTS:**

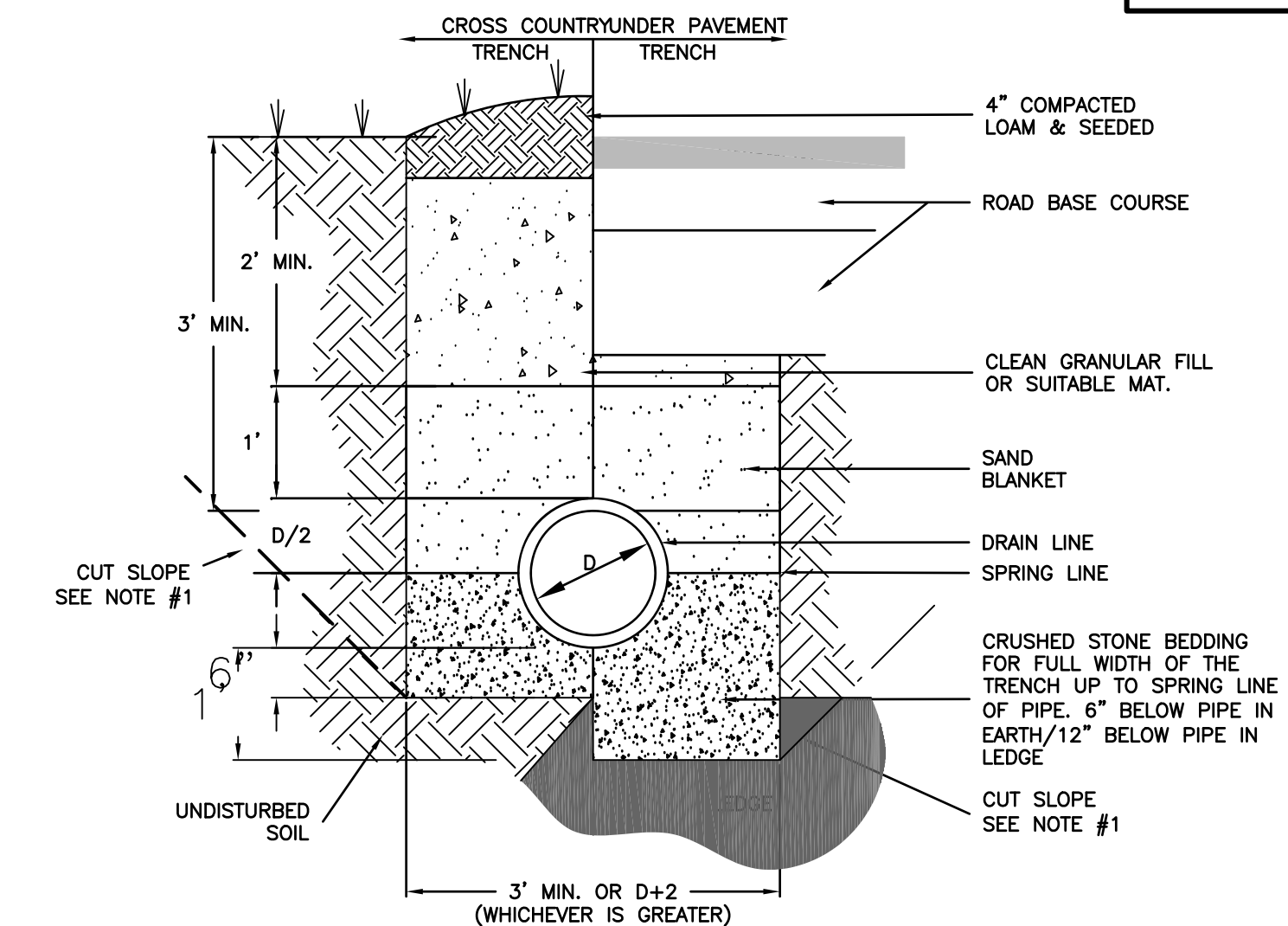
- MAINTENANCE REQUIREMENTS:**
1. INSPECT PRETREATMENT MEASURES (I.E. SEDIMENT FOREBAYS(S), HOODED CATCH BASINS, ETC.) AT LEAST TWICE A YEAR AND AFTER EVERY STORM GREATER THAN 2.5 INCHES OF RAIN OVER A 24-HOUR PERIOD.
  2. INSPECT INFILTRATION SURFACE BI-ANNUALLY, ONCE IN THE SPRING PRIOR TO MAY 15 AND ONCE IN THE FALL PRIOR TO OCTOBER 15.
  3. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT FROM INFILTRATION BASIN(S) WHENEVER THERE ARE 12-INCHES OR GREATER IN A 24-HOUR PERIOD.
  4. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION. REPAIR AREA OF REMOVAL AS NECESSARY TO RESTORE INFILTRATION CAPACITY.
  5. PERFORM MAINTENANCE AND REHABILITATION BASED ON INSPECTIONS.
  6. REMOVE DEBRIS (IF ANY) FROM INFILTRATION BASIN INLET BASED ON INSPECTION.
  7. CONDUCT PERIODIC MOWING OF THE INFILTRATION BASIN SLOPES AND EMBANKMENTS (MINIMUM TWICE A YEAR) TO ELIMINATE WOODY GROWTH FROM THE EMBANKMENTS AND BOTTOM. MOWING THE INFILTRATION BASIN EMBANKMENTS WHEN MOWING THE REST OF THE SITE IS RECOMMENDED.
  8. IF THE INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL (I.E. PROFESSIONAL ENGINEER OR CERTIFIED GEOTECHNICAL ENGINEER, ETC.) SHALL BE CONSULTED TO DETERMINE THE FACILITY'S CAPABILITY AND REPAIRS REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION SURFACE.



NOTES:

1. FRAME AND GRATE SHALL BE CAST IRON.
2. FRAME AVAILABLE IN 4" OR 8" HEIGHTS.
3. USE 3 FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB
4. ALL DIMENSIONS ARE NOMINAL.

**CATCH BASIN TYPE 'B'**  
**GRATE DETAIL**  
NOT TO SCALE

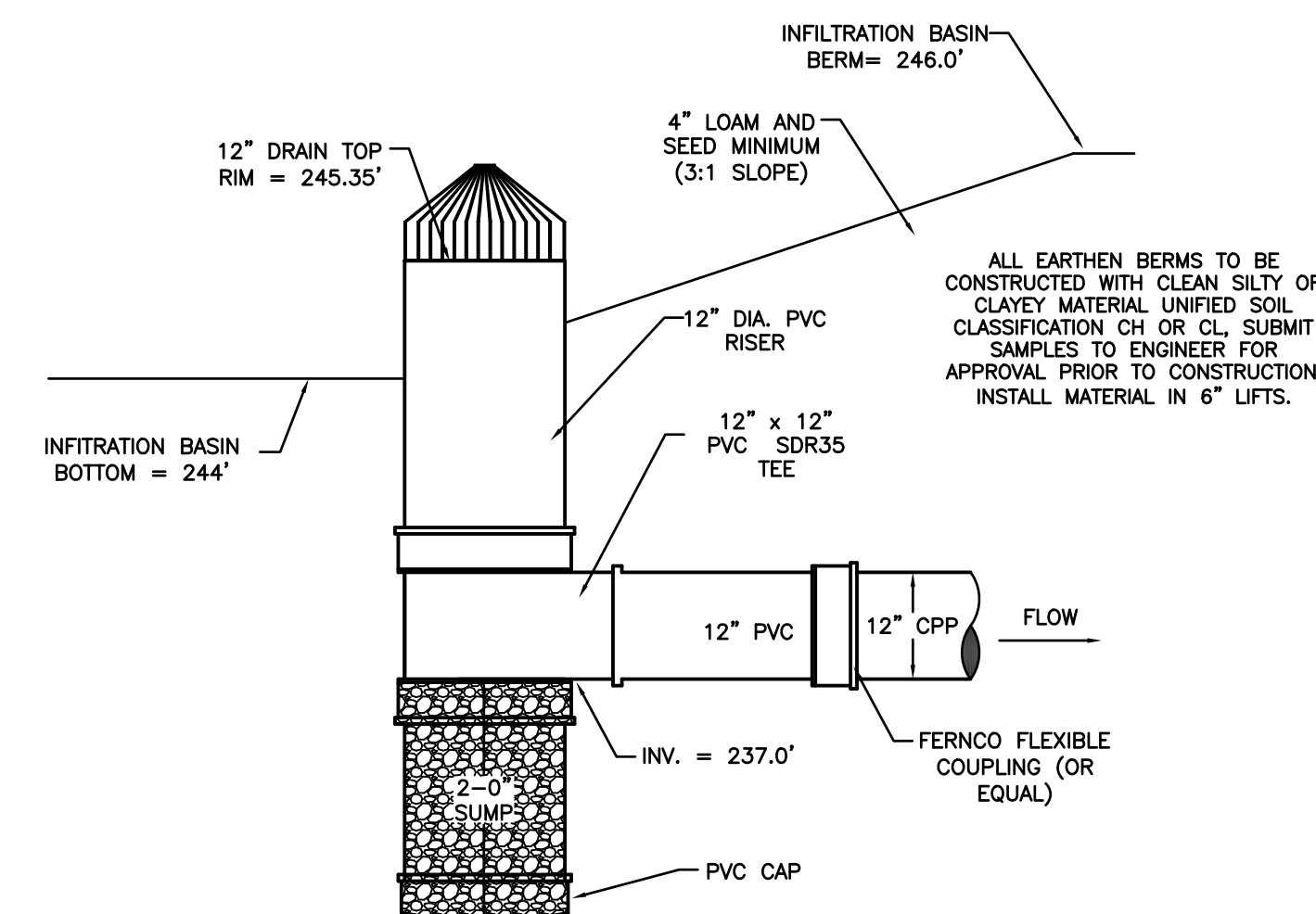


NOTES:

1. PIPES MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4-FT. INSTALLATIONS DEEPER THAN 4-FT REQUIRE THE USE OF A TRENCH BOX.
2. PIPE MATERIALS SHALL BE AS SPECIFIED ON THE DESIGN PLAN.
3. SAND BLANKET MAY BE OMITTED FOR REINFORCED CONCRETE PIPE.

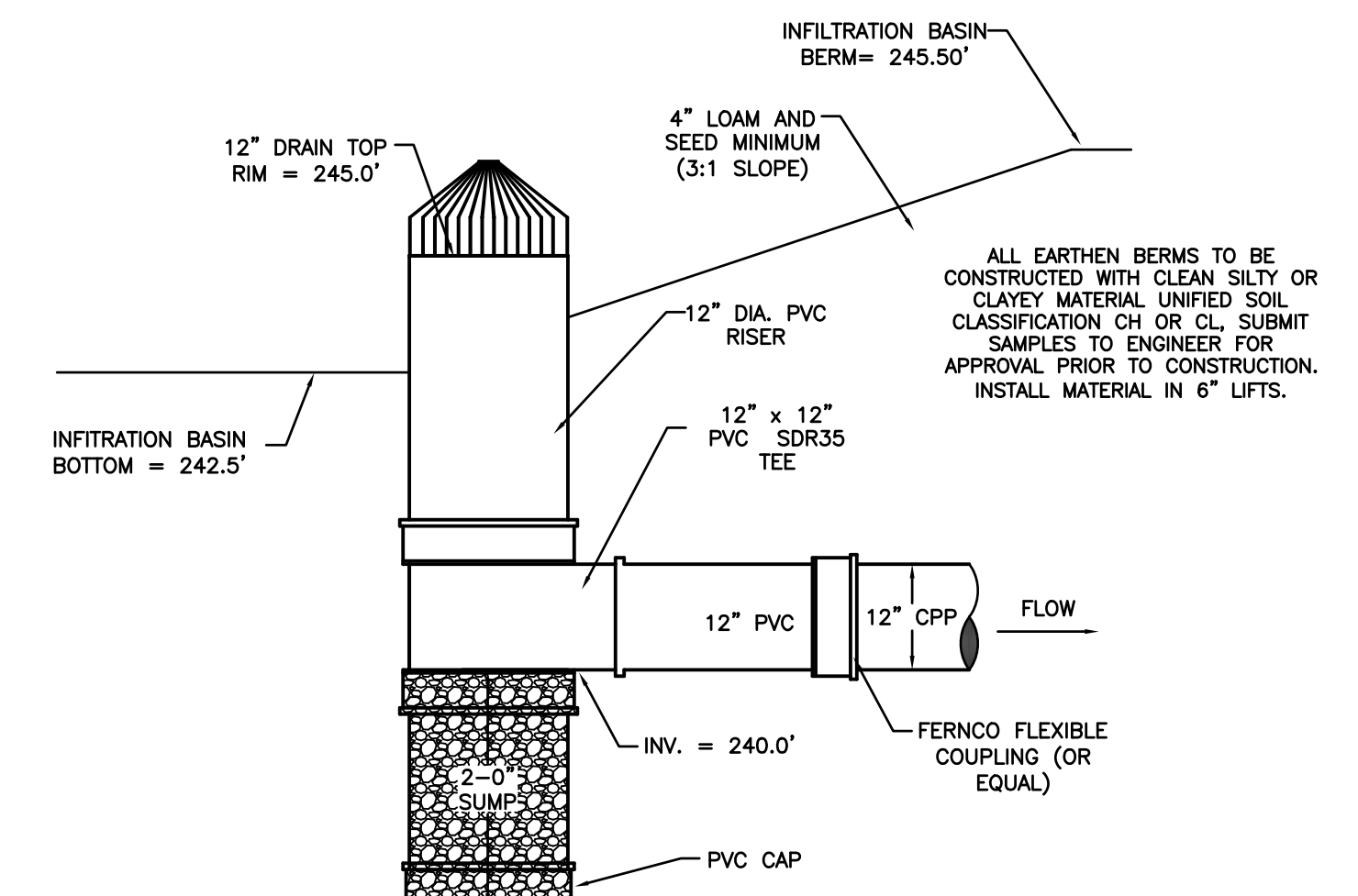
## **DRAINAGE PIPE TRENCH INSTALLATION DETAIL**

NOT TO SCALE



### INFILTRATION BASIN #1 OUTLET STANDPIPE DETAIL

NOT TO SCALE



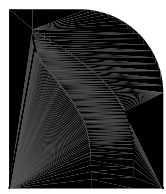
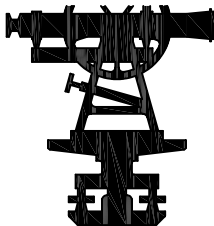
### INFILTRATION BASIN #2 OUTLET STANDPIPE DETAIL

NOT TO SCALE

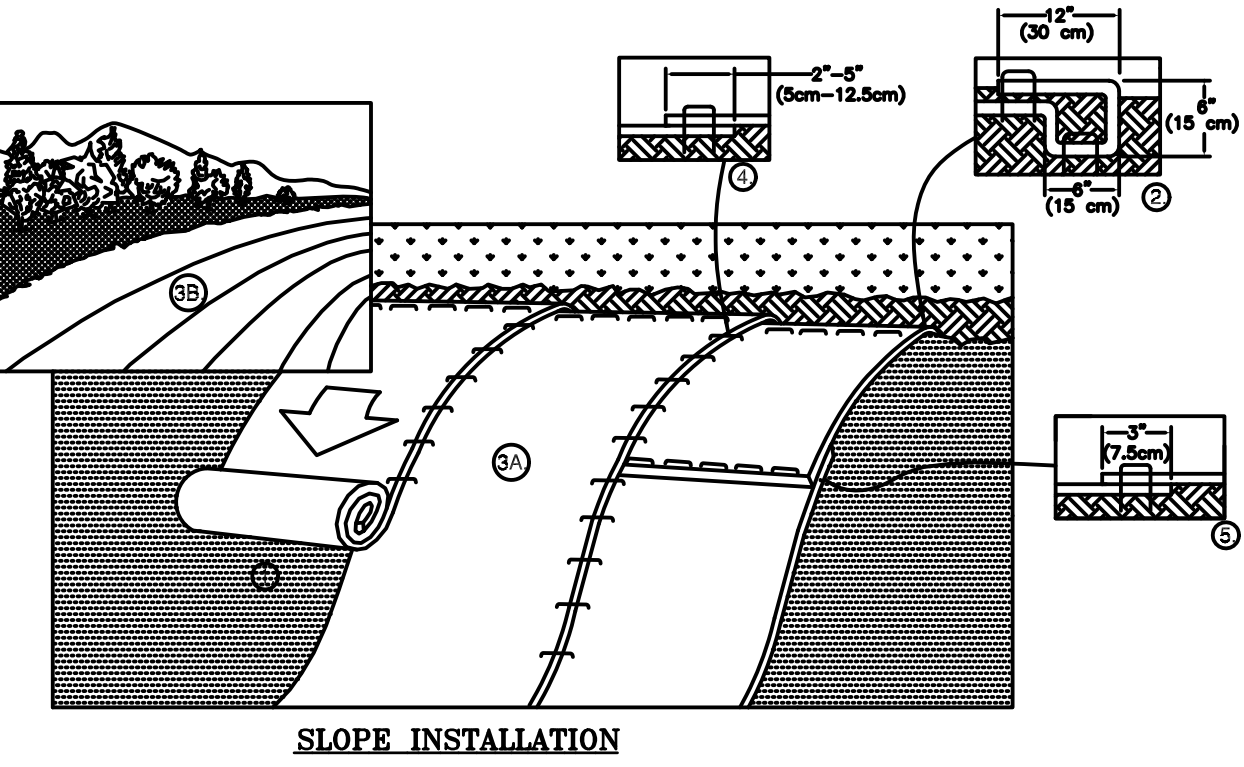
**DRAINAGE DETAILS**  
**TAX MAP 208, LOTS 18-1**  
**18 STERLING DRIVE**  
**ROCHESTER, NH**  
**PREPARED FOR:**  
**PACKYS INVESTMENT**  
**PROPERTIES LLC**

APRIL 2024

C-7 |



**NORTH AMERICAN GREEN**  
EROSION CONTROL PRODUCTS  
Guaranteed SOLUTIONS  
14640 HIGHWAY 41 NORTH  
EVANSVILLE, IN 47725  
800-772-2040  
www.nagreen.com



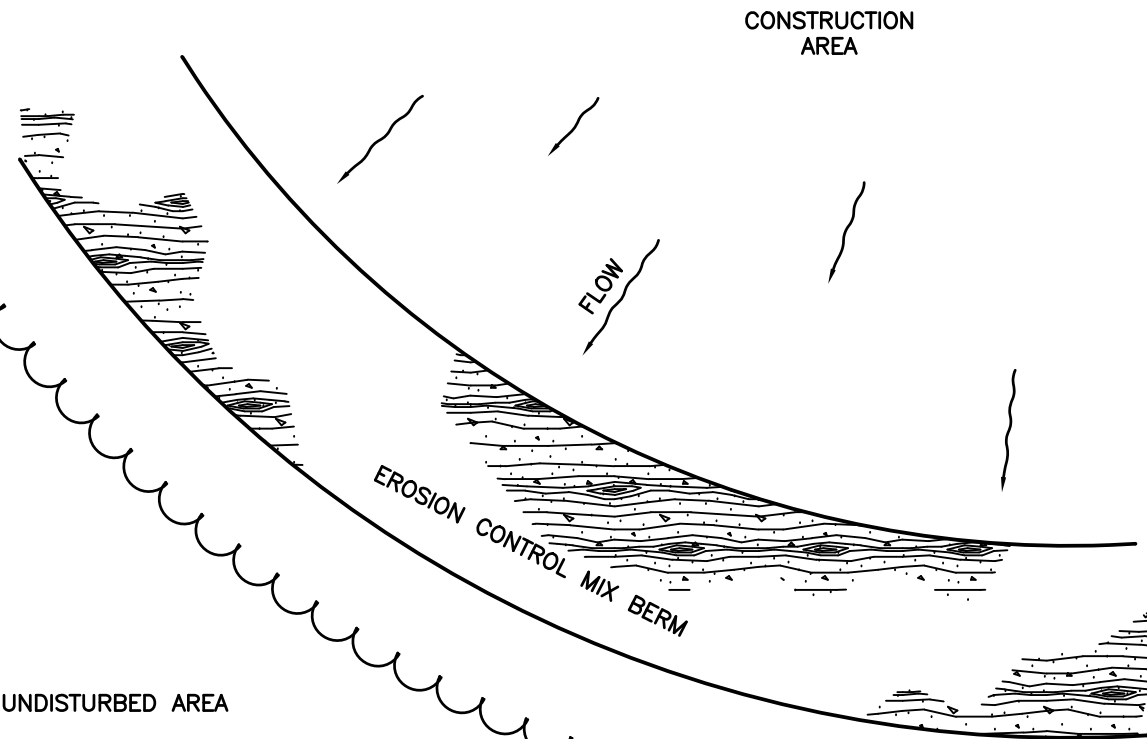
- MAINTENANCE REQUIREMENTS:**
1. ALL BLANKET AND MATS SHALL BE INSPECTED WEEKLY DURING THE CONSTRUCTION PERIOD, AND AFTER ANY RAINFALL EVENT EXCEEDING 1/2 INCH IN A 24-HOUR PERIOD.
  2. ANY FAILURE SHALL BE REPAIRED IMMEDIATELY. IF WASHOUT OF THE SLOPE, DISPLACEMENT OF THE MAT, OR DAMAGE TO THE MAT OCCURS, THE AFFECTED SLOPE SHALL BE REPAIRED AND RESEEDED, AND THE AFFECTED AREA OF MAT SHALL BE RE-INSTALLED.
- CONSTRUCTION SPECIFICATIONS:**
1. MANUFACTURE'S INSTALLATION INSTRUCTIONS:
    - A. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.  
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
    - B. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
    - C. ROLL THE RECP's (A), DOWN OR (B), HORIZONTALLY ACROSS THE SLOPE. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHALL BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
    - D. THE EDGES OF PARALLEL RECP's MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP's TYPE.
    - E. CONSECUTIVE RECP's SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP's WIDTH.  
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's.
  2. SITE PREPARATION:
    - A. PROPER SITE PREPARATION IS ESSENTIAL TO ENSURE COMPLETE CONTACT OF THE PROTECTION MATTING WITH THE SOIL. GRADE AND SHAPE AREA IF INSTALLATION.
    - B. REMOVE ALL ROCKS, CLODS, TRASH, VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS WILL HAVE DIRECT CONTACT WITH THE SOIL.
    - C. PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE.
    - D. INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.
  3. SEEDING:
    - A. SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND REVEGETATION. SEEDING AFTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATIONS. WHEN SEEDING PRIOR TO BLANKET INSTALLATION, ALL CHECK SLOTS AND OTHER AREAS DISTURBED DURING INSTALLATION MUST BE RESEDED.
    - B. WHEN SOIL FILLING IS SPECIFIED, SEED THE MATTING AND THE ENTIRE DISTURBED AREA AFTER INSTALLATION AND PRIOR TO FILLING THE MAT WITH SOIL.

### TEMPORARY EROSION CONTROL BLANKET DETAIL NOT TO SCALE

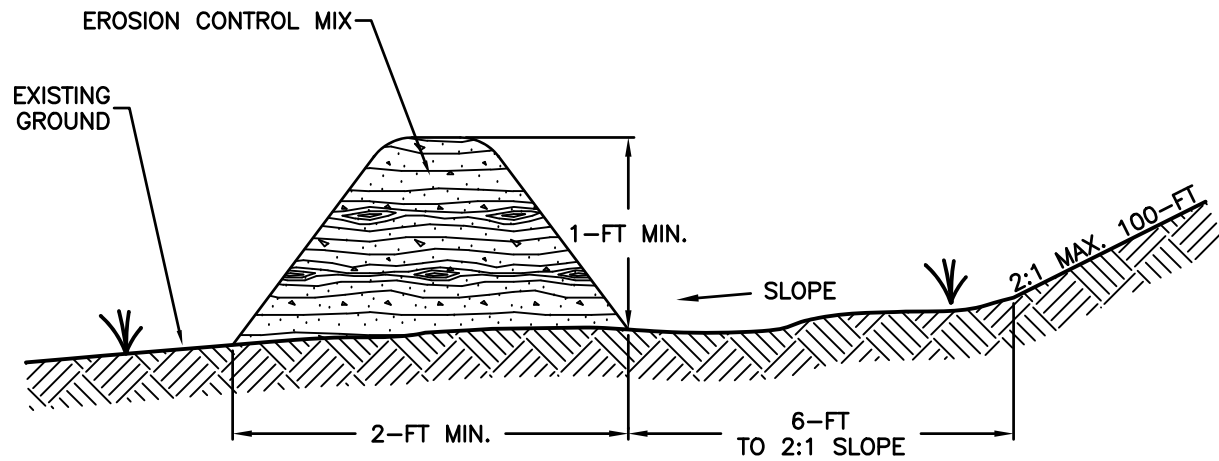
### TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYE GRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYE GRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
<b>SOURCES:</b> 1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1 2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)			

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1



### EROSION CONTROL MIX BERM CROSS-SECTION

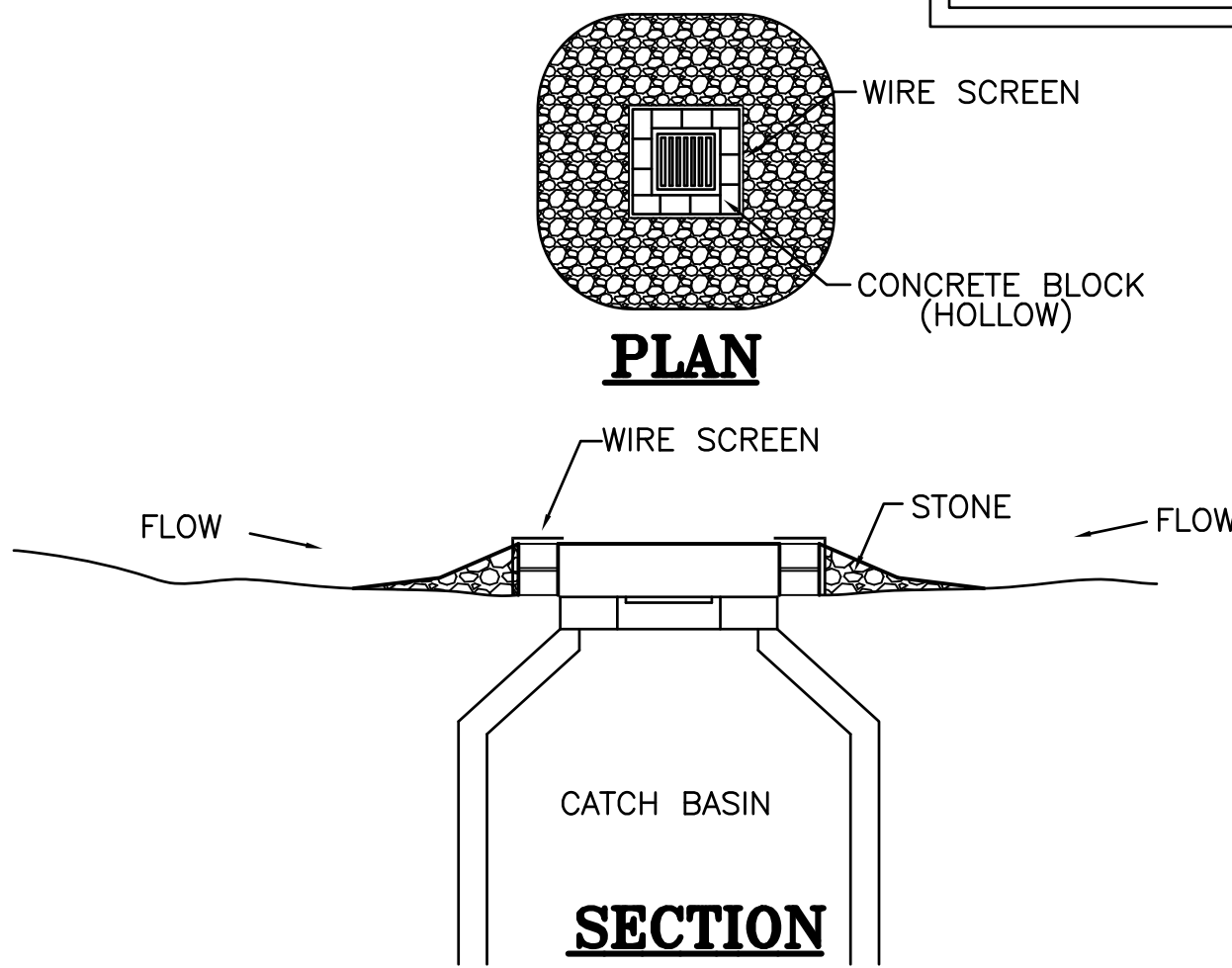


### EROSION CONTROL MIX BERM CROSS-SECTION

- MAINTENANCE REQUIREMENTS:**
1. EROSION CONTROL MIX BERMS SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
  2. EROSION CONTROL MIX BERMS SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM.
  3. IF THERE ARE SIGNS OF BREACHING OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, THE EROSION CONTROL MIX BERMS SHOULD BE REPLACED WITH OTHER MEASURES TO INTERCEPT AND TRAP SEDIMENT (SUCH AS A DIVERSION BERM DIRECTING RUNOFF TO A SEDIMENT TRAP OR BASIN).
  4. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT.
  5. SEDIMENT DEPOSITS MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) OF THE HEIGHT OF THE BARRIER.
  6. EROSION CONTROL MIX BERMS SHOULD BE RESHAPED OR REAPPLIED AS NEEDED.
  7. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

- CONSTRUCTION SPECIFICATIONS:**
1. EROSION CONTROL MIX CAN BE MANUFACTURED ON OR OFF OF THE PROJECT SITE.
  2. EROSION CONTROL MIX MUST CONSIST PRIMARILY OF ORGANIC MATERIAL, SEPARATED AT THE POINT OF GENERATION, AND MAY INCLUDE SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS.
  3. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS WILL NOT BE ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.
  4. COMPOSITION OF THE EROSION CONTROL MIX SHOULD BE AS FOLLOWS:
    - A. EROSION CONTROL MIX SHALL BE A WELL GRADED MIXTURE OF PARTICLE SIZES FREE OF REFUSE, PHYSICAL CONTAMINANTS, MATERIAL TOXIC TO PLANT GROWTH AND MAY NOT CONTAIN ROCKS LESS THAN 4-INCHES IN DIAMETER.
    - B. PARTICLES PASSING BY WEIGHT:  
SCREEN-PASSING BY WEIGHT:  
3-INCH 100%  
1-INCH 90-100%  
3/4-INCH 70-100%  
1/4-INCH 30-75%
    - C. THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
    - D. THE MIX SHOULD CONTAIN NO SILTS, CLAYS OR FINE SANDS.
    - E. SOLUBLE SALTS CONTENT < 4.0 mmhos/cm
    - F. pH OF THE MIX SHOULD BE BETWEEN 5.0 AND 8.0
  5. THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR.
  6. IT MAY BE NECESSARY TO CUT TALL GRASSES AND WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES IN THE BARRIER THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
  7. THE BARRIER MUST BE A MINIMUM OF 12-INCHES TALL AS MEASURED ON THE UPHILL SIDE OF THE BARRIER.
  8. THE BARRIER MUST BE A MINIMUM OF 2-FT WIDE.

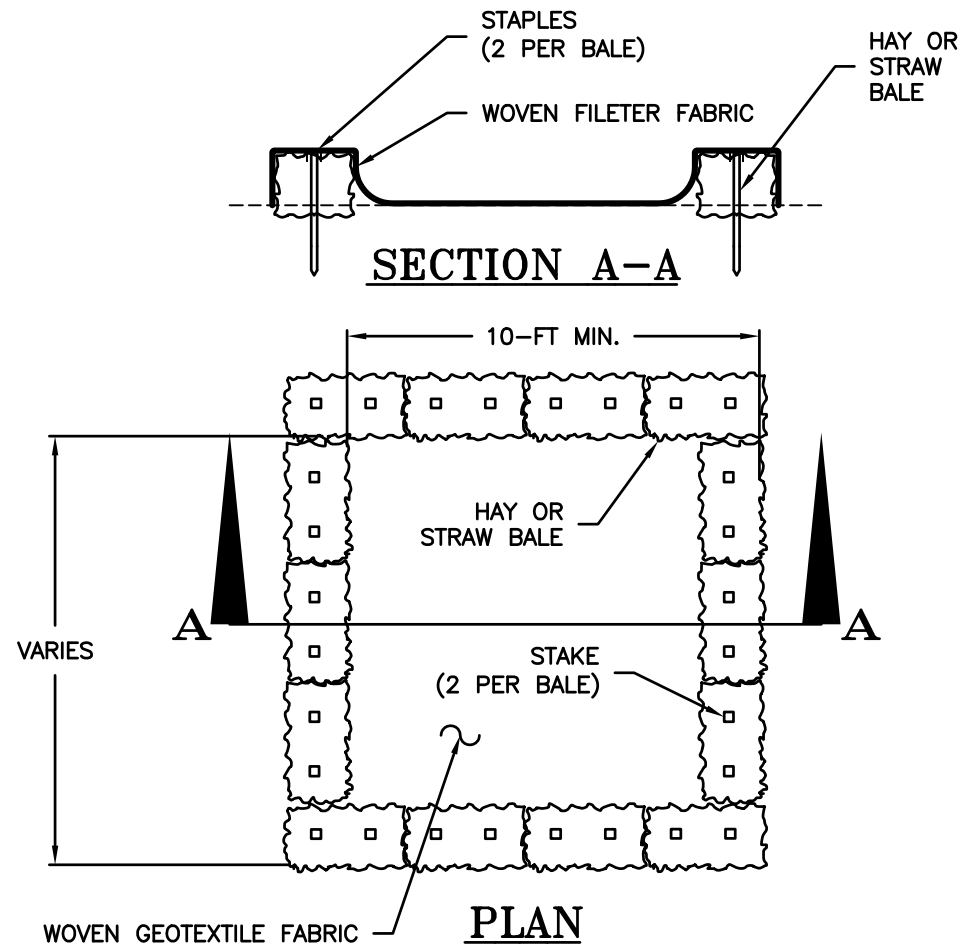
### EROSION CONTROL MIX BERM DETAIL NOT TO SCALE



### BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER NOT TO SCALE

- CONSTRUCTION SPECIFICATIONS:**
1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24 INCHES HIGH.
  2. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED.
  3. STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN IN FIGURE 16.7. STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 6 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
  4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

- MAINTENANCE:**
1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
  2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  3. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

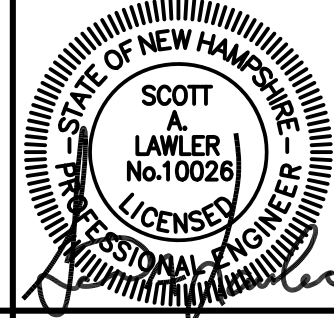


- CONSTRUCTION SPECIFICATIONS:**
1. THE DE-WATERING AREA WILL BE CONSTRUCTED BEFORE ANY PUMPING OCCURS AT THE SITE.
  2. TEMPORARY DE-WATERING AREA TYPE, ABOVE GRADE, WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 20-FT.
  3. THE DE-WATERING AREA WILL BE LOCATED AS SHOWN OR AS DIRECTED BY THE ENVIRONMENTAL CONSULTANT.
  4. GEOTEXTILE LINING WILL BE FREE OF TEARS, OR OTHER DEFECTS THAT COMPROMISE THE DURABILITY OF THE MATERIAL.

- MAINTENANCE NOTES:**
1. THE DE-WATERING AREAS(S) WILL BE INSPECTED DAILY TO ENSURE THAT ALL SEDIMENT IS BEING DISCHARGED INTO THE HAYBALE DAM AREA, NO TEARS ARE PRESENT AND TO IDENTIFY WHEN SEDIMENT NEED OT BE REMOVED.
  2. THE DE-WATERING AREA(S) WILL BE CLEANED OUT ONCE THE AREA IS FILLED TO 75 PERCENT OF ITS HOLDING CAPACITY.
  3. ONCE THE HOLDING CAPACITY HAS BEEN REACHED THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATION.
  4. THE GEOTEXTILE LINING WILL BE REPLACED IF TEARS OCCUR DURING REMOVAL OF SEDIMENT FROM THE DE-WATERING AREA.

### CONCRETE WASHOUT DETAIL NOT TO SCALE

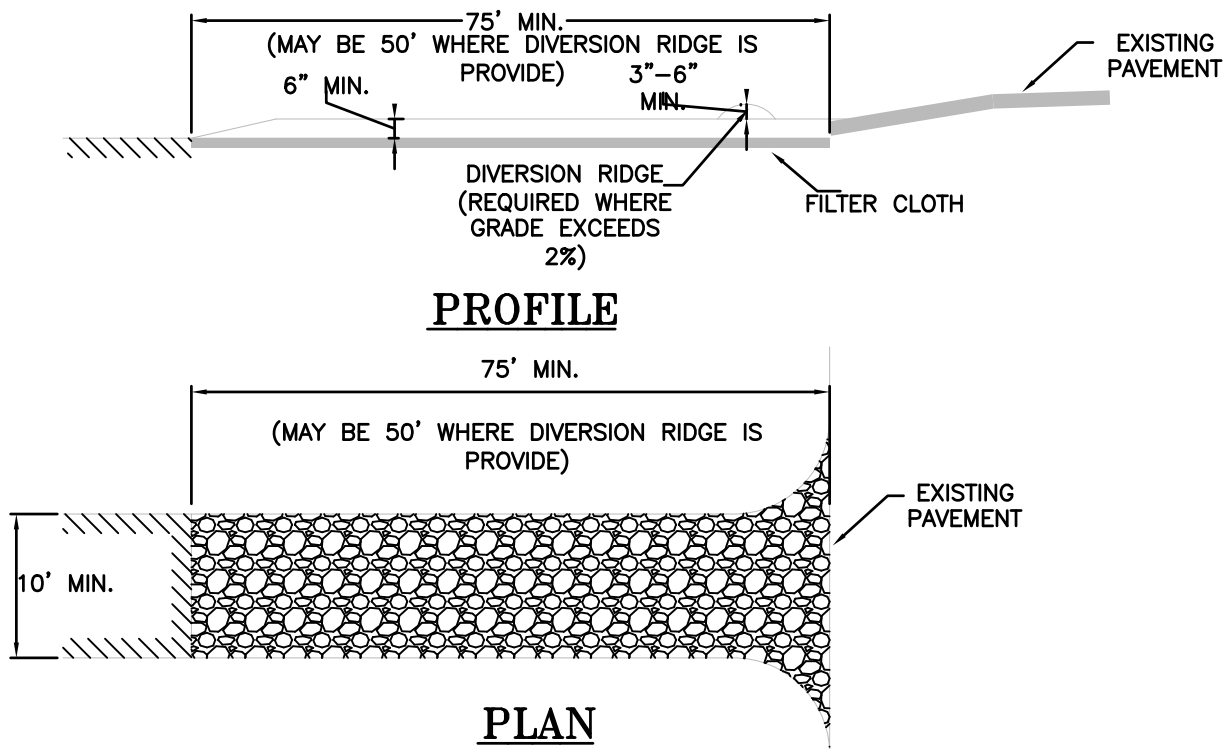
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



### TEMPORARY VEGETATION:

- SPECIFICATIONS:**
- SITE PREPARATION:**
1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
  2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
  3. RUNOFF SHALL BE DIVERTED FROM THE SEEDBED AREA.
  4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.
- SEEDING PREPARATION:**
1. STONES AND TRASH SHALL BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
  2. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
  3. IF APPLICABLE, FERTILIZER AND ORGANIC AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
  4. APPLY LIME AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:  
LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)\*  
\*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE  
FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)\*  
\*LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT
- SEEDING:**
1. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
  2. TEMPORARY SEED SHALL TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
  3. AREAS SEEDS BETWEEN AUGUST 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH. ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
  4. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.

- MAINTENANCE REQUIREMENTS:**
1. TEMPORARY SEEDING SHALL BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHALL BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
  2. BASED ON INSPECTION, AREAS SHALL BE RESEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED.
  3. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEDED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.



### TEMPORARY CONSTRUCTION EXIT NOT TO SCALE

- MAINTENANCE REQUIREMENTS:**
1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHALL THEN BE RECONSTRUCTED.
  2. THE CONTRACTOR SHALL SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
  3. WHEN WHEEL WASHING IS REQUIRED, IT SHALL BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

- CONSTRUCTION SPECIFICATIONS:**
1. THE MINIMUM STONE USED SHALL BE 3-INCH CRUSHED STONE.
  2. THE MINIMUM LENGTH OF THE PAD SHALL BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
  3. THE PAD SHALL BE THE FULL WIDTH OF CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
  4. THE PAD SHALL SLOPE AWAY FROM THE EXISTING ROADWAY.
  5. THE PAD SHALL BE AT LEAST 6 INCHES THICK.
  6. THE GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
  7. THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE AND SOIL PARTICLES ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
  8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHALL BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

**TEMPORARY EROSION AND  
SEDIMENTATION CONTROL**  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
**PACKYRS INVESTMENT  
PROPERTIES LLC**  
APRIL 2024



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

PROPOSED LIGHTING LAYOUT

INTERSECTION OF HIGHWAY 101 AND HIGHWAY 102

PROPERTY LINE

EXISTING OVERHEAD WIRES

EXISTING LIGHT POLES

PROPOSED BUILDING

PROPOSED PAVEMENT

PROPOSED PAVEMENT WITH CURBING

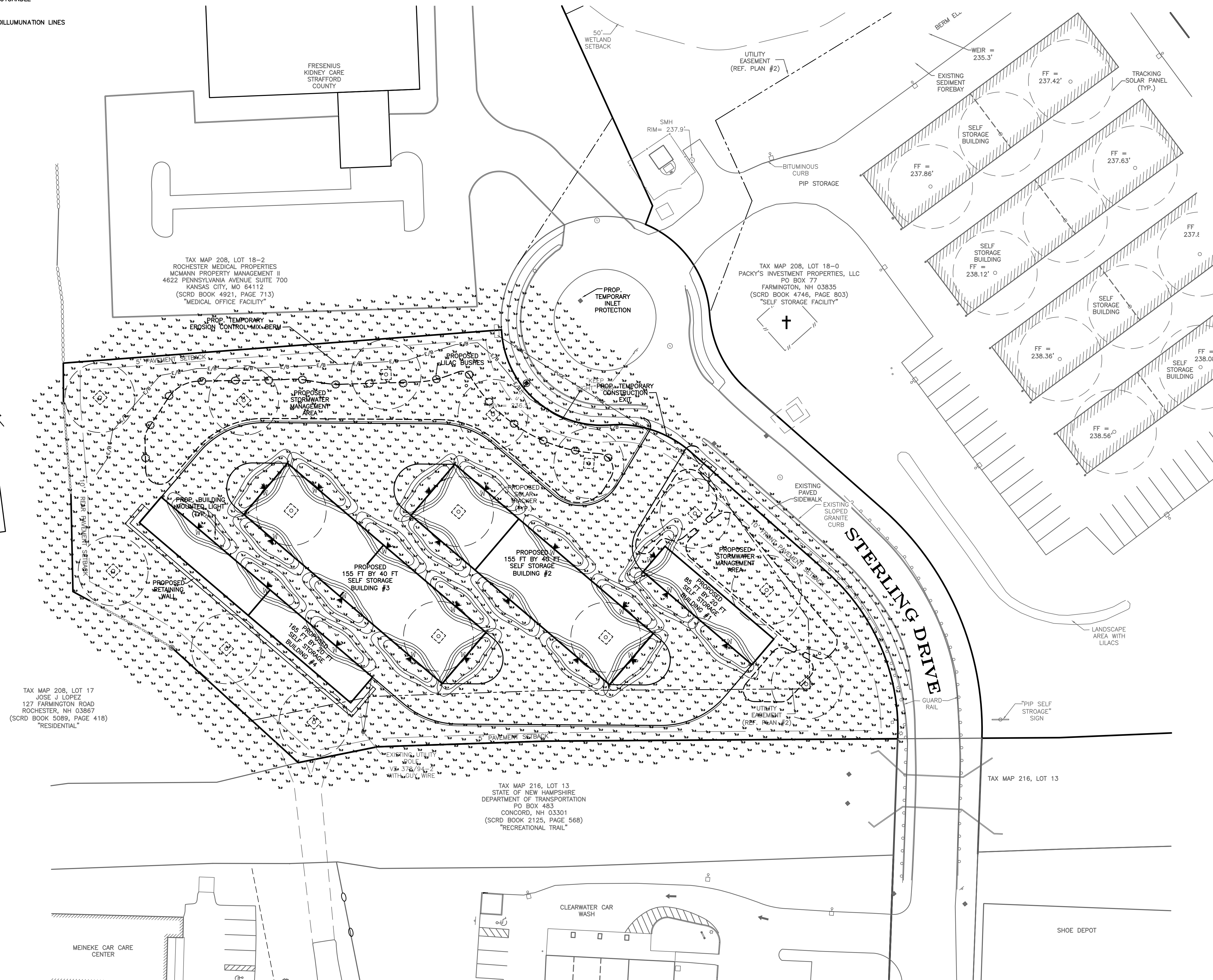
PROPOSED BUILDING LIGHT FIXTURES

PROPOSED LIGHT FOOTCANDLE

PROPOSED LIGHT ISOILLUMINATION LINES

4.2

Luminaire Schedule					
Symbol	Label	Qty	Arrangement	Description	Tag
◀	W	22	SINGLE	MULE: MERU-LED-AC-DB	WALL MTD 8' AFG



MERU SERIES  
ACEM MODEL  
WALL MOUNTED FIXTURE

FILE NO. 104  
PLAN NO. C-2780  
DWG. NO. 15225/SP-1  
F.B. NO.

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

L-1 |



LEGEND

- PROPERTY LINE
- EASEMENT
- EXISTING STONEWALLS
- EXISTING OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT WITH CURBING

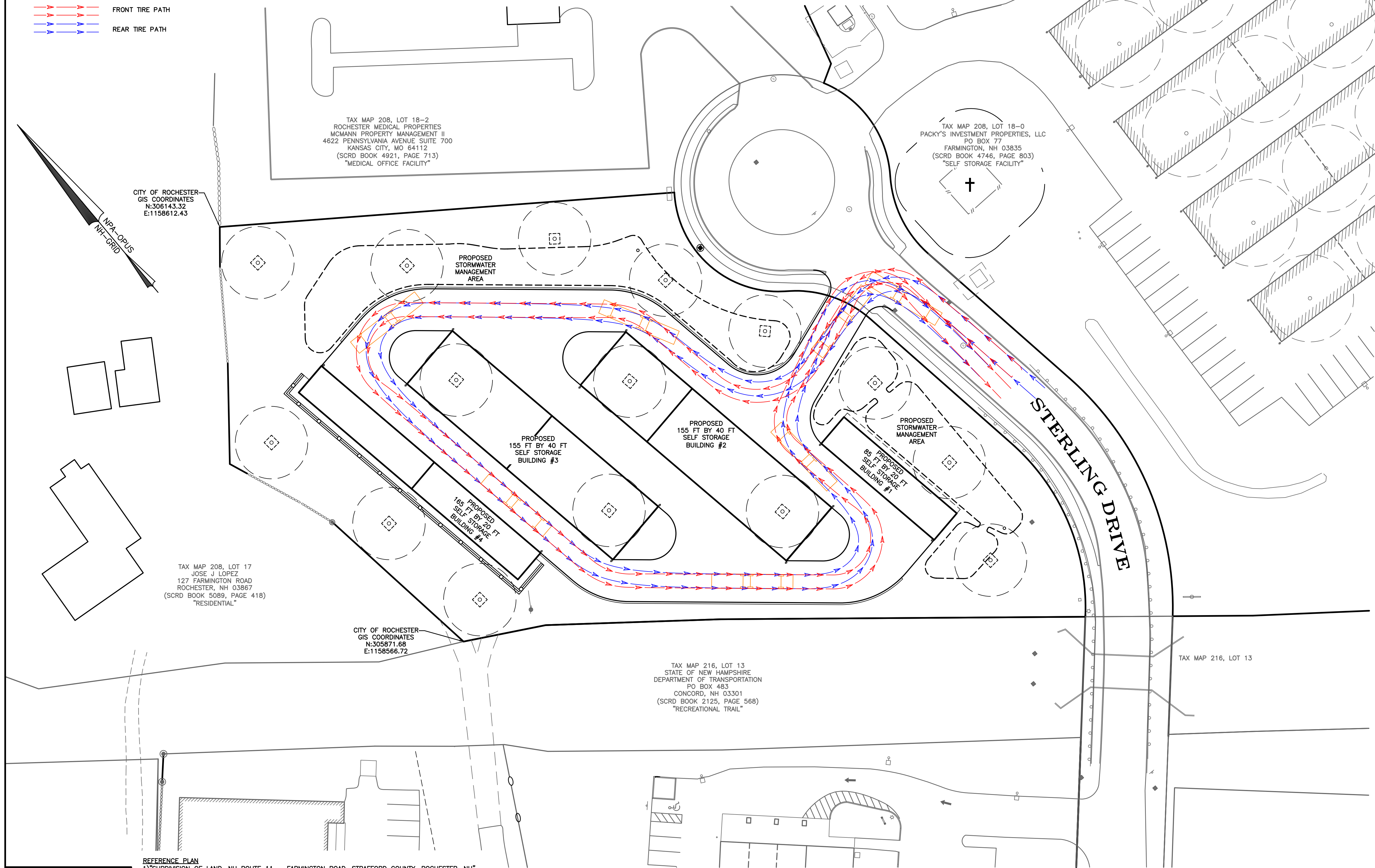
LADDER TRUCK TURNING PLAN

- LADDER TRUCK (AERIAL TOWER - 236" wb)
- FRONT TIRE PATH
- REAR TIRE PATH

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

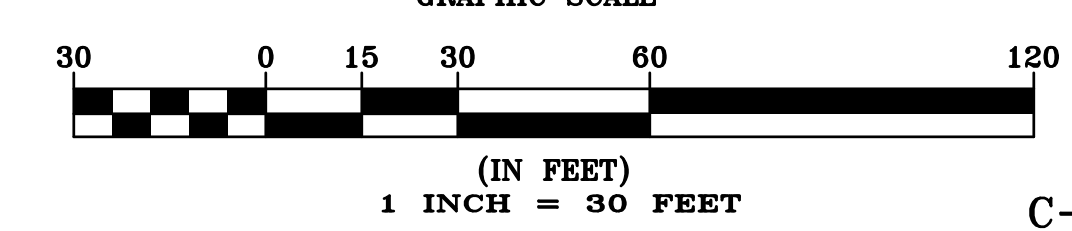
SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.



TRUCK TURNING PLAN  
TAX MAP 208, LOTS 18-1  
18 STERLING DRIVE  
ROCHESTER, NH  
PREPARED FOR:  
PACKY'S INVESTMENT  
PROPERTIES LLC

APRIL 2024  
GRAPHIC SCALE



REFERENCE PLAN  
1) "SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH" FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 94-28.  
2) "EASEMENT PLAN - SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH" FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 94-28.

FILE NO. 116  
PLAN NO. C-3077  
DWG. NO. 19273/SP-1

## **Site Plan Checklist** (residential and nonresidential)

*\*To be filled out by applicant/agent (with notes to be inserted by staff)*

See regulations for other specific requirements  
City of Rochester Planning & Development Department

Project Name: Proposed Self-Storage Facility Map: 208 Lot: 18-1 Date: 4/22/24

Applicant/agent: Norway Plains Associates Signature: Hilary Bodg

(Staff review by: \_\_\_\_\_ Date: \_\_\_\_\_)

### **General items**

	Yes	No	N/A	Waiver Requested	Comments
<u>4</u> sets completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Total application fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>4</u> copies of narrative	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>3</u> sets of full-size plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>2</u> sets of 11 X 17 reductions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Completed abutters list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Copy of existing covenants, easements, deed restrictions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

### **Plan Information**

Basic information including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Title sheet					
• Name of Project					
• Date					
• North arrow					
• Scale					
• Legend					
• Revision block					
• Vicinity sketch -not less than 1" = 1,000'					
Name and address of developer/applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Name, stamp, and NH license # of land survey, engineer, and/or architect	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
City tax map & lot #'s	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Notation on plans: "For more information about this site plan contact...."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

### **General items Continued**

	Yes	No	N/A	Waiver Requested	Comments
Approval block (for signature by staff attesting to Planning Board approval)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
References to neighboring plans and subdivisions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Surveyed property lines including: <ul style="list-style-type: none"><li>• existing and proposed bearings</li><li>• existing and proposed distances</li><li>• pins, stakes, bounds</li><li>• monuments</li><li>• benchmarks</li></ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Include error of closure statement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Information on abutting properties: <ul style="list-style-type: none"><li>• owner name</li><li>• owner address</li><li>• tax map and lot #</li><li>• square footage of lots</li><li>• approximate building footprints</li><li>• use</li></ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

### **Zoning**

Zoning designations of subject tract and in vicinity of tract	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning requirements for district: <ul style="list-style-type: none"><li>• frontage</li><li>• lot dimensions/density</li><li>• all setbacks</li><li>• lot coverage</li></ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning overlay districts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

### **Existing Topographic Features:**

Contour lines a (not to exceed two-foot Intervals, except on steep slopes) and spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Soil types and boundaries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>all one soil type</u>
Soil test pit locations, profiles, and Depth to water table and ledge	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Percolation test locations and results	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

**Existing Topographic Features Continued:**

	Yes	No	N/A	Waiver Requested	Comments
Water features (ponds, streams)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Wetlands including name of certified Wetlands scientist who delineated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Statement whether located in flood area, And if so, 100 year flood elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Delineation of trees and open areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Overview of types of trees and vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Stone walls and archaeological features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Locations of trails and paths	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

**Building Information**

Existing buildings/structures including square footage and use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Proposed building/structures including <ul style="list-style-type: none"><li>• square footage</li><li>• first floor elevation</li><li>• use</li><li>• # bedrooms per unit if residential</li></ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Elevation drawing of proposed buildings and structures as follows: <ul style="list-style-type: none"><li>• Showing all four sides</li><li>• Drawn to scale with dimensions</li><li>• Showing exterior materials</li><li>• Showing exterior colors</li></ul>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

**Circulation and Parking Plans**

Existing and proposed driveways and access points including: <ul style="list-style-type: none"><li>• Width of opening</li><li>• Turning radii</li><li>• Cross section of driveway</li></ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Curbing & edge treatment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Traffic control devices, if appropriate:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____



**Circulation and Parking Plans Continued:**

	Yes	No	N/A	Waiver Requested	Comments
Number of parking spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
• required by ordinance					
• proposed					
Parking layout and dimensions of spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Handicap spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Loading area	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Pedestrian circulation plan (including existing sidewalks in vicinity, if any)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Bicycle rack, if appropriate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Buffers, landscaping & screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Snow storage areas/plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**Utilities**

Show all pertinent existing and proposed profiles, elevations, materials, sizes, and details

Water lines/well (with protective radius)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sewer lines/septic and leaching areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Pump stations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire hydrant location(s) and details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Electric, telephone, cable TV (underground or overhead)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Gas lines	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Fire alarm connections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Treatment of solid waste (dumpsters?)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Handling of oil, grease, chemicals hazardous materials/waste	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	



## **Landscaping Plan**

	Yes	No	N/A	Waiver Requested	Comments
Demarcation of limits of construction, clear delineation of vegetation to be saved, and strategy for protecting vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Proposed ground cover, shrubbery, and trees including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> <li>• botanical and common names</li> <li>• locations and spacing</li> <li>• total number of each species</li> <li>• size at installation</li> </ul>					
Planting plan (size of holes, depth of planting, soil amendments, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Irrigation: system? soaker hose? Manual? underground, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fencing/screening	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b><u>Signage</u></b>					
Location and type of signs:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> <li>• Attached to building</li> <li>• Freestanding</li> <li>• Directional, if appropriate</li> </ul>					Using existing sign on 17 step ling
Dimensions of signs:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<ul style="list-style-type: none"> <li>• Height</li> <li>• Area</li> <li>• Setback</li> </ul>					
Elevation drawings with colors & materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Type of Illumination, if proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

### **Outdoor Lighting**

	Yes	No	N/A	Waiver Requested	Comments
Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Height of fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Wattage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Type of light (high pressure sodium, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Design/cut sheets of fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Illumination study, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

### **Other Elements**

Traffic study, if appropriate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Drainage study with calculations, storm Water impact analysis, and mitigation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Grading plan (including finish grades)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Earth being removed from site(in cubic yards)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Erosion and sedimentation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Proposed covenants, easements, And deed restrictions, if any	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Fiscal impact study, if requested	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

### **Additional Comments:**

---

---

---

---

---

---

---

---

---

---

E-Doc # 210020746  
Book 4965 Page 915

10/13/2021 11:55:32 AM  
Page 1 of 3

Catherine A. Berube  
Register of Deeds, Strafford County  
LCHIP STA187596 25.00  
TRANS TAX ST856224 2,850.00

**WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, that **RAVEN REALTY, LLC**, a New Hampshire Limited Liability Company having a mailing address of P.O. Box 8, Waitsfield, Vermont 05673 for consideration paid, grants to **PACKY'S INVESTMENT PROPERTIES, LLC**, New Hampshire Limited Liability Company having a mailing address of P.O. Box 77, Farmington, NH 03835

**WITH WARRANTY COVENANTS**, the following described premises:

A certain parcel of land situate in the City of Rochester, County of Strafford, State of New Hampshire, more particularly shown as "Lot 208-18-1" on that certain plan entitled "Subdivision of Land NH Route 11 ~ Farmington Road Strafford County Rochester, NH for: Raven Realty, LLC" dated May 20, 2008 as prepared by Norway Plains Associates, Inc. and recorded at the Strafford County Registry of Deeds on May 23, 2008 as Plan Drawer 94, Page 28 ("**the Plan**"), more particularly described as follow:

Beginning at a point at the southeasterly corner of the herein described lot on the westerly side of Sterling Drive, so-called;

Thence turning and running N 50° 23' 14" W a distance of 209.12 feet to a point as shown on the Plan;

Thence continuing N 51° 56' 12" W a distance of 100.00 feet to a point;

Thence continuing N 61° 18' 21" W a distance of 47.96 feet to a point at the southwesterly corner of the herein described lot and the southeasterly corner of lot 208-17 as shown on the Plan;

Thence turning and continuing along said lot 208-17 N 07° 41' 37" W a distance of 101.54 feet to a monument set in a stone wall;

Thence continuing along said lot 208-17 and along said stone wall N 18° 31' 14" W a distance of 20.79 feet to a monument set in the stone wall;

Thence continuing along said lot 208-17 and along said stone wall N 21° 16' 48" W a distance of 35.43 feet to a drill hole set at the end of the stone wall;

Thence continuing along said lot 208-17 N 21° 16' 48" W a distance of 11.38 feet to a point;

Thence turning and running along said lot 208-17 N 38° 50' 01" E a distance of 57.68 feet to a monument set in a stone wall as shown on the Plan;

Thence continuing along said lot 208-17 and along said stone wall N 35° 22' 42" E a distance of 55.30 feet to a drill hole set at the end of the stone wall as shown on the Plan;

Thence continuing along said lot 208-17 N 39° 45' 13" E a distance of 22.98 feet to a monument set at the northwesterly corner of the herein described lot and the southwesterly corner of lot 208-18-2 as shown on the Plan;

Thence turning and running along said lot 208-18-2 S 54° 40' 36" E a distance of 261.08 feet to a point on the cul de sac on Sterling Drive as shown on the Plan;

Thence continuing along the cul de sac on a curve to the left having a radius of 62.00 feet for a length of 95.70 feet to a point on the cul de sac on Sterling Drive as shown on the Plan;

Thence continuing along the cul de sac on a curve to the right having a radius of 65.00 feet for a length of 50.91 feet to a point on the westerly sideline of Sterling Drive as shown on the Plan;

Thence continuing along Sterling Drive S 08° 34' 56" E a distance of 107.69 feet to a point;

Thence continuing along Sterling Drive on a curve to the right having a radius of 125.00 feet for a length of 110.50 feet to a point;

Thence continuing S 42° 04' 08" W a distance of 0.96 feet to the point of beginning.

SUBJECT TO AND WITH THE BENEFIT OF all terms, conditions and restrictions shown on the Plan.

Meaning and intending to describe and convey a portion of premises conveyed to Raven Realty, LLC by Warranty Deed of Charles E. Dutton and JoAnn Dutton dated September 19, 2006 and recorded in the Strafford County Registry of Deeds in Book 3434, Page 0743.

This is not homestead property.

EXECUTED this 8<sup>th</sup> day of October, 2021.

Annette Griffith  
Witness

RAVEN REALTY, LLC

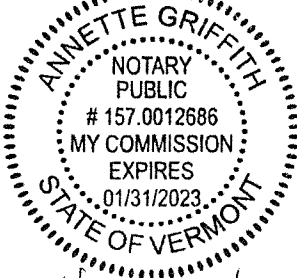
By: [Signature]  
Jeremiah F. Gage, Trustee of  
The Jeremiah F. Gage Revocable Living  
Trust, Member

Annette Griffith  
Witness

By: [Signature]  
Kasara Mia Brennan Gage, Trustee of  
The Kasara Mia Brennan Gage Revocable  
Living Trust, Member

STATE OF Vermont  
COUNTY OF Washington

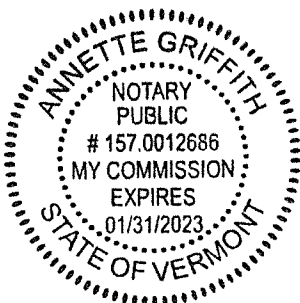
On this 8<sup>th</sup> day of October, 2021, before me, the undersigned officer, appeared Jeremiah F. Gage, as Trustee of the Jeremiah F. Gage Revocable Living Trust, Member of Raven Realty, L.L.C., known to me or satisfactorily proven to be the person executing this document, and subscribe to the within instrument and acknowledged that he executed the same for the purposes therein contained ~~on behalf~~ of the limited liability company.



Annette Griffith  
Notary Public  
Printed Name: Annette Griffith  
My Commission Expires: 01/31/2023

STATE OF Vermont  
COUNTY OF Washington

On this 8<sup>th</sup> day of October, 2021, before me, the undersigned officer, appeared Kasara Mia Brennan Gage, as Trustee of The Kasara Mia Brennan Gage Revocable Living Trust, as Member of Raven Realty, L.L.C., known to me or satisfactorily proven to be the person executing this document, and subscribe to the within instrument and acknowledged that she executed the same for the purposes therein contained on behalf of the limited liability company.



Annette Griffith  
Notary Public  
Printed Name: Annette Griffith  
My Commission Expires: 01/31/2023