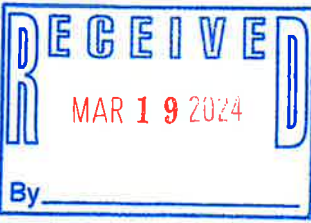


ROCHESTER CHARITABLE GAMING VENUE



5 Milton Road
Rochester, NH

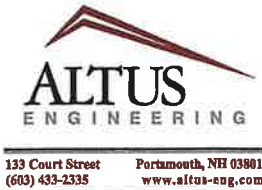
Assessor's Parcel 222, Lot 94
ISSUED FOR PERMIT

Plan Issue Date:
March 1 2024

Owner:
GSG ROCHESTER
PROPCO, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

Applicant:
NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

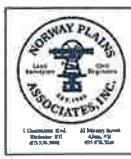
Civil Engineer:



Architect:
DMAC
Architecture
& Interiors
1229 Emerson St, Evanston, IL 60201
(847) 905-0944

Landscape Architect:
woodburn
& company
LANDSCAPE ARCHITECTURE
103 Kent Place, Newmarket, New Hampshire Phone: 603.659.5949

Surveyor:
Norway Plains Associates, Inc.
2 Continental Blvd.
Rochester, NH 03866
(603) 335-3948



Traffic Engineer:
GPI
44 Stiles Road
Salem, NH 03079
Phone: (603) 893-0720



Sheet Index	Sheet		
	Title	No.:	Rev. Date
Existing Conditions Plan	0	0	05/2023
Demolition and Site Preparation Plan	C-1	5	01/19/24
Site Plan	C-2	1	03/01/24
Stormwater Management and Utilities Plan	C-3	5	01/19/24
Lighting Plan	C-4	5	01/19/24
Detail Sheet	C-5	4	01/19/24
Detail Sheet	C-6	4	01/19/24
Detail Sheet	C-7	4	01/19/24
Detail Sheet	C-8	4	01/19/24
Detail Sheet	C-9	2	01/19/24
Landscape Plan	L-1	2	08/15/23
Landscape Plan	L-2	0	08/15/23

Permit Summary	Submitted	Received
Rochester Site Plan Approval	04/25/23	09/13/23

BBB 3/21/24 Per Sept 11, 2023 PB Mtg



- LEGEND**
- EXISTING MONUMENT
 - BOUND
 - NO MONUMENT FOUND OR SET
 - UTILITY POLE
 - WETLAND
 - PROPERTY LINE
 - EDGE OF PAVEMENT
 - OVERHEAD WIRES
 - CHAIN LINK FENCE
 - EASEMENT
 - GAS LINE
 - WATER LINE
 - UNDERGROUND UTILITIES
 - SEWER LINE

ABBREVIATION LEGEND:
 IPF - IRON PIPE FOUND
 IPS - IRON PIPE SET
 RBS - REBAR FOUND
 RBS - REBAR SET
 RSS - RAILROAD SPIKE SET
 SSF - STEEL STAKE FOUND
 SSS - STEEL STAKE SET
 BND FND - BOUND FOUND
 IRF - IRON ROD FOUND
 (42") - DENOTES HEIGHT OF THE MONUMENT
 TM - TAX MAP & LOT NUMBER
 SCRD - STRAFFORD COUNTY RECORDS OF DEEDS

MONUMENT IDENTIFICATION INSCRIPTIONS:
 "NPA" - NORWAY PLAINS ASSOCIATES

TAX MAP 222 LOT 57
 TOLLY HOLDINGS LLC
 CRAIG SCHRECK
 140 MILL ROAD
 NORTH HAMPTON, NH 03862
 SCRD BK. 2143 PG. 634
 FORMER ROW
 LINE LOCATION-SEE DEED TO
 STATE OF NEW HAMPSHIRE
 BK.1022/PG.798
 (AREA: 0.25 ACRES)

TAX MAP 222 LOT 55
 MAINE ATLANTIC PROPERTIES INC.
 24 HARRIMAN DRIVE
 AUBURN, ME 04210
 SCRD BK. 2389 PG. 168

PUBLIC SERVICE
 COMPANY OF NEW HAMPSHIRE ROW
 BK.716/PG.47
 (REF. PLAN #1, #2 #5 & #6, 135' ROW)

TAX MAP 112 LOT 2
 RONALD W. KOENIG
 PO BOX 314
 KINGSPORT, TN 37662
 SCRD BK. 1781 PG. 275

50' EASEMENT
 (SEE BK. 1029 / PG. 953,
 BK. 997 / PG. 584 & BK. 950 / PG. 451
 & REFERENCE PLAN NO. 5 & 6) IN
 FAVOR OF 112/1, 112/2, 112/10 &
 222/94.

DRAINAGE SCHEDULE

CB1
 RIM: 238.27'
 24" CMP APPX RECESSED
 ELEV.=235.33'
 SUMP (SANDY) ELEV.=234.23'

CB2
 RIM: 238.26'
 12" CMP ELEV.=236.88'
 SUMP (SANDY) ELEV.=236.80'

CB3
 RIM: 238.31'
 12" CPP ELEV.=236.74'
 12" CPP ELEV.=236.75'
 SUMP (SANDY) ELEV.=236.25'

CB4
 RIM: 237.99'
 24" CMP ELEV.=234.42'
 24" CMP ELEV.=234.31'
 SUMP (SANDY) ELEV.=233.87'

CB5
 RIM: 236.94'
 24" CMP ELEV.=233.25'
 24" CMP ELEV.=233.14'
 SUMP (SANDY) ELEV.=231.97'

DATA:
 RIM: 238.42'
 12" CPP ELEV.=236.47'
 24" CMP ELEV.=234.87'
 24" CMP ELEV.=234.76'

TAX MAP 112 LOT 10
 CITY OF ROCHESTER
 31 WAKEFIELD STREET
 ROCHESTER, NH 03866
 SCRD BK. 1141 PG. 364

TAX MAP 222 LOT 93
 SAMPSON SUPERMARKETS INC.
 HANNAFORD BROS. CO.
 PO BOX 6500
 CARLISLE, PA 17013
 SCRD BK. 1382 PG. 268

"HANNAFORD"
 (SEE RECIPROCAL OPERATION
 & EASEMENT AGREEMENT
 1469/517-546)

TAX MAP 215 LOT 58-1
 CONSERVANCY FOUNDATION INC.
 40 TEMPLE STREET
 NASHUA, NH 03060
 SCRD BK. 3759 PG. 916

TAX MAP 222 LOT 94
 AREA: 1,205,539 SF
 27.67 ACRES
 "WITHDRAWABLE LAND"
 AREA: 309,577 SF
 7.106 ACRES

TAX MAP 112 LOT 1
 RONALD W. KOENIG
 PO BOX 314
 KINGSPORT, TN 37662
 SCRD BK. 1781 PG. 275

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED CONDOMINIUM CONVERSION OF TAX MAP 222, LOT 94.
2. TOTAL PARCEL AREA: 1,205,539 SF, 27.67 ACRES
 COMMON AREA: 1,090,575 SF, 25.04 ACRES
 SUBMITTED AREA: 1,205,539 SF, 27.67 ACRES
3. PARCEL IS ZONED HIGHWAY COMMERCIAL
4. MINIMUM LOT REQUIREMENTS: LOT SIZE = 20,000, FRONTAGE = 100'
5. BUILDING SETBACKS: FY. = 20', SY. = 10', RY. = 25' (ULTIMATE CERTIFICATION AND VERIFICATION OF THE ZONE DESIGNATION AND APPLICABLE LOCATION OF BUILDING SETBACK REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE ZONING OFFICER IN THE SUBJECT MUNICIPALITY.)
6. THE LOTS ARE SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
7. A PORTION OF THE LOT IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 5/17/2005 COMMUNITY PANEL 33017C0203D.
8. EDGE OF WETLAND PER REFERENCE PLAN #2. CITY OF ROCHESTER WETLAND BUFFER IS 50', PER CITY OF ROCHESTER ZONING ORDINANCE DATED 4-22-2014 AND AMENDED 3-5-2019.
9. TOTAL PARKING: 1,127 REGULAR PARKING SPACES & 36 HANDICAP SPACES FOR A TOTAL OF 1,163 SPACES. ADDITIONAL PARKING UNDER RECIPROCAL OPERATION & EASEMENT AGREEMENT ON HANNAFORD LOT 161 SPACES AND 10 HANDICAP SPACES.
10. HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD83.
11. BEARINGS ON THIS PLAN REFER TO REFERENCE PLAN NO.

REFERENCE PLANS:

1. "ALTANSPS LAND TITLE SURVEY'S MILTON ROAD, ROCHESTER, STRAFFORD COUNTY, NEW HAMPSHIRE FOR LILAC MALL ASSOCIATES, LLC"
 DATED: NOVEMBER 2022 WITH REVISION DATED 12-12-2022 BY NORWAY PLAINS ASSOCIATES, INC.
 RECORDED: ON FILE WITH NPA.

EASEMENT HEADS
 TOWARDS EASTERN
 AVE.

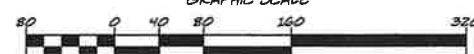
TAX MAP 222, LOT 94
 OWNER OF RECORD:
 GSG ROCHESTER PROPCO, LLC
 923 ELM STREET, PMB 7
 MANCHESTER, NH 03101
 BOOK 5108, PAGE 691

EXISTING CONDITIONS PLAN
 5 MILTON ROAD
 ROCHESTER
 STRAFFORD COUNTY
 NEW HAMPSHIRE
 FOR:

GSG ROCHESTER PROPCO, LLC

1" = 80' MAY 2023

GRAPHIC SCALE



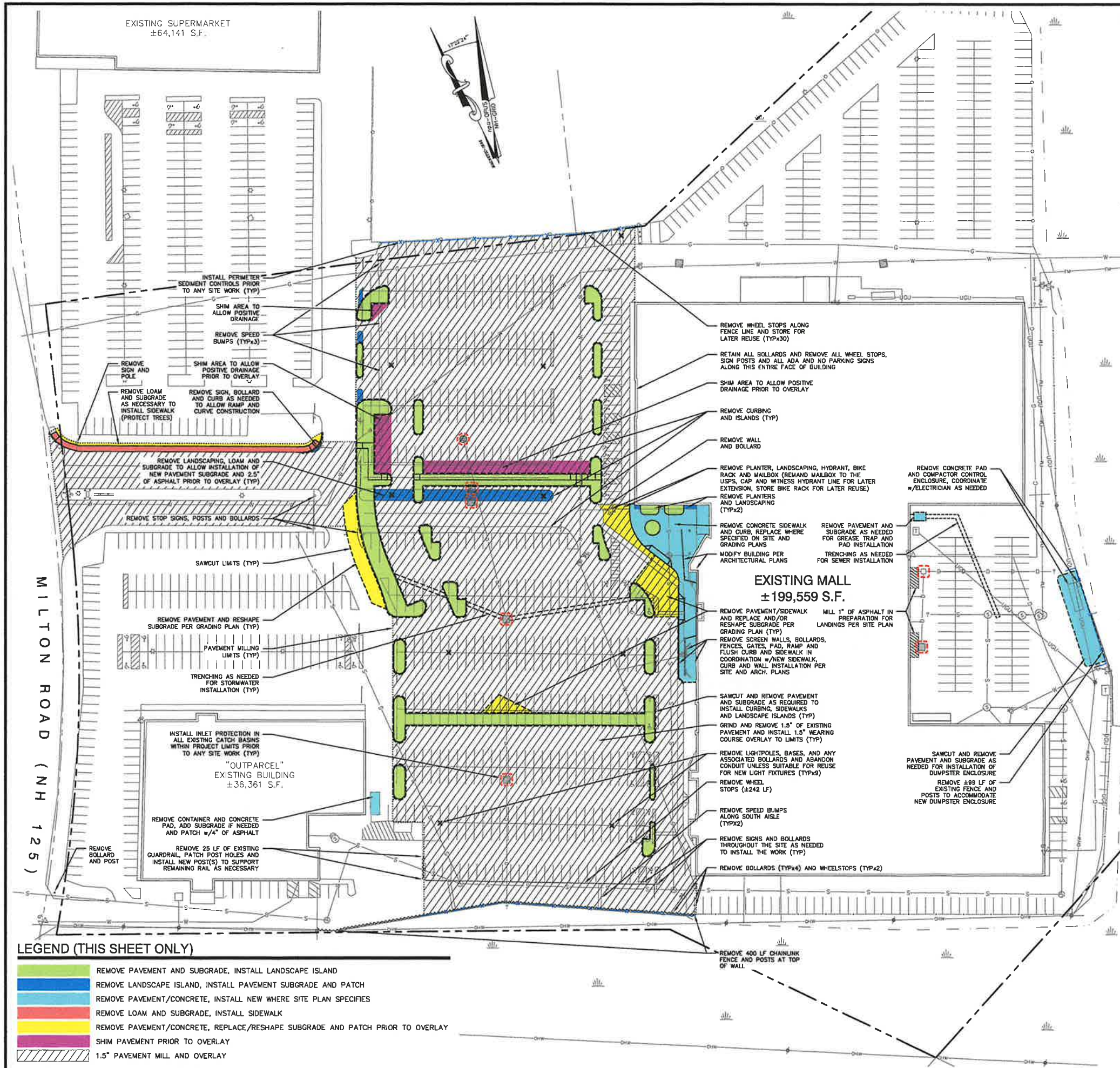
REVISIONS:

FILING OF THESE SHEETS IS FOR CONDOMINIUM PURPOSES ONLY, PURSUANT TO RSA 356-B. IT DOES NOT CONSTITUTE A RE-SUBDIVISION OF LAND.

"I" CERTIFY THAT THIS PLAN IS ACCURATE AND IS IN COMPLIANCE WITH THE PROVISIONS OF THE NEW HAMPSHIRE RSA 356 B:20 (I) AND THAT ALL UNITS SUBSTANTIALLY COMPLETE.

STEVEN M. OLES, ULS #993 DATE

FILE NO. 263
 PLAN NO. C-3336
 DWG. NO. 22340 CSP-1



DEMOLITION NOTES

- A PRE-CONSTRUCTION CONFERENCE BETWEEN THE DEVELOPER/OWNER, ENGINEER, EARTHWORK CONTRACTOR AND ROCHESTER DPW SHALL TAKE PLACE PRIOR TO ANY SITE CONSTRUCTION ACTIVITIES.
- A LETTER OF CREDIT OR BOND FOR THE COST OF REVEGETATING ALL DISTURBED AREAS OF THE SITE PLUS 10% OF EARTH WORK SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF SITE CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ROCHESTER DPW.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- WHERE APPROPRIATE, CONTRACTOR SHALL SAFELY SECURE THE SITE AND WORK LIMITS WITH SECURITY FENCING WHICH SHALL BE LOCKED DURING NON-WORK HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS SHALL BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES, ROCHESTER DPW AND ABUTTING PROPERTY OWNERS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, ETC. SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION ACTIVITIES.
- ALL MATERIALS SCHEDULED FOR DEMOLITION OR REMOVAL ON PRIVATE PROPERTY SHALL REMAIN THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ITEMS INDICATED TO BE STOCKPILED SHALL BE REUSED ON-SITE IF DEEMED SUITABLE BY THE ENGINEER.
- ALL MATERIAL SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS/CODES.
- UTILITY PROVIDERS AND CONTACTS:
 - WATER & SEWER: ROCHESTER DPW, (603) 332-4096.
 - GAS: UNITIL, DAVID MACLEAN, (603) 534-2379.
 - TELECOMMUNICATIONS: CONSOLIDATED, JASON CUNHA, (603) 325-2041.
 - CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.
 - ELECTRICAL: EVERSOURCE, NICK KOSKO, (603) 332-4227. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
- CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY SITE DEMOLITION TO COORDINATE ALL WORK CONCERNING DISCONNECTION/DEMOLITION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
- ALL WATER MAIN AND SERVICE DISCONNECTIONS SHALL CONFORM TO ROCHESTER DPW STANDARDS.
- NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- EXISTING UTILITIES TO BE DISCONTINUED SHALL BE ABANDONED IN PLACE UNLESS OTHERWISE NOTED TO BE REMOVED OR ENCOUNTERED DURING THE INSTALLATION OF NEW WORK. ALL CONDUIT, CULVERT OR PIPE TO BE ABANDONED THAT IS 6" OR GREATER IN SIZE SHALL BE FILLED WITH FLOWABLE FILL.
- IN AREAS WHERE CONSTRUCTION IS TO BE ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING IN ALL AREAS WHERE PERIMETER SEDIMENT CONTROLS OR SITE SECURITY FENCING IS NOT OTHERWISE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TRAFFIC CONTROL MEASURES AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND PREVENT INADVERTENT PUBLIC ACCESS TO THE WORK AREA.
- LOCATIONS OF PAVEMENT REMOVAL & SAWCUT LIMITS ARE SHOWN TO DEPICT THE GENERAL LIMITS OF WORK. CONTRACTOR'S MEANS & METHODS & PAVEMENT CONDITION WILL DICTATE THE EXACT LIMITS OF PAVEMENT REMOVAL.
- AREAS OF PAVEMENT SHIMS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PROVIDE SHIMS WHEREVER NECESSARY TO PREVENT PONDING ON PARKING LOT SURFACE AND ADJACENT TO NEW CURB LINES AND ENSURE A SMOOTH, UNIFORM, FREE DRAINING FINISH SURFACE.
- ALL AREAS OF ASPHALT AND CONCRETE PAVEMENT WITHIN THE OVERLAY AREA THAT ARE AFFECTED BY DEMOLITION ACTIVITIES SHALL BE PATCHED TO MATCH SURROUNDING PAVEMENT SUBGRADE MATERIALS AND THICKNESSES AND HAVE 2.5" OF COMPACTED ASPHALT PLACED PRIOR TO INSTALLATION OF PAVEMENT OVERLAY.
- SHOULD GROUNDWATER BE ENCOUNTERED DURING EXCAVATION, APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO ENSURE SEDIMENT LADEN WATER IS NOT DISCHARGED INTO THE CITY DRAINAGE SYSTEM OR ADJACENT WETLANDS.
- ADDITIONAL PAVEMENT SAWCUTTING AND REMOVAL WILL BE REQUIRED FOR THE INSTALLATION OF ELECTRICAL CONDUIT TO PROPOSED LIGHT POLES IN THE PARKING LOT PRIOR TO OVERLAY. COORDINATE W/ELECTRICAL CONTRACTOR FOR ROUTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SIGNAGE AND TRAFFIC CONTROL REQUIRED TO IMPLEMENT THE WORK SHOWN ON THE PLANS.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK THAT INVOLVES ANY ELECTRICAL ITEMS WITH ELECTRICAL CONTRACTOR.
- PRIOR TO COMMENCING WITH SITE PREPARATIONS, CONTRACTOR TO CONTACT THE CITY ENGINEER TO SCHEDULE AN INSPECTION OF PUBLIC WATER SUPPLY CONNECTIONS.
- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL BUILDINGS, PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, BOLLARDS, FENCES, TREES, VEGETATION, STUMPS AND ANY OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- SEE OVERALL LEGEND SHEET C-6.

ALTUS
ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

ISSUED FOR: **PERMIT AND BID**

ISSUE DATE: **JANUARY 19, 2024**

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TRG	EBS	06/13/23
1	TRG	EBS	07/11/23
2	TRG	EBS	08/15/23
3	REVISED PER COA	EBS	10/13/23
4	PERMIT & BID GAGC	EBS	12/22/23
5	ISSUE FOR PERMIT & BID	EBS	01/19/24

DRAWN BY: **EBS**

APPROVED BY: **EBS**

DRAWING FILE: **5402-SITE.dwg**

SCALE:
24" x 36" - 1" = 50'
11" x 17" - 1" = NTS

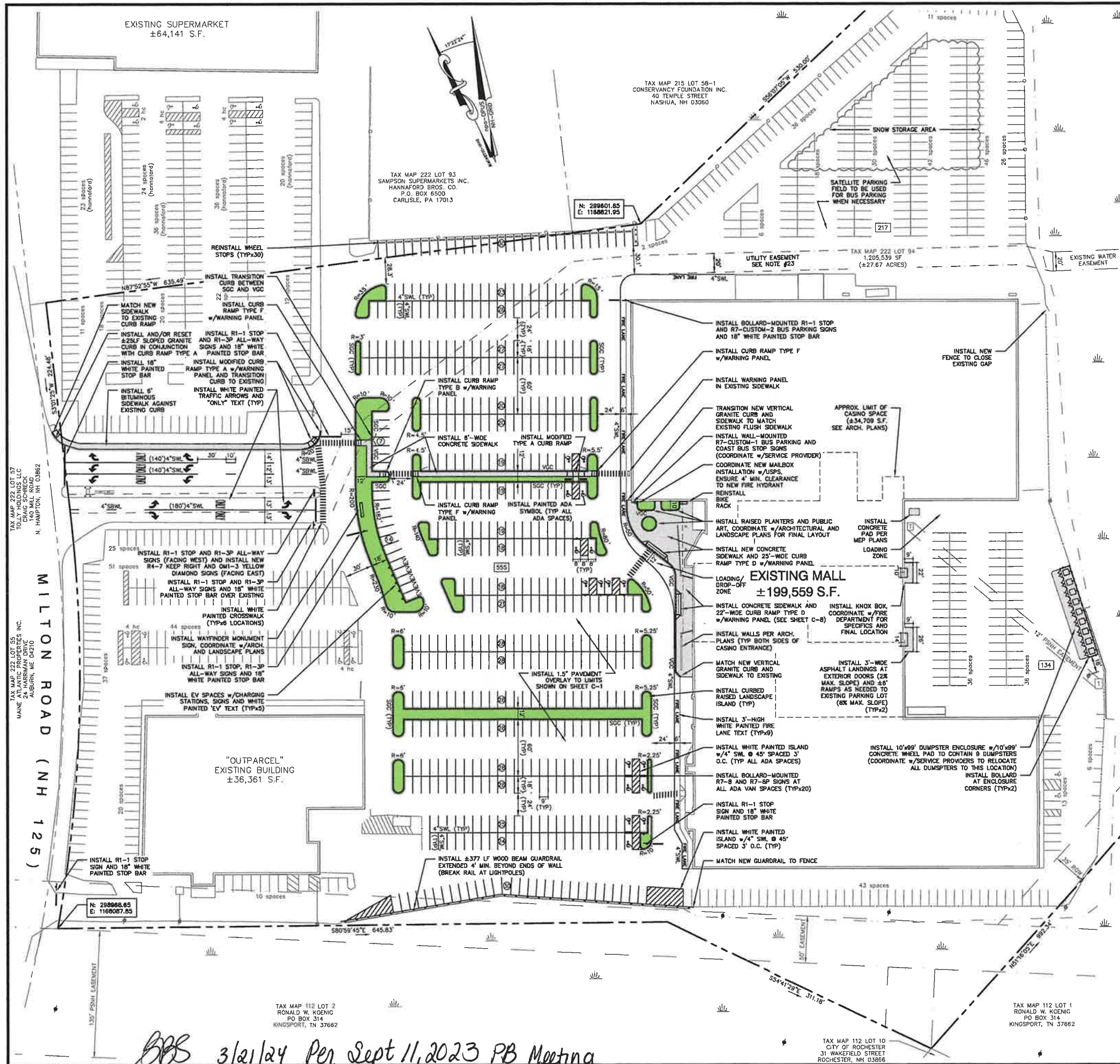
OWNER:
GSG ROCHESTER PROPCO, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:
NEW ENGLAND GAMING AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

PROJECT:
ROCHESTER CHARITABLE GAMING VENUE
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

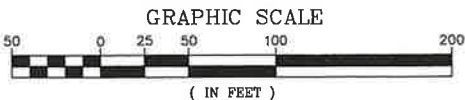
TITLE:
DEMOLITION AND SITE PREPARATION PLAN

SHEET NUMBER:
C-1



SITE NOTES

- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT THE ADDITION OF A ±35,000 S.F. CHARITABLE GAMING FACILITY WITHIN AN EXISTING MALL BUILDING TOGETHER WITH ASSOCIATED SITE IMPROVEMENTS.
- PLAN REFERENCE: THE EXISTING CONDITIONS SHOWN HEREON WERE OBTAINED FROM A PLAN TITLED "EXISTING CONDITIONS PLAN, 7 MILTON ROAD, ROCHESTER, STRAFFORD COUNTY, NH FOR GSG ROCHESTER PROPCO, LLC" DATED MAY 2023, PREPARED BY NORWAY PLAINS ASSOCIATES, INC.
- LOT AREA: 1,205,539 S.F. (±27.88 AC.)
- ZONE: HIGHWAY COMMERCIAL
- DIMENSIONAL REQUIREMENTS - 20,000 S.F.
MIN. LOT AREA: 100' x 100' = 10,000 S.F.
MIN. STREET FRONTAGE: 100'
FRONT SETBACK: 30'
SIDE SETBACK: 10'
REAR SETBACK: 25'
MAX. BUILDING HEIGHT: 3 STORIES
MAX. LOT COVERAGE: 85%
FRONT PAVEMENT SETBACK: 10' FRONT
SIDE PAVEMENT SETBACK: 10' SIDE
REAR PAVEMENT SETBACK: 10' REAR
WETLANDS BUFFER: 50'
- PARKING REQUIREMENTS:
RETAIL: 3 SPACES / 1,000 SF GFA
(154,559 SF / 1,000) x 3 = 464 SPACES REQUIRED ("MALL" ONLY)
GAMING: 0.75 SPACES / GAMING POSITION
350 POSITIONS x 0.75 = 263 SPACES REQUIRED
TOTAL SPACES REQUIRED = 727
TOTAL PARKING PROVIDED = 906 SPACES (179 SPACE SURPLUS)
ADA SPACES (2% OF TOTAL) = 18 REQUIRED (19 PROVIDED)
- A PORTION OF THE PROPERTY LIES WITHIN ZONE A (NO BASE FLOOD ELEVATION DETERMINED) AS SHOWN ON FIRM PANEL 33017C0203D DATED 05/17/2005.
- OVERALL AREA OF DISTURBANCE UNDER 100,000 S.F., NHDES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED (NOI, SWPPP AND INSPECTIONS NOT REQUIRED).
- SNOW SHALL BE STORED IN AREAS SHOWN HEREON AS APPROPRIATE. SNOW SHALL NOT BE STORED WITHIN 50' OF A WETLAND.
- TO LIMIT WINTER SALT APPLICATION, ALL SNOW REMOVAL AND SALTING SHALL BE PERFORMED BY A GREEN SNO-PRO CERTIFIED CONTRACTOR.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF ROCHESTER & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW ASPHALT PAVEMENT.
- A TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT PAVEMENT INCLUDING ALL SHIMS AND OVERLAYS.
- 1.5" PAVEMENT OVERLAY SHALL MEET NHDOT ITEM 403.12 - HOT-MIX BITUMINOUS PAVEMENT, TYPE 12mm, COMPACTED PER THE SITE PAVEMENT CROSS SECTION DETAIL.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL NEW CURBING SHALL BE SLOPED GRANITE WITH A MINIMUM RADIUS OF 4'. NEW VERTICAL CURBING SHALL ONLY BE USED ADJACENT TO SIDEWALKS.
- SPECIFIED SIDEWALK WIDTHS SHALL BE INCLUSIVE OF CURB WIDTH.
- BUILDING AREAS SHOWN ARE BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- COORDINATE POWER SUPPLY FOR EV CHARGING STATIONS WITH ELECTRICAL CONTRACTOR AND SITE LIGHTING LAYOUT.
- SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM - 6PM, SATURDAY 9AM - 4PM, WITH NO WORK ON SUNDAYS. CONSTRUCTION HOURS MUST BE DOCUMENTED ON A SIGN ALONG WITH THE CONTACT INFORMATION OF THE GENERAL CONTRACTOR. SAID SIGN SHALL BE APPROVED BY AND LOCATED PER THE DIRECTION OF THE CITY PLANNER AND ENGINEER.
- 20' UTILITY EASEMENT CONVEYED TO THE CITY OF ROCHESTER. LOCATION SHOWN IS BASED ON GIS DATA OBTAINED FROM ROCHESTER DPW. ACTUAL EASEMENT SHALL FOLLOW THE PHYSICAL LOCATION OF THE WATER LINE AS LOCATED IN THE FIELD.
- COORDINATE ALL BUILDING MODIFICATIONS WITH THE ARCHITECTURAL PLANS.
- ALTUS ENGINEERING MAKES NO WARRANTY REGARDING THE ADA COMPLIANCE OF ANY EXISTING SITE ELEMENTS THAT ARE SCHEDULED TO REMAIN.
- HORIZONTAL DATUM: NAD 83. VERTICAL DATUM: NAVD 88.
- THE FOLLOWING IMPROVEMENTS SHALL BE MADE TO THE EXISTING TRAFFIC SIGNAL AT THE ULAC MALL ENTRANCE AT MILTON ROAD:
 - UPGRADE TWO (2) EXISTING PEDESTRIAN PUSH BUTTONS TO THE LATEST ACCESSIBLE PEDESTRIAN SIGNAL (APS) STANDARDS, INCLUDING VIBROTACTILE BUTTON WITH RAISED ARROW, LOCATOR TONE, AND A WALK NOTIFICATION SOUND/MESSAGE. IT SHOULD BE NOTED THIS CROSSWALK WILL SERVE PEDESTRIANS ACCESSING THE PROPOSED DEVELOPMENT THROUGH THE EXTENSION OF THE EXISTING SIDEWALK ON THE EASTERLY SIDE OF MILTON ROAD.
 - BRING THE ULAC MALL APPROACH UP TO MUTCD COMPLIANCE BY CONVERTING THE RIGHT-TURN YELLOW BALL INDICATION TO A YELLOW ARROW.
 - REPLACE TEN (10) VEHICULAR BACKPLATES W/ NEW BACKPLATES AND RETROREFLECTIVE BORDERS.
- SEE LEGEND SHEET C-6.



ALTUS
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133 Court Street Portsmouth, NH 03801
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ISSUED FOR: PERMIT

ISSUE DATE: MARCH 1, 2024

NO.	DESCRIPTION	BY	DATE
0	TRG	EB	06/13/23
1	TRG	EB	07/11/23
2	TRG	EB	08/15/23
3	REVISED PER COA	EB	10/13/23
4	PERMIT & BID QA/QC	EB	12/22/23
5	ISSUE FOR PERMIT & BID	EB	01/19/24
6	TRAFFIC SIGNAL WORK	EB	03/01/24

DRAWN BY: EBS
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OWNER:
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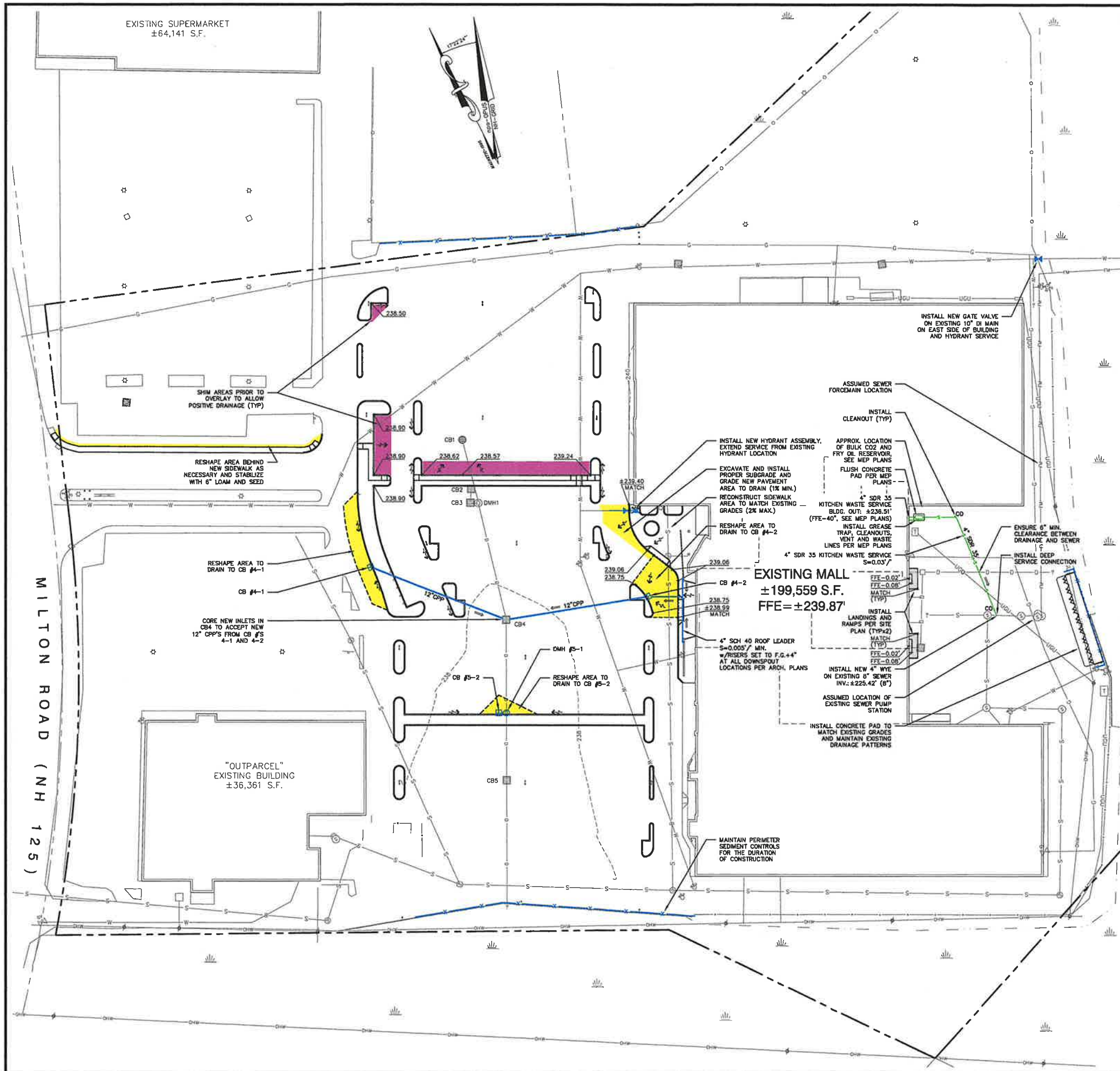
PROJECT:
**ROCHESTER
CHARITABLE
GAMING VENUE**
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

TITLE:

SITE PLAN
SHEET NUMBER:

C-2

BBS 3/21/24 Per Sept 11, 2023 PB Meeting



GRADING AND DRAINAGE NOTES

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (E. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY MAY NOT BE ENTIRELY ACCURATE AND ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS.
2. THE CONTRACTOR SHALL NOTIFY, IN WRITING, ALL UTILITY PROVIDERS, CITY OF ROCHESTER DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
3. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
4. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
5. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
6. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
7. UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY AND DRAINAGE TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
9. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND LOCAL REGULATIONS.
10. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
11. IF SUITABLE EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
12. ALL FILL SHALL BE PLACED IN LIFTS NO THICKER THAN 12" AND COMPACTED TO 95% OF ITS THEORETICAL DENSITY PER ASTM D-1557.
13. DRAINAGE PIPE SHALL BE CORRUGATED EXTERIOR/SMOOTH INTERIOR DUAL WALL POLYETHYLENE PIPE (CPP), TYPE ADS N-12, HANDBR H1-Q OR APPROVED EQUAL.
14. THE RIMS OF ALL CATCH BASINS, MANHOLES, CLEANOUTS, HANDHOLES AND ANY OTHER DRAINAGE AND UTILITY STRUCTURE INTENDED TO BE AT THE GROUND SURFACE SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISH GRADE. ANY RIM ABOVE SURROUNDING FINISH GRADE SHALL NOT BE ACCEPTED.
15. ALL SPOT GRADES ARE AT FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
16. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAIN TO SCALE. SYMBOLS MAY NOT BE INDICATIVE OF THE CENTER OF A STRUCTURE, PARTICULARLY WHEN SHOWN ADJACENT TO A CURB LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL REQUIRED MANHOLES, PULL BOXES, PEDESTALS, HANDHOLES, TRANSFORMERS, TRANSFORMER PADS, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS IN ORDER TO RENDER THE FULL INSTALLATION OF COMPLETE AND OPERATIONAL UTILITY AND DRAINAGE SYSTEMS.
18. UPON COMPLETION OF CONSTRUCTION, ALL DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
19. IMPERVIOUS SURFACE REDUCTION FROM EXISTING CONDITIONS = 11,430 SF.
20. THE EXISTING SEWER WET WELL SHALL BE CLEANED, THE HIGH WATER ALARM TESTED AND A PRESSURE TEST OF THE EXISTING SEWER FORCEMAIN SHALL BE CONDUCTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
21. PRIOR TO THE ISSUANCE OF A BACKFLOW PREVENTION PERMIT, THE EXISTING PRIVATE WATER SYSTEM SHALL BE REVIEWED FOR COMPLIANCE WITH CURRENT GROU CONTAMINATION REGULATIONS. A NEW BACKFLOW PREVENTION DEVICE MAY OR MAY NOT BE REQUIRED. THIS REVIEW SHALL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THIS MAY ALSO REQUIRE ADDITIONAL WORK BEYOND WHAT IS OUTLINED ON THESE PLANS. COORDINATE WITH GENERAL CONTRACTOR, MEP PLANS AND ROCHESTER DPW.
22. SEE LEGEND SHEET C-6.

DRAINAGE SCHEDULE

EXISTING STRUCTURES

CB1
RIM: 238.27'
24" CMP APPX RECESSED
ELEV.=235.33'
SUMP (SANDY) ELEV.=234.23'

CB2
RIM: 238.26'
12" CPP ELEV.=238.88'
SUMP (SANDY) ELEV.=236.60'

CB3
RIM: 238.31'
12" CPP ELEV.=236.79'
12" CPP ELEV.=236.75'
SUMP (SANDY) ELEV.=236.25'

CB4
RIM: 237.93'
IN: 235.31' (NEW 12" CB #4-1)
IN: 235.31' (NEW 12" CB #4-2)
24" CMP ELEV.=234.42'
24" CMP ELEV.=234.31'
SUMP (SANDY) ELEV.=233.87'

CB5
IN: 236.94'
24" CMP ELEV.=233.25'
24" CMP ELEV.=233.19'
SUMP (SANDY) ELEV.=231.97'

PROPOSED STRUCTURES

DMH1
RIM: 238.42'
12" CPP ELEV.=236.47'
24" CMP ELEV.=234.87'
24" CMP ELEV.=234.76'

CB #4-1 (LOW PROFILE SLAB TOP)
RIM: 238.30'
OUT: 235.91' (TO CB4)
12" CPP
S=0.004'/

CB #4-2 (LOW PROFILE SLAB TOP)
RIM: 238.55'
IN: 236.00' (4" ROOF LEADER)
OUT: 235.90' (TO CB4)
12" CPP
S=0.004'/

DMH #5-1 (LOW PROFILE SLAB TOP)
DOGHOUSE ON EXISTING 24" LINE
RIM: 237.30'
IN: 234.89' (12" CB #5-2)
IN: 233.71' (24" EXISTING)
OUT: 233.89' (24" EXISTING)

CB #5-2 (LOW PROFILE SLAB TOP)
RIM: 237.20'
OUT: 234.75' (TO DMH #5-1)
12" CPP
S=0.01'/

GRAPHIC SCALE



ISSUED FOR:

PERMIT AND BID

ISSUE DATE:

JANUARY 19, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TRG	EB	06/13/23
1	TRG	EB	07/11/23
2	TRG	EB	08/15/23
3	REVISED PER COA	EB	10/13/23
4	PERMIT & BID CHAC	EB	12/22/23
5	ISSUE FOR PERMIT & BID	EB	01/19/24

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5402-SITE.dwg

SCALE:

24" x 36" - 1" = 50'

11" x 17" - 1" = NTS

OWNER:

GSG ROCHESTER PROPCO, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:

NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

PROJECT:

**ROCHESTER
CHARITABLE
GAMING VENUE**

TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

TITLE:

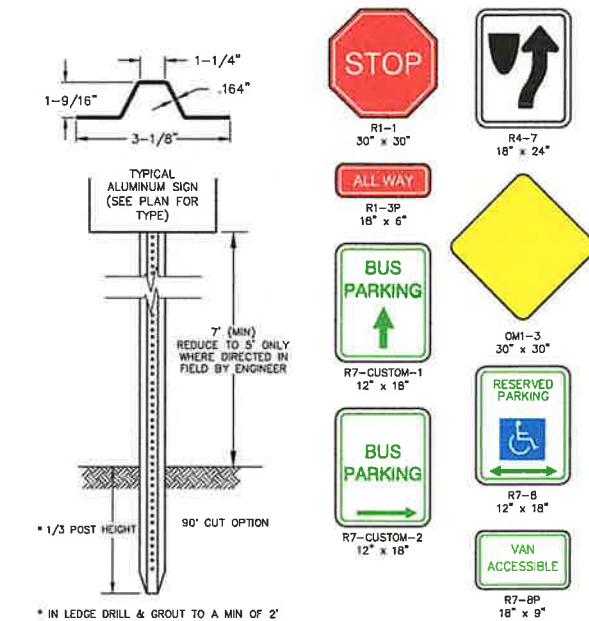
**STORMWATER
MANAGEMENT AND
UTILITIES PLAN**

SHEET NUMBER:

C-3

LEGEND

	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EDGE OF WETLAND
	EXISTING PAVEMENT/VERTICAL/SLOPED GRANITE/CONCRETE CURB
	PROP. PAVEMENT/VERTICAL/SLOPED GRANITE/CONCRETE CURB
	SINGLE WHITE/SINGLE BROKEN WHITE/DOUBLE YELLOW LINE
	EXISTING/PROPOSED STOCKADE FENCE
	EXISTING/PROPOSED CHAINLINK FENCE
	EXISTING/PROPOSED GUARDRAIL
	EXISTING CONTOUR
	PROPOSED SPOT GRADE/TOP & BOTTOM OF WALL OR CURB
	EXISTING WATER/CURB STOP/VALVE/HYDRANT
	EXISTING SEWER/MANHOLE
	EXISTING GAS/VALVE
	EXIST. OVERHEAD/UNDERGROUND UTILITIES/POLE
	EXISTING DRAINAGE/CB/DMH
	PROPOSED THRUST BLOCK/CURB STOP/VALVE/HYDRANT
	PROPOSED DRAINAGE (HARD PIPE)/CB/YD/DCB/DMH/FES
	PROPOSED SEWER/MANHOLE/CLEANOUT
	PROPOSED CONCEPTUAL SITE ELECTRICAL ROUTING
	CATCH BASIN/DRAIN MANHOLE
	CORRUGATED PLASTIC PIPE/FLARED END SECTION/HEADWALL
	PROPOSED GROUND SLOPE/APPROX. GRADE/STONE CHECK DAM
	SILT FENCE/SEDIMENT BARRIER/CONST. FENCE
	PROPOSED SAWCUT
	PROPOSED LIMIT OF DISTURBANCE OR MILLING
	PARKING COUNT PER ROW/FOR TOTAL SITE



LENGTH: AS REQUIRED
 WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)
 HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

NOTES

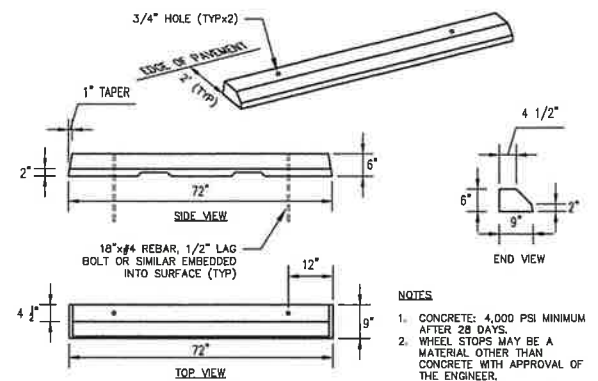
- ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- WHEN PLACED PERPENDICULAR TO A TRAVELLED WAY OR SIDEWALK, SIGN EDGE SHALL BE NO CLOSER THAN 2' TO THE EDGE OF PAVEMENT. GREATER MINIMUM DISTANCE MAY BE REQUIRED IN CERTAIN LOCATIONS.

SIGN DETAILS

NOT TO SCALE

BOLLARD

NOT TO SCALE

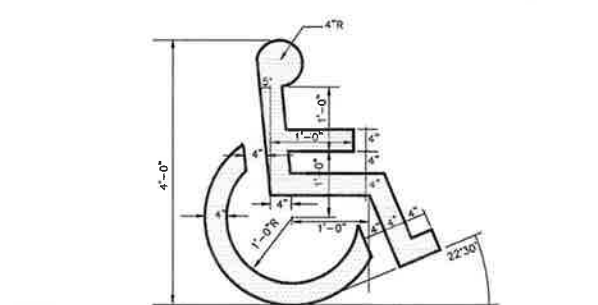


CONCRETE WHEEL STOP

NOT TO SCALE

SIGN BOLLARD DETAIL

NOT TO SCALE

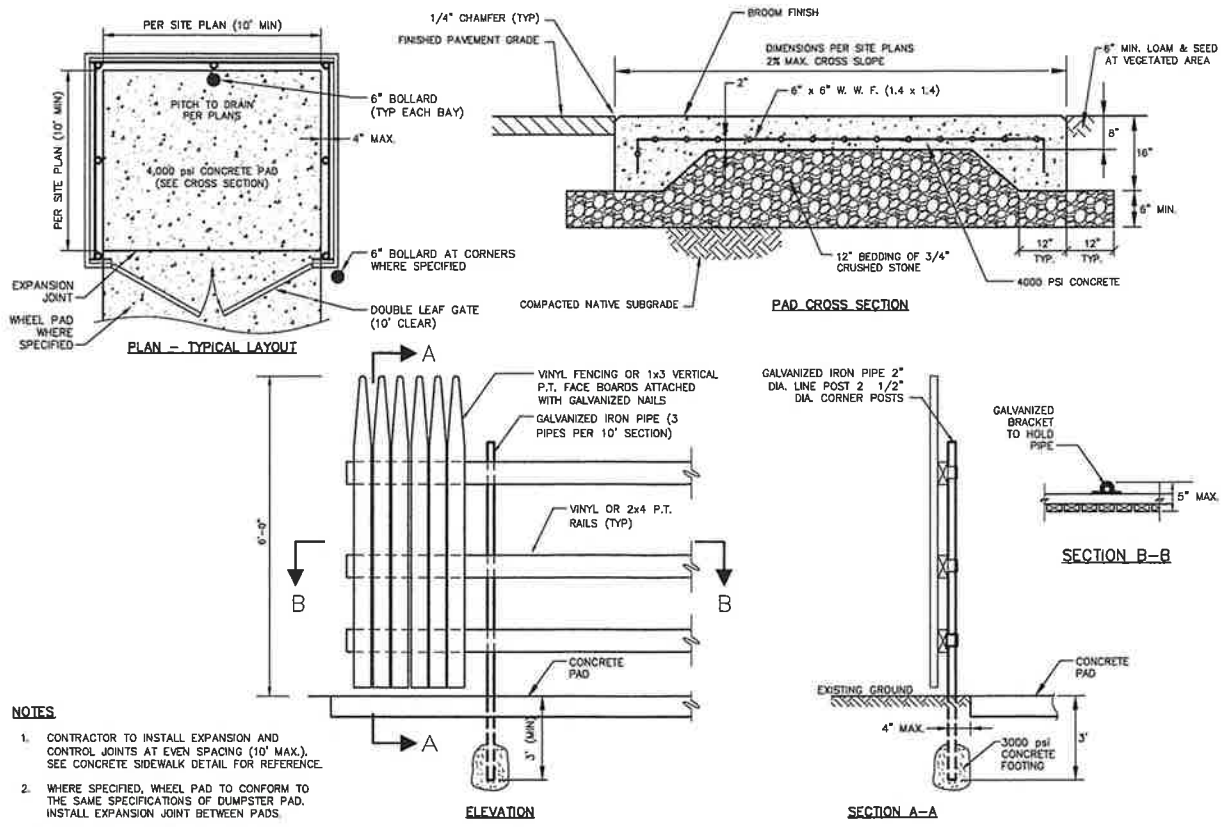


NOTES

- SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND AND WHITE BORDER OPTIONAL).

PAINTED HANDICAP SYMBOL

NOT TO SCALE

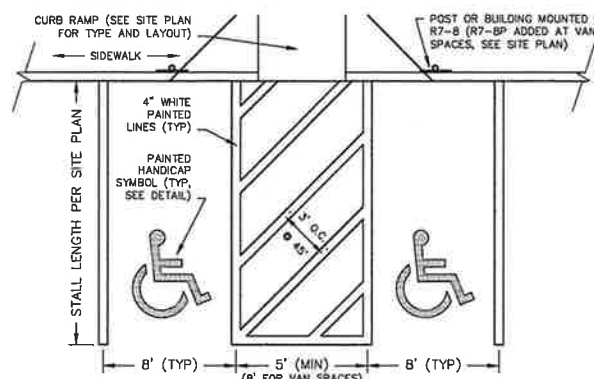


DUMPSTER ENCLOSURE AND PAD

NOT TO SCALE

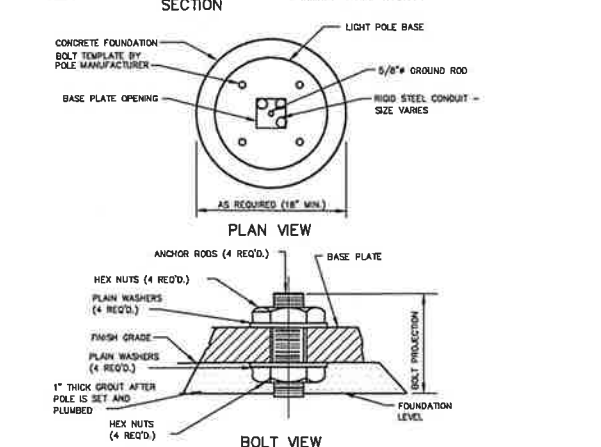
CROSSWALK

NOT TO SCALE



HANDICAP PARKING STALL LAYOUT

NOT TO SCALE



LIGHT POLE BASE

NOT TO SCALE



ISSUED FOR:	
PERMIT AND BID	
ISSUE DATE:	
JANUARY 19, 2024	
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NO. DESCRIPTION	BY DATE
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4 ISSUE FOR PERMIT & BID	EB 01/19/24

DRAWN BY: _____ EBS
 APPROVED BY: _____ EBS
 DRAWING FILE: 5402-SITE.dwg

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 11" x 17" - 1" = NTS

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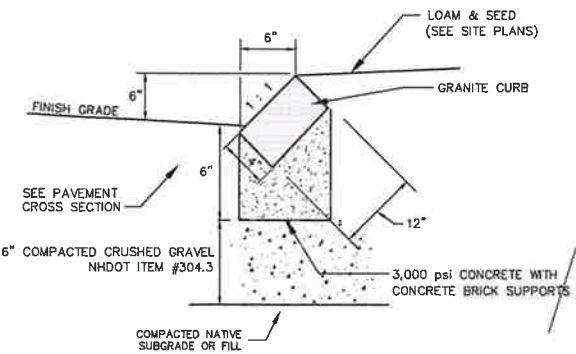
PROJECT:
ROCHESTER CHARITABLE GAMING VENUE
 TAX MAP 222 LOT 94
 5 MILTON ROAD
 ROCHESTER, NH

TITLE:

DETAILS

SHEET NUMBER:

C-6



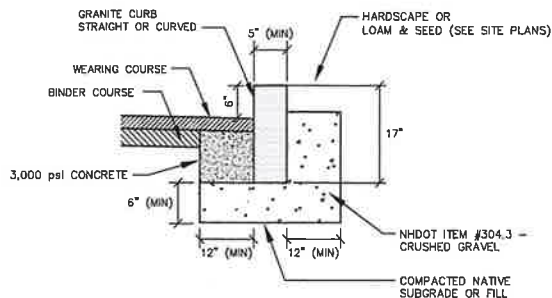
NOTES

1. SEE SITE PLAN FOR LIMITS OF CURBING
2. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-8"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

SLOPED GRANITE CURB

NOT TO SCALE



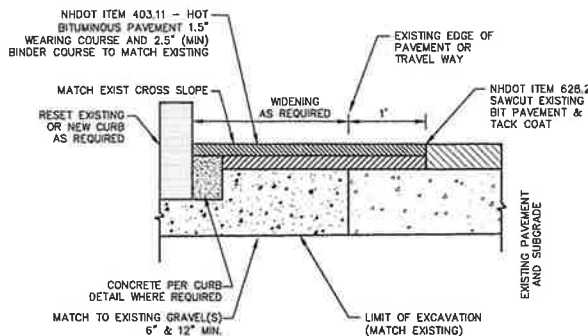
NOTES:

1. SEE PLANS FOR CURB LOCATION.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF CURB STONES = 3'
4. MAXIMUM LENGTH OF CURB STONES = 10'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
6. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALLED FOR ON THE PLANS.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-48'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

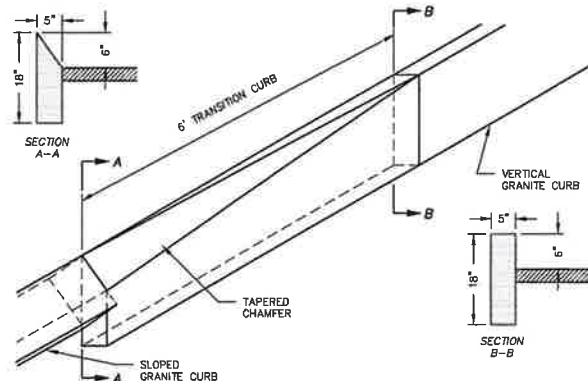
VERTICAL GRANITE CURB

NOT TO SCALE



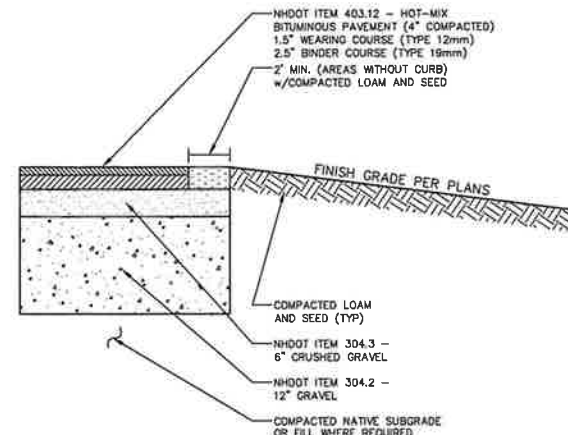
SAWCUT AND PAVEMENT PATCH

NOT TO SCALE



STRAIGHT TO SLOPE CURB TRANSITION

NOT TO SCALE

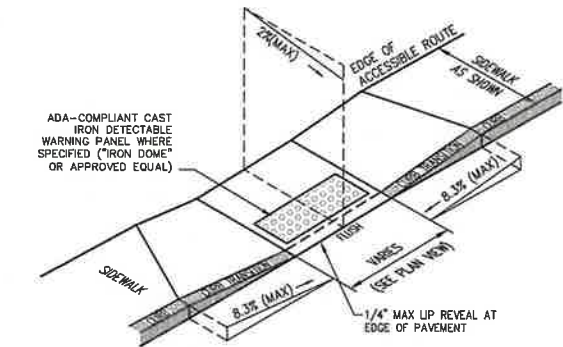


NOTES

1. IN THE EVENT THAT THE NHDOT STANDARDS, CITY STANDARDS AND/OR CIVIL PLANS DIFFER, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. ALL EXISTING FILL, BURIED ORGANIC MATTER, CLAY, LOAM, MUCK, AND/OR OTHER QUESTIONABLE MATERIAL SHALL BE REMOVED FROM BELOW ALL PAVEMENT, SHOULDERS AND UNDERGROUND PIPING/UTILITIES TO DEPTHS RECOMMENDED IN GEOTECHNICAL REPORT.
3. SUBGRADE SHALL BE PROFFEROLLED A MINIMUM OF 6 PASSES WITH A 10-TON VIBRATORY COMPACTOR OPERATING AT PEAK RATED FREQUENCY OR BY MEANS APPROVED BY THE ENGINEER.
4. FILL BELOW PAVEMENT GRADES SHALL BE GRANULAR BORROW COMPACTED PER DOT REQUIREMENTS.
5. SITEWORK CONTRACTOR SHALL COORDINATE GEOTECHNICAL ENGINEERING INSPECTIONS WITH THE CONSTRUCTION MANAGER PRIOR TO PLACING GRAVELS.
6. TACK COAT SHALL BE APPLIED BETWEEN SUCCESSIVE LIFTS OF ASPHALT INCLUDING SHIMS AND PATCHES.
7. THE BITUMINOUS PAVEMENT SHALL BE COMPACTED TO 95 PERCENT OF ITS THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D-2041. THE BASE AND SUBBASE MATERIALS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THEIR MAXIMUM DRY DENSITIES AS DETERMINED BY ASTM D-1557.

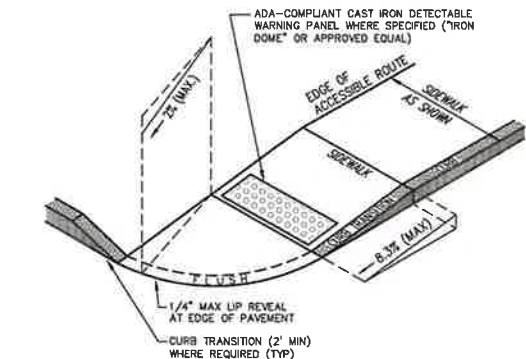
SITE PAVEMENT CROSS SECTION

NOT TO SCALE



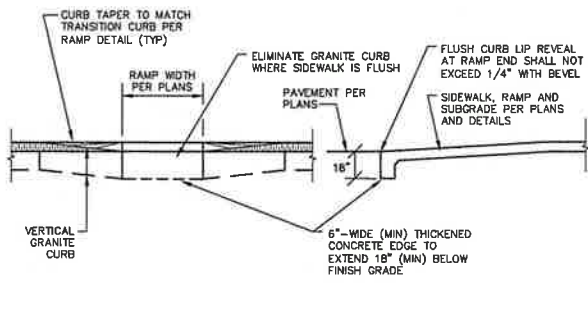
CURB RAMP (TYPE 'A')

NOT TO SCALE



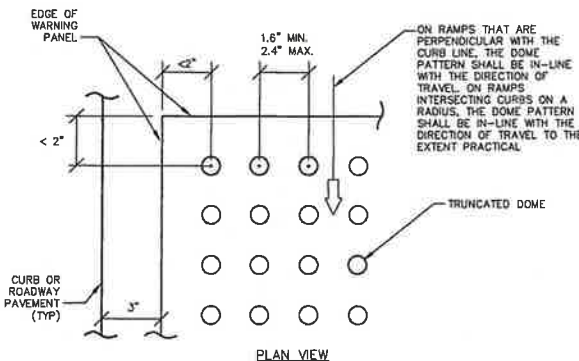
CURB RAMP (TYPE 'B')

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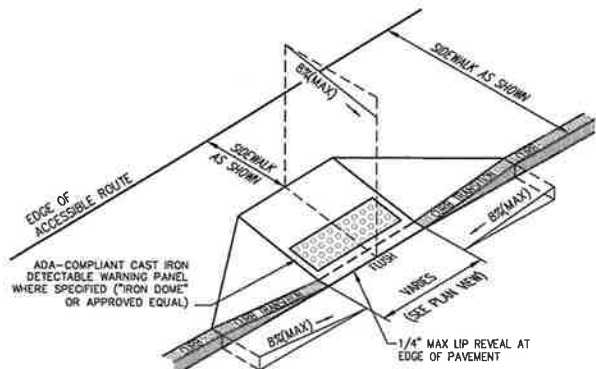
FLUSH CURB AT RAMP DETAIL

NOT TO SCALE



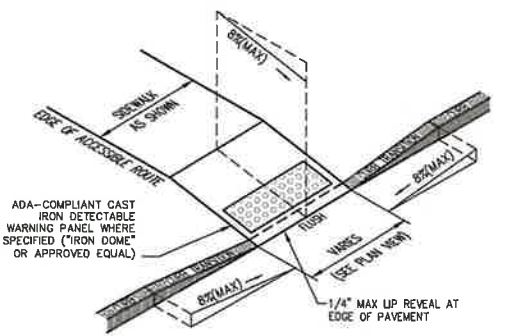
TRUNCATED DOME

NOT TO SCALE



CURB RAMP (TYPE 'D')

NOT TO SCALE



CURB RAMP (TYPE 'F')

NOT TO SCALE

NOTES APPLICABLE TO ALL CURB RAMPS:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 2%.
2. THE MAXIMUM ALLOWABLE RUNNING SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE RUNNING SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8.3% FOR A MAXIMUM ELEVATION CHANGE OF 6\".
4. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
5. BASE OF RAMP SHALL BE GRADED TO PREVENT THE PONDING OF WATER.
6. ALL RAMPS SHALL BE CONCRETE. SEE CONCRETE SIDEWALK SECTION FOR RAMP CONSTRUCTION.
7. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA), PROWAG R305.21 AND ALL APPLICABLE CODES.
8. FLUSH CURB SECTIONS SHALL HAVE A MAXIMUM LIP REVEAL OF 1/4\" WITH A BEVEL AT THE EDGE OF PAVEMENT.
9. EDGES OF CONCRETE SIDEWALK FOOTINGS ALONG FLUSH CURBS SHALL BE HAUNCHED SO AS TO EXTEND TO A MINIMUM DEPTH OF 1' BELOW FINISH GRADE.
10. NO RAMP SHALL BE LESS THAN 4' IN WIDTH.
11. CURB RAMPS SHALL HAVE A RELATIVELY FLAT (2% MAX) LANDING AT THE TOP AND BOTTOM OF THE RAMPS WHEN THERE IS A CHANGE IN DIRECTION.

CURB RAMP NOTES

NOT TO SCALE

NOTES:

1. BASE-TO-BASE SPACING SHALL BE 0.65\" MINIMUM BETWEEN DOMES.
2. EXCEPT AS SPECIFIED BELOW, DETECTABLE WARNING PANELS SHALL EXTEND THE FULL WIDTH OF THE RAMP AND 2' DEPTH IN THE DIRECTION OF TRAVEL.
3. THE TOP WIDTH OF THE DOME SHALL BE A MINIMUM OF 50% AND A MAXIMUM OF 65% OF THE BASE DIAMETER.
4. WARNING PANELS TO BE CAST IRON (\"IRON DOME\" OR APPROVED EQUAL).
5. PANELS SHALL BE INSTALLED SO THAT THE EDGES ARE 3\" FROM THE EDGE OF THE RAMP, INNER CURB LINE AND/OR EDGE OF ROADWAY.
6. PANELS SHALL BE SET IN A CONCRETE PAD EXTENDING AT LEAST 2\" BEYOND THE EDGES OF THE PANEL IN ALL LOCATIONS WHERE SIDEWALKS ARE NOT CONCRETE.

DETECTABLE WARNING PANEL

NOT TO SCALE

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APPROVED BY: EBS
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SCALE:
24" x 36" - 1" = NTS
11" x 17" - 1" = NTS

OWNER:
GSG ROCHESTER PROPCO, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:
NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

PROJECT:
ROCHESTER CHARITABLE GAMING VENUE
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

TITLE:

DETAILS

SHEET NUMBER:

C-7



ISSUED FOR: **PERMIT AND BID**

ISSUE DATE: **JANUARY 19, 2024**

NO.	DESCRIPTION	BY	DATE
0	TRG	EB	05/13/23
1	TRG	EB	07/11/23
2	TRG	EB	08/15/23
3	PERMIT & BID OAC	EB	12/22/23
4	ISSUE FOR PERMIT & BID	EB	01/19/24

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APPROVED BY: **EB**
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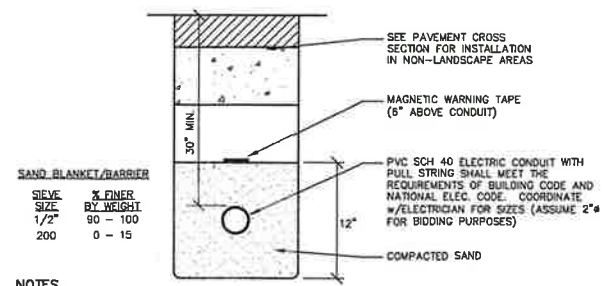
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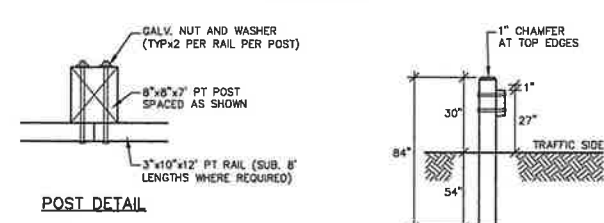
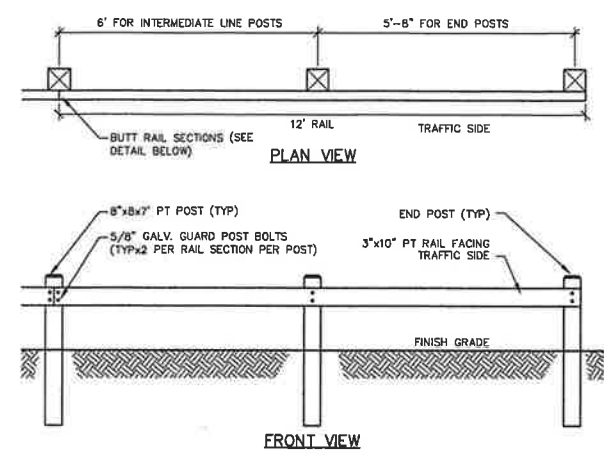
DETAILS
SHEET NUMBER:

C-8



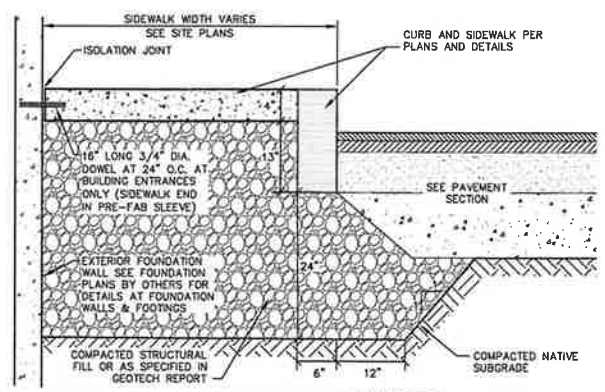
- NOTES**
- CONTRACTOR TO COORDINATE WITH MEP PLANS AND ELECTRICIAN AND PROVIDE ALL EXCAVATION, COMPACTION AND BACKFILL REQUIRED FOR CONDUIT INSTALLATION.
 - BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL ALL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

LIGHTING TRENCH SECTION NOT TO SCALE

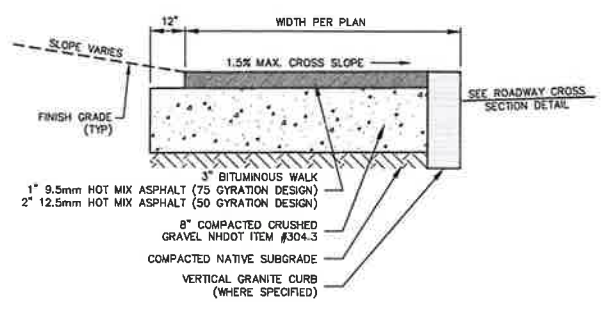


- NOTES**
- ALL POST AND RAIL MATERIAL SHALL BE PRESSURE TREATED (PT). PT POSTS SHALL BE RATED FOR GROUND CONTACT.
 - BOLT LENGTH IS DETERMINED BY 8" POST AND RAIL THICKNESS PLUS 1 INCH FOR NUT AND WASHER.
 - ALL MATERIAL TO MEET OR EXCEED NHDOT SECTION 606 - GUARDRAIL.
 - CONTRACTOR MAY SUBSTITUTE STEEL POSTS AND RAILS WITH THE APPROVAL OF THE ENGINEER.

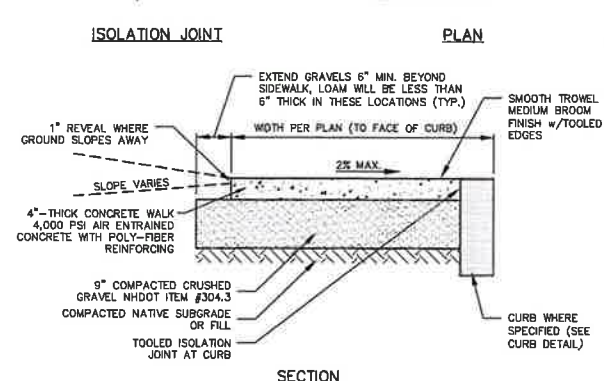
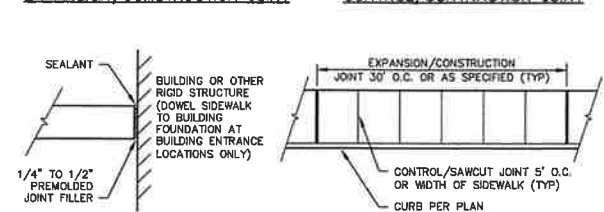
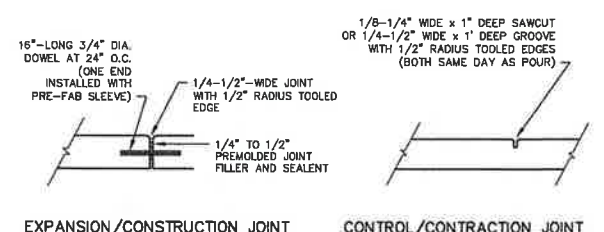
WOOD BEAM GUARDRAIL NOT TO SCALE



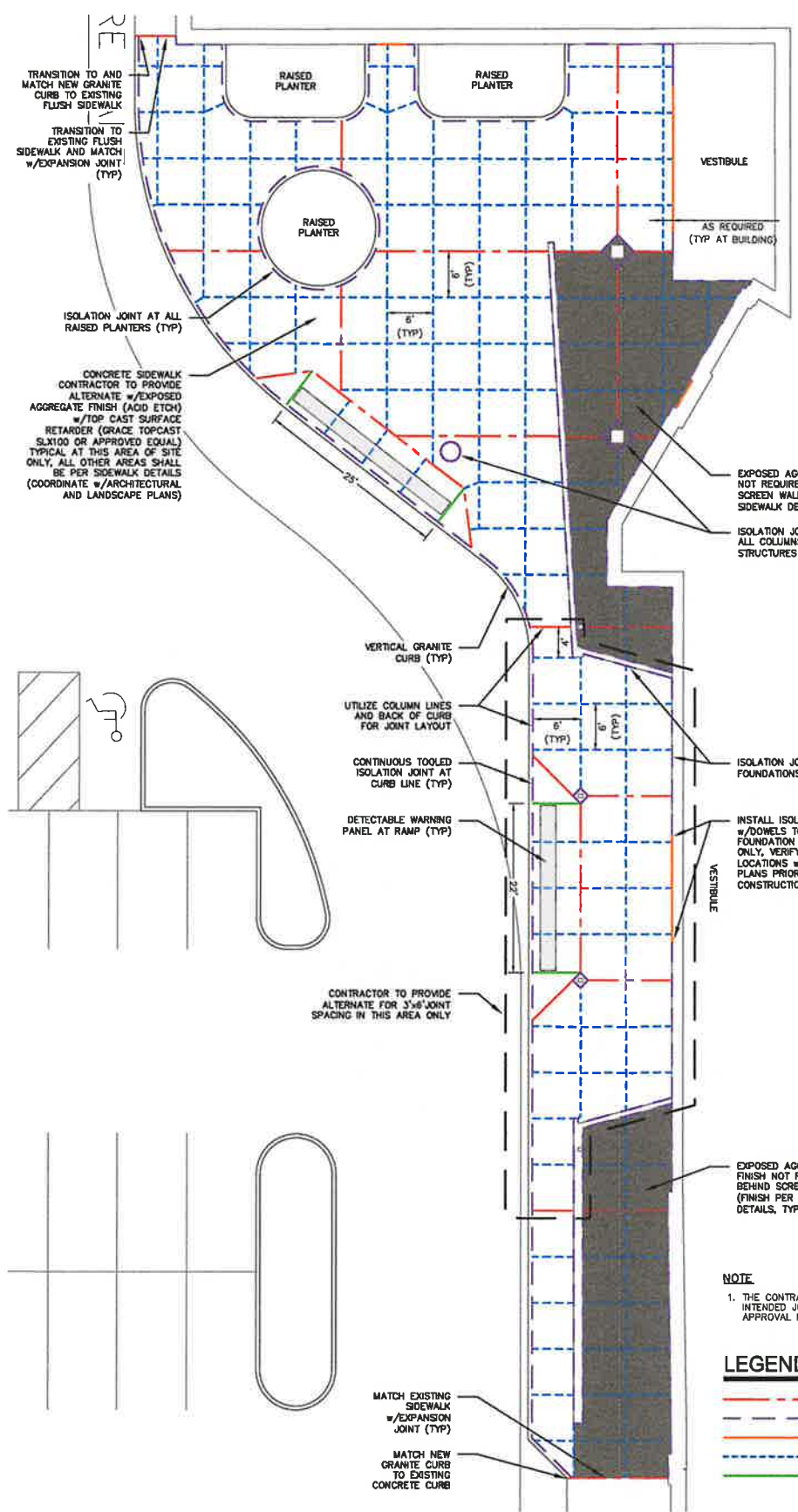
SIDEWALK AT BUILDING ENTRANCES NOT TO SCALE



BITUMINOUS SIDEWALK NOT TO SCALE



CONCRETE SIDEWALK NOT TO SCALE



EXISTING MALL ±199,559 S.F.

- NOTE**
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THEIR INTENDED JOINT PATTERN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO SIDEWALK CONSTRUCTION.

LEGEND

---	EXPANSION/CONSTRUCTION JOINT
---	ISOLATION JOINT
---	DOWELED ISOLATION JOINT
---	SAWCUT CONTROL JOINT
---	TOOLED CONTROL JOINT

CASINO ENTRY SIDEWALK DETAIL SCALE: 1"=10'



ISSUED FOR:
PERMIT AND BID

ISSUE DATE:
JANUARY 19, 2024

REVISIONS
NO. DESCRIPTION BY DATE
0 DC SET EBS 05/13/23
1 PERMIT & BID QA/QC EBS 12/22/23
2 ISSUE FOR PERMIT & BID EBS 01/19/24

DRAWN BY: EBS
APPROVED BY: EBS
DRAWING FILE: 5402-SITE.dwg

SCALE:
24" x 36" - 1" = NTS
11" x 17" - 1" = NTS

OWNER:
GSG ROCHESTER PROPCO, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:
NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

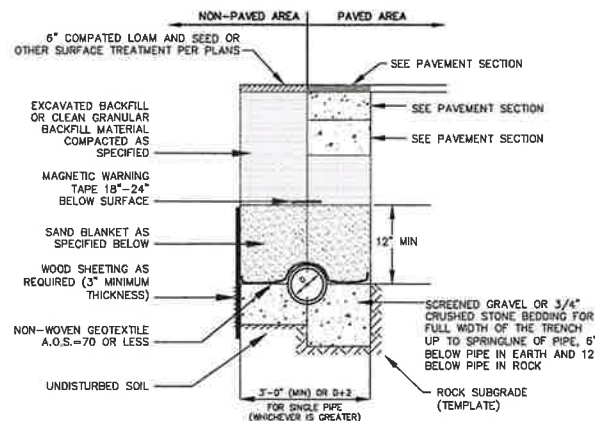
PROJECT:
ROCHESTER CHARITABLE GAMING VENUE
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

TITLE:

DETAILS
SHEET NUMBER:

C-9

P5402



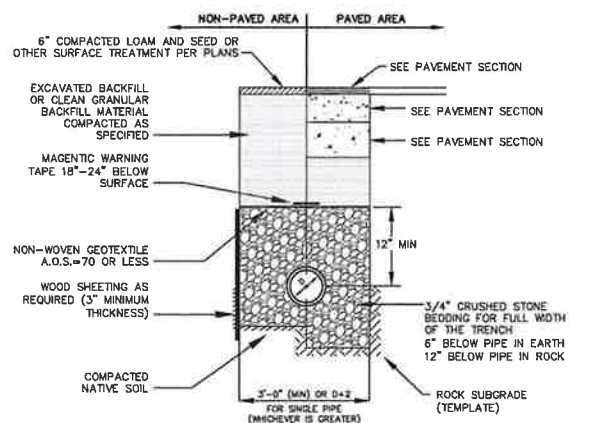
NOTES

- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
- INSULATE GRAVITY SEWER AND FORCEMAINS WHERE THERE IS LESS THAN 5"-0" OF COVER WITH 2" THICK CLOSED CELL RIGID BOARD INSULATION, 18" ON EACH SIDE OF PIPE.
- MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION AND WIDEN TRENCH ACCORDINGLY IF MULTIPLE PIPES ARE IN TRENCH.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	80 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

DRAINAGE TRENCH NOT TO SCALE



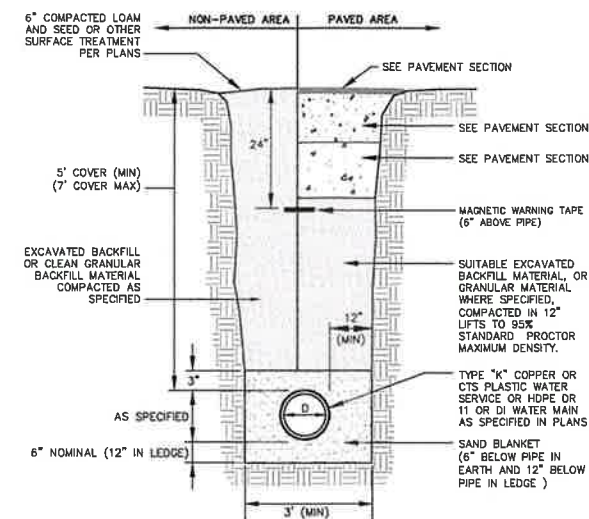
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- INSULATE GRAVITY SEWER AND FORCEMAINS WHERE THERE IS LESS THAN 5"-0" OF COVER WITH 2" THICK CLOSED CELL RIGID BOARD INSULATION, 18" ON EACH SIDE OF PIPE.
- MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION AND WIDEN TRENCH ACCORDINGLY IF MULTIPLE PIPES ARE IN TRENCH.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	80 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

SEWER TRENCH NOT TO SCALE



SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	80 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

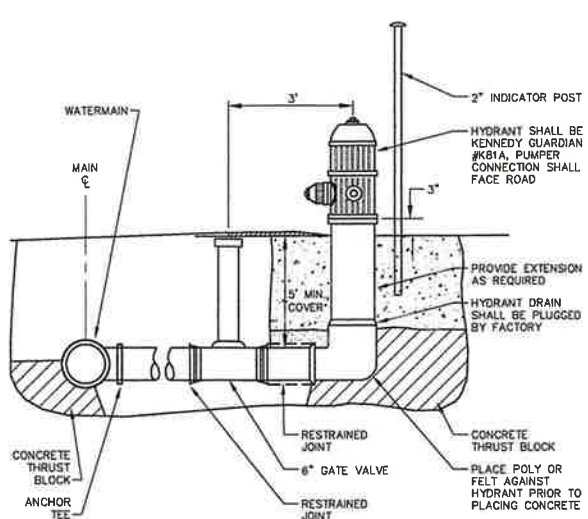
NOTES

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- ALL TRENCHING AND BACKFILL SHALL CONFORM WITH THE STANDARDS OF THE ROCHESTER DPW.

WATER MAIN TRENCH NOT TO SCALE

STANDARD TRENCH NOTES

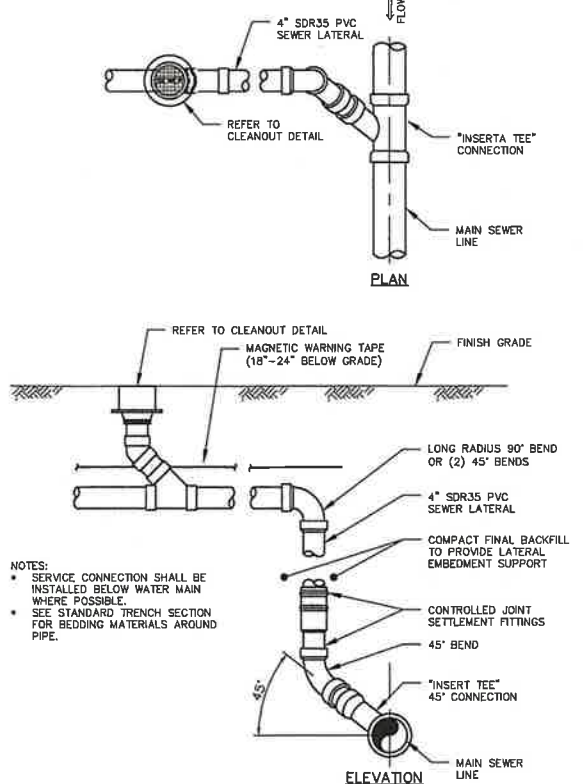
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWING.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
- SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER MEETING THE GRADATION SHOWN IN THE TRENCH DETAIL. BLANKET MAY BE REPLACED WITH BEDDING MATERIAL FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE AND THE GEOTEXTILE IS RELOCATED ACCORDINGLY.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT, OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION, AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK, OR PEAT ONLY IF SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION WILL BE PRESERVED.
- BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL, FILL AND/OR LOAM SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DOT STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
CEMENT: 8.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG
CEMENT MAXIMUM SIZE OF AGGREGATE: 1 INCH
CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
- CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL TRENCH DAMS IN ACCORDANCE WITH NHDES REGULATIONS.
- SEWER TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER FACILITIES, LATEST EDITION.



NOTES

- HYDRANT INSTALLATION AND OPERATION TO CONFORM TO REGULATIONS OF THE CITY OF ROCHESTER WATER & FIRE DEPARTMENTS. CONTACT WATER DEPARTMENT PRIOR TO INSTALLATION TO DETERMINE WHETHER HYDRANT PLUG IS TO BE REMOVED OR NOT.
- FIRE HYDRANT TO BE KENNEDY MODEL #K81A W/6" MECHANICAL JOINT SHOE W/BREAK FLANGE TO BE PROVIDED W/DRAIN, OPENING RIGHT, W/(1) 4-1/2" PUMPER AND (2) 2-1/2" NOZZLES, MEETING AWWA C502.
- HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
- FIRE HYDRANT CONNECTION SHALL USE MEGALUG (RODS NOT ALLOWED)

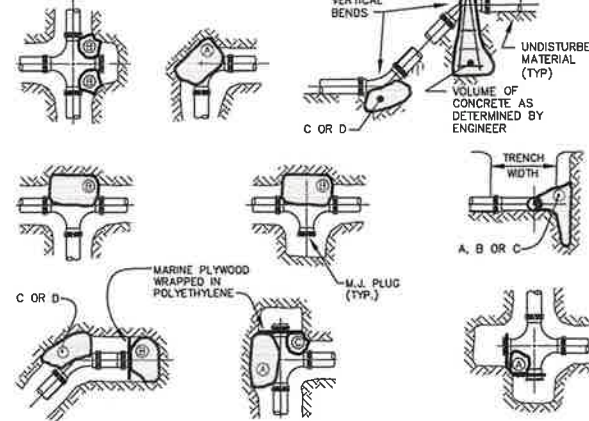
FIRE HYDRANT NOT TO SCALE



NOTES

- SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- SEE STANDARD TRENCH SECTION FOR BEDDING MATERIALS AROUND PIPE.

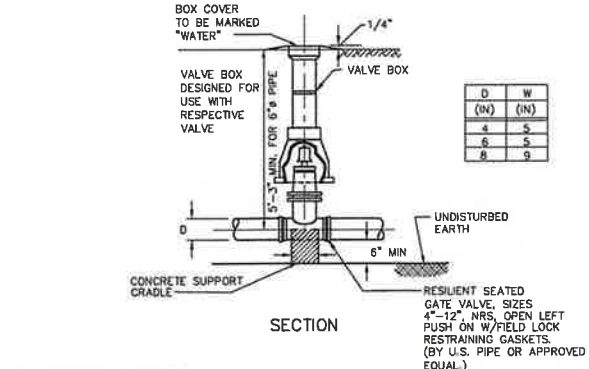
DEEP SEWER SERVICE CONNECTION NOT TO SCALE



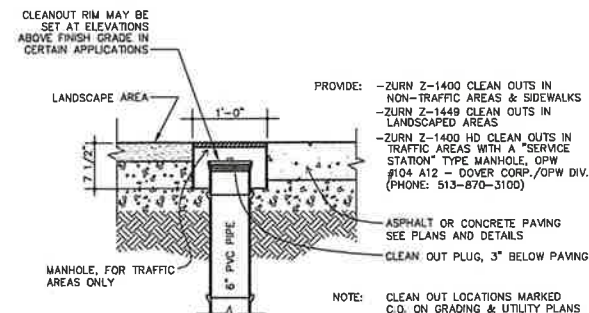
NOTES

- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
- NO JOINTS SHALL BE COVERED WITH CONCRETE. POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

THRUST BLOCKING NOT TO SCALE



WATER VALVE NOT TO SCALE



SEWER CLEANOUT NOT TO SCALE

NOT FOR CONSTRUCTION

ISSUED FOR: TRG

ISSUE DATE: JUNE 13, 2023

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	TRG		VWM	06/13/23
1	TRG		VWM	07/10/23
2	TRG		VWM	08/15/23

DRAWN BY: VWM

APPROVED BY: RW

DRAWING FILE:

SCALE:
24" x 36" - 1" = 40'
11" x 17" - 1" = NTS

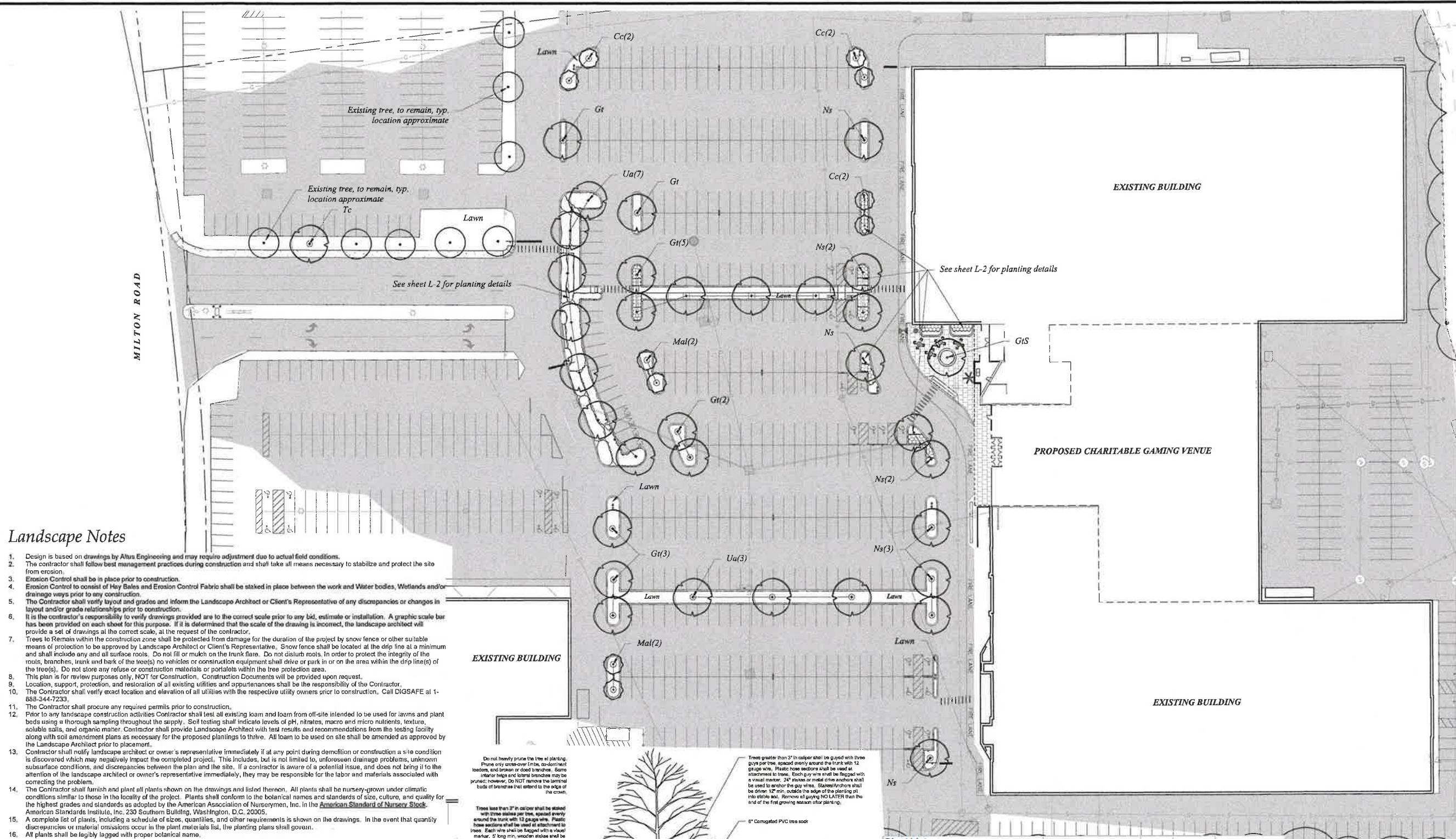
OWNER:
GSG ROCHESTER PROPCO, LLC
23 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:
NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

PROJECT:
**ROCHESTER
CHARITABLE
GAMING VENUE**
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

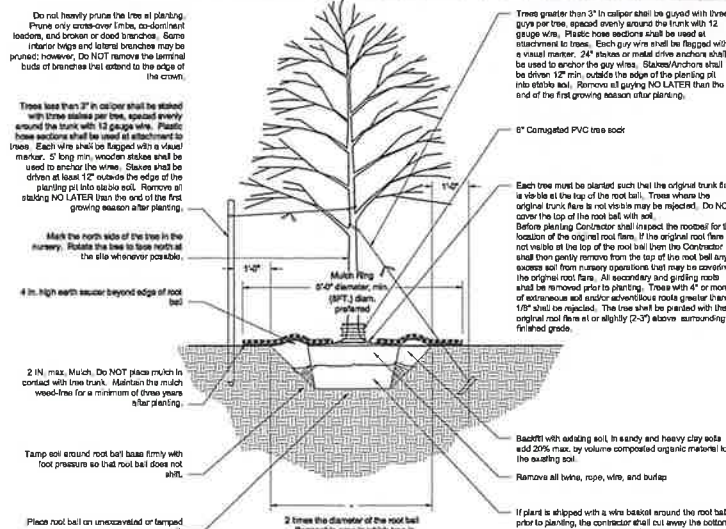
TITLE:
**LANDSCAPE
PLAN**
SHEET NUMBER:

L-1



Landscape Notes

- Design is based on drawings by Altus Engineering and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock. American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Outside hose attachments spaced a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- Contractor shall provide an alternate price for irrigating all newly landscaped areas and resetting of any existing irrigation that will be disturbed during planting. Contractor shall provide irrigation design for review by Landscape Architect or Owner's Representative when awarded the project.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/4" in width. Free of woodchips and cowpats. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond root overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.



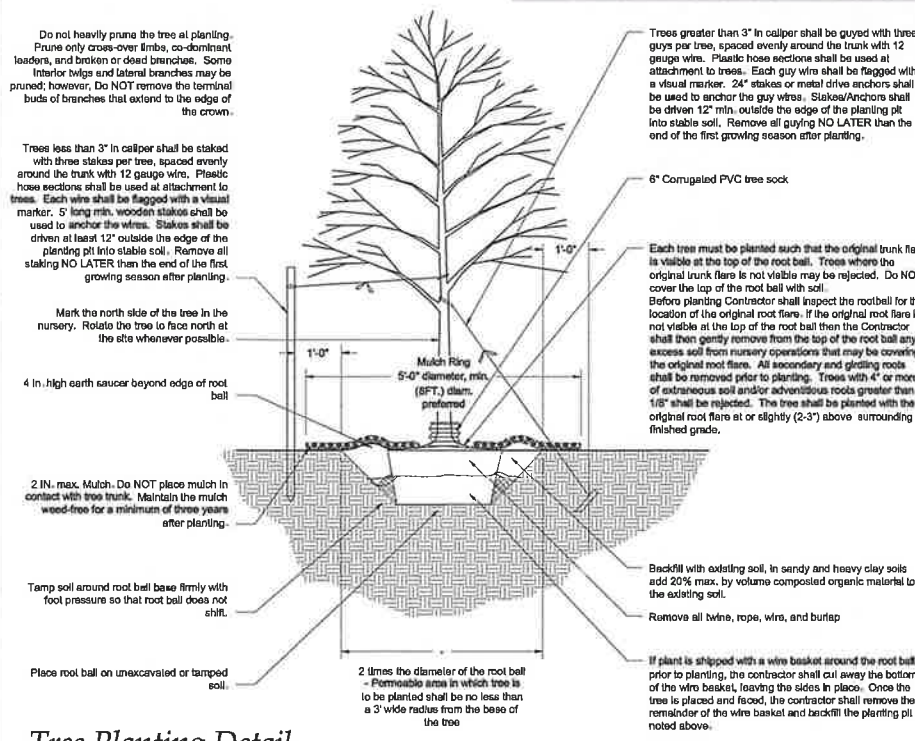
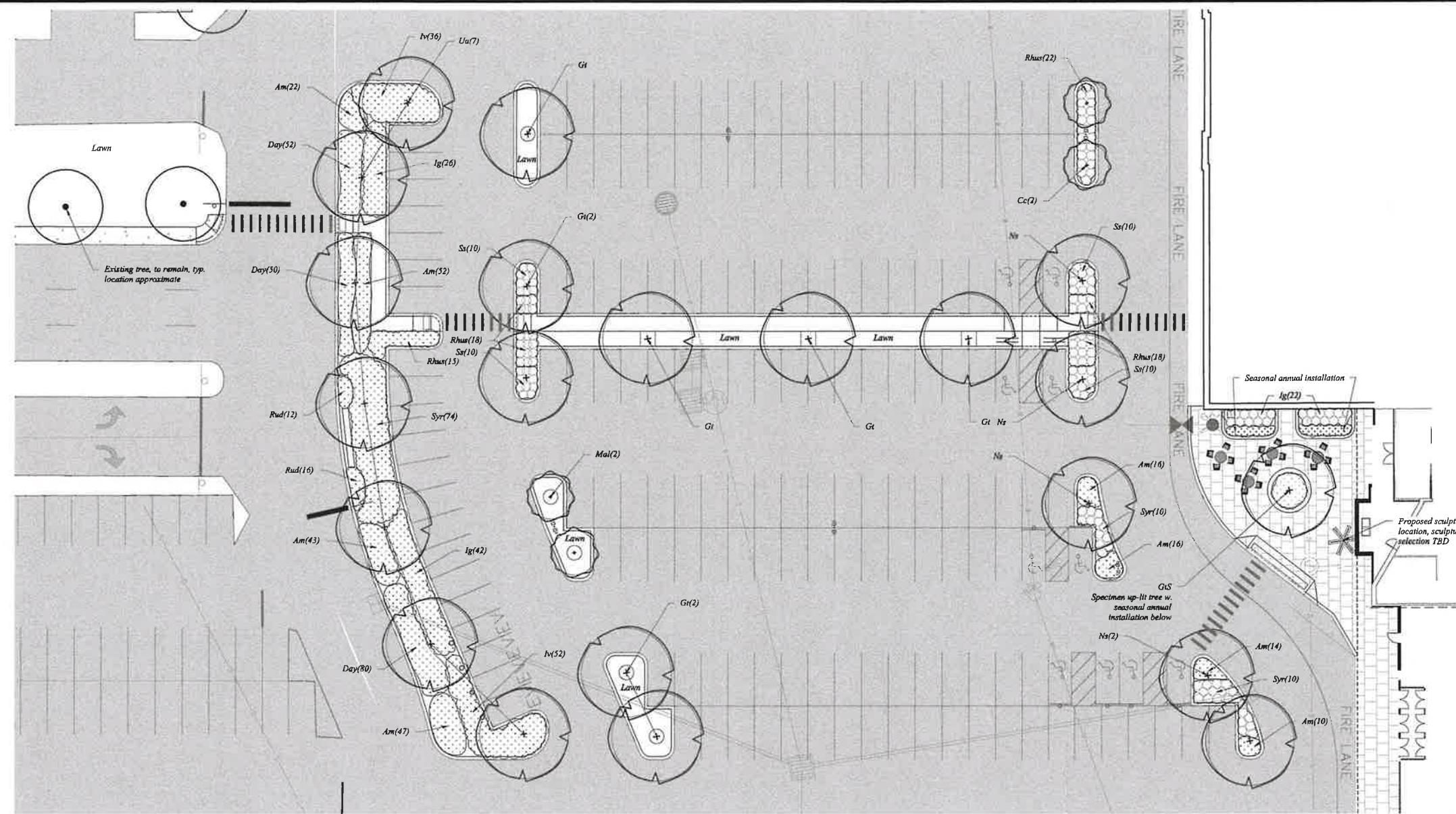
Tree Planting Detail

Plant List

TREES					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Cc	<i>Crataegus crusgali inermis</i> 'Crusader'	Thornless Cockspur Hawthorn	6	2-2.5" Cal	B&B
Gt	<i>Gleditsia triacanthos inermis</i> 'Talia'	Haltia Thornless Honeylocust	12	3-3.5" Cal	B&B
GIS	<i>Gleditsia triacanthos inermis</i> 'Talia'	Haltia Thornless Honeylocust	1	6" Cal	B&B, SPECIMEN
Mal	<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	4	2-2.5" Cal	B&B
Ns	<i>Nyssa sylvatica</i>	Black Tupelo	10	3-3.5" Cal	B&B
Tc	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	1	3-3.5" Cal	B&B
Ua	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	10	3-3.5" Cal	B&B
SHRUBS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Is	<i>Ilex coccinea</i> 'Shamrock'	Shamrock Inkberry	99	5 gal	full to ground
Iv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	88	3 gal	
Rhus	<i>Rhus aromatica</i> 'Grow-Low'	GrowLowSumac	73	3 gal	
Syr	<i>Syringa 'Bloomerang Dwarf Purple'</i>	Lilac	94	5 gal	
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Am	<i>Anemone hepatica</i>	Blue Star Flower	220	1 gal	
Ss	<i>Schizachyrium scoparium</i>	Little Bluestem	40	1 gal	
Dav	<i>Hemerocallis 'Big Time Happy'</i>	Big Time Happy Daylily	182	1 gal	
Rud	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-Eyed Susan	28	1 gal	

0 10 20 40 80





Plant List					
TREES					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Cc	<i>Crataegus crusgalli</i> 'Inermis' 'Crusader'	Thornless Cockspur Hawthorn	8	2-2.5' Cal	B&B
Gi	<i>Gleditsia triacanthos</i> 'Inermis' 'Halka'	Halka Thornless Honeylocust	12	3-3.5' Cal	B&B
GrS	<i>Gleditsia triacanthos</i> 'Inermis' 'Halka'	Halka Thornless Honeylocust	1	5' Cal	B&B, SPECIMEN
Mal	<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	4	2-2.5' Cal	B&B
Na	<i>Nyssa sylvatica</i>	Black Tupelo	10	3-3.5' Cal	B&B
Tc	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	1	3-3.5' Cal	B&B
Ua	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	10	3-3.5' Cal	B&B
SHRUBS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Ig	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	90	5 gal	full to ground
Iv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	88	3 gal	
Rhus	<i>Rhus aromatica</i> 'Grow-Low'	Grow-Low Sumac	73	3 gal	
Syr	<i>Syringa 'Blauer Engel'</i>	Blue Lilac	94	5 gal	
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Am	<i>Amsonia nutchii</i>	Blue Star Flower	220	1 gal	
Ss	<i>Scilla maritima</i>	Little Bluebell	40	1 gal	
Day	<i>Hebe 'Big Time Happy'</i>	Big Time Happy Davy	182	1 gal	
Rud	<i>Rudbeckia hirta</i> 'Goldsturm'	Black-Eyed Susan	28	1 gal	

Tree Planting Detail

133 Court Street
(603) 433-3335

Portsmouth, NH 03801
www.altus-eng.com

103 Kent Place
Newmarket, New Hampshire
Phone: 603.658.5949

NOT FOR CONSTRUCTION

ISSUED FOR: TRG

ISSUE DATE: AUGUST 15, 2023

REVISIONS
NO. DESCRIPTION BY DATE
0 TRG VMM 08/15/23

DRAWN BY: VMM
APPROVED BY: RW
DRAWING FILE:

SCALE:
24" x 36" - 1" = 20'
11" x 17" - 1" = NTS

OWNER:
GSG ROCHESTER PROPCO, LLC
23 ELM ST., PMB 7
MANCHESTER, NH 03101

APPLICANT:
NEW ENGLAND GAMING
AND CONSULTING, LLC
923 ELM ST., PMB 7
MANCHESTER, NH 03101

PROJECT:
ROCHESTER CHARITABLE GAMING VENUE
TAX MAP 222 LOT 94
5 MILTON ROAD
ROCHESTER, NH

TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-2