



MAJOR SUBDIVISION APPLICATION

(a total of four or more lots)

City of Rochester, New Hampshire

Date: _____ Is a conditional needed? Yes: _____ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: _____; Lot #'s): _____; Zoning district: _____

Property address/location: _____

Name of project (if applicable): _____

Size of site: _____ acres; Overlay zoning district(s)? _____

Property owner

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/surveyor

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Email address: _____ Professional license #: _____

Proposed project

Number of proposed lots: _____; estimated length of new roads: _____

Number of cubic yard of earth being removed from the site? _____

City water? yes ____ no ____; How far is city water from the site? _____

City sewer? yes ____ no ____; How far is city sewer from the site? _____

If city water, what are the est. total gal. per day? _____; Are there pertinent covenants? ____

Where will stormwater be discharged? _____

Wetlands: Is any fill proposed? ____; area to be filled: ____; buffer impact? ____

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Subdivision application to the City of Rochester Planning Board pursuant to the City of Rochester Subdivision Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: _____

Major Subdivision Checklist

(Major subdivisions a total of 4 or more lots)

**To be filled out by applicant/agent (with notes to be inserted by staff)*

See regulations for other specific requirements

City of Rochester Planning & Development Department

Project Name: _____ Map: _____ Lot: _____ Date: _____
Applicant/agent: _____ Signature: _____
(Staff review by: _____ Date: _____)

General items

	Yes	No	N/A	Waiver Requested	Comments
4 sets completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Total application fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
4 copies of narrative	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
3 sets of full-size plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
2 sets of 11 X 17 reductions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Completed abutters list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Copy of existing covenants, easements, and deed restrictions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

Plan Information

Basic information including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Title sheet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Name of project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Legend	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Revision block	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Vicinity sketch - no less than 1" = 1,000'	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Approval block (for signature by staff attesting to Planning Board approval)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Name and address of developer/applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Name, stamp, and NH license # of licensed land surveyor for platting	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

General items Continued

	Yes	No	N/A	Waiver Requested	Comments
Name, stamp, and NH license # of licensed engineer for streets, utilities and drainage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
City tax map & lot #'s	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Subdivision approval statement (per regulations)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Notation on plans: "For more information about this subdivision contact..."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
References to neighboring plans and subdivisions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Information on abutting properties:					
• owner name	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• owner address	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• tax map and lot #	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• square footage of lots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• approximate building footprints	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Zoning

Zoning designations of subject tract and in vicinity of tract	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Zoning requirements for district:					
• frontage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• lot dimensions/density	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• all setbacks	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• lot coverage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Zoning overlay districts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Existing Topographic Features

Contour lines and spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Soil types and boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Soil test pit locations, profiles, and depth to water table and ledge	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Percolation test locations and results	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Existing Topographic Features Continued

	Yes	No	N/A	Waiver Requested	Comments
Water features (ponds, streams)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands including name of certified wetlands scientist & license # who delineated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Statement whether located in flood area, and if so, 100 year flood elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Delineation of treed and open areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overview of types of trees and vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of rock outcroppings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Stone walls and archaeological features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Locations of trails and paths	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing buildings/structures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing driveways and access points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Platting

Surveyed property lines including:

- existing and proposed bearings
- existing and proposed distances
- existing and proposed pins

Existing and proposed location of:

- monuments
- benchmarks

Proposed square footage for each lot

Subdivision # on each lot (1, 2, 3, etc.)

Include error of closure statement

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Streets

	Yes	No	N/A	Waiver Requested	Comments
Street plan (including utilities)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Street profiles including vertical data and street stations and utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Street cross sections including (if appropriate):	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• width of pavement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• travel and parking lanes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• striping	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• curbing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• lawn strips	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• sidewalks	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
• street trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• drainage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• structure of base and pavement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
• all utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Curb, intersection, and cul de sac radii	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Limits of construction/ground disturbance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Traffic control devices (stop signs, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Street light locations and details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Spacing, species, specifications for street trees	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscaped island in cul de sacs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed street names	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Utilities

Show existing and proposed for all subject lots and within right of way. Include plans, profiles, sizes, materials, and all appropriate details.

Water lines/well (with appropriate radius)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sewer lines/septic and leaching areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

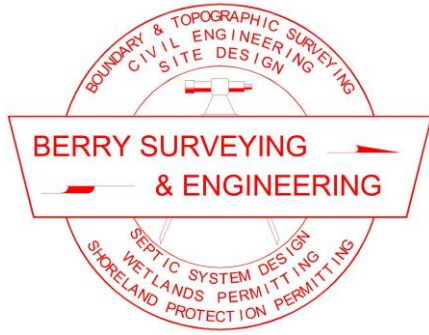
Utilities Continued

	Yes	No	N/A	Waiver Requested	Comments
Pump stations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Stormwater management system: pipes, culverts, catch basins, detention/ retention basins, swales, rip rap, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire hydrant locations and details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Electric, telephone, cable TV (underground)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Gas lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Other Elements

Phasing plan, if appropriate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Traffic study, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Drainage study with calculations, storm water impact analysis, and mitigation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Grading plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Earth being removed from site(in cubic yards)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Erosion and sedimentation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Mitigation plan for environmental impacts during construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed open space areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed recreation facilities on site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
School bus pickup/drop off plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed covenants, easements, and deed restrictions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fiscal impact study (if requested)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Road Acceptance Policy and Procedure: Is there a public road proposed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<i>If yes, Have you read and understand the Road acceptance procedure?</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Additional Comments:



BERRY SURVEYING & ENGINEERING

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crberry@metrocast.net

City of Rochester Office of Planning & Development

Attention: Shanna Saunders, Director

33 Wakefield Street

Rochester, NH 03867,

October 24, 2023

Re: RBV Realty LLC
324 Blackwater Road
9 Lot Major Conservation Subdivision

Ms. Saunders,

On behalf of our client, RBV Realty LLC & Managing Member Rebecca Mathews, Berry Surveying & Engineering (BS&E) is submitting for TRG, a subdivision application to discuss a proposed 9 Lot Major Conservation Subdivision at 324 Blackwater Road.

Background and General Narrative:

RBV owns the parcel at 324 Blackwater Road in Rochester, NH (Tax Map 264, Lot 11). Berry Surveying & Engineering has conducted a complete on-site survey of the parcel which includes a topographic analysis as well as a wetlands analysis and delineation. Wetlands were found in the central area of the parcel and along Clark Brook, which creates the rear boundary of the parcel. The remainder of the site consists of gentle slopes which contain good soils groups A and B. C soil groups are found adjacent to the wetland's areas. There are some 25% slopes found onsite, mostly located within the wetland buffer areas. Deidra Benjamin CWS, delineated the wetlands on site and John P. Hayes CWS, CSS has conducted a site-specific soils map (SSSM) for the project.

The Proposal:

The proposal is to construct a short cul-de-sac less than 620.95 linear feet to the neck and develop 9 single family lots along the new infrastructure. The proposed units are clustered around the end of the roadway, which allows the units to be furthest from abutting land owners as well as environmentally sensitive areas. The plan provides the yield plan calculations using the adjusted tract acreage approach. This calculation finds that the permitted density of the project is 11.43 units, however the project design proposes 9 in an effort to de-congest the site. This allows for many of the other ideals and objectives of the Conservation Subdivision to be maintained.

The entrance roadway is proposed to be offset from the abutting boundary line to the north, along 316 Blackwater Road, owned by Mr. O'leary. By providing a wider right of way, the center of the road can be shifted south slightly to allow for the required grading and provide a buffer along the boundary line. The buffer is currently proposed to be constructed of a 6' stockade fence which was agreed to by the applicant and the abutter.

The clustering of the proposed units is designed to provide a minimum of a 25' buffer to the abutting boundary line to the north, along the Arbor Way development. Based on this design the closest abutting housing unit is 75' to the corner of the first proposed lot in the proposed subdivision. Based on the designed shape of the clustered group, the open space increases in depth along the boundary line, which incrementally increases the distance between the remaining abutting housing unit and the proposed development lots.

A balance was made between the wetland setback around the internal wetland system and the wetland system adjacent to Clark Brook. Separation to the internal system remains to allow for the construction of a stormwater Rain Garden, which is intended to provide for treatment and ground water recharge. The design is careful not to provide for private lots to extend into the wetland setback boundary in an effort to dissuade private land owners from manipulating the buffer. It was noted however, in a preliminary meeting with the Planning Staff, that providing larger lots over the minimum required area is preferred in this case to ensure there is adequate tillage area around each home. This is specifically important at the rear of each home site. The smallest proposed lot is 7,200 Sq.Ft., in size and each lot provides 30-35' from the shown deck to the rear lot line. The project design is careful to provide direct access to the open space from each lot.

Based on the NFPA water availability requirements, the applicant is proposing residential sprinklers in the homes within the subdivision. There is no public water supply in the area of the project, and a cistern for this project type and layout is not practical. The fire truck design is provided at the rear of the plan set to ensure the cul-de-sac is adequate as well as the entrance radii.

Based on the initial TRG meeting concerning the former project design, the applicant has hired Abigail Thompson Fopiano, P.G. to review the existing well on the site for use as a common well for the proposed community. Based on her initial review and findings it was determined that one well servicing the project is a better alternative to multiple wells throughout the site. The project now proposes three less single-family users on the site and thus reduces the overall water consumption demand. Use of the existing well is being evaluated with a secondary location chosen in close proximity if needed. Based on the load, the well is not considered a community well. If filtering is needed in the system having one well on-site may simplify this process and allow for ease of maintenance with the HOA in the future.

Based on the proposed lot sizes, and to simplify construction, the applicant is proposing a common sewer collection system which is routed to a common effluent disposal field. Each



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home will be equipped with a septic tank which will connect to the community EDA. Each tank is proposed to be two chambers to provide only effluent discharge to the EDA. There is a clarification tank provided ahead of the EDA for an additional level of protection to promote longevity in the field.

The project requires a gravel wetland to be placed in the front southern corner of the property to provide the required treatment for the standards of Chapter 218 as well as NHDES Alteration of Terrain. This will provide treatment, attenuation and volume control prior to discharge into the local 50' buffer. The design is careful to place the gravel wetland north of the abutting boundary line in an effort to provide some separation and potential for landscaping post construction. The current design schematic allows for a 20' wooded buffer to remain. The flow from this gravel wetland enters the central wetland and then flows along the eastern boundary line in a constructed swale partially on the subject parcel and partially on the abutting parcel prior to discharge into Clark Brook. The design is cognizant of the need to reduce flows and volumes to this shared swale so as not to affect the abutting land owner or downstream infrastructure. An infiltration area is designed up slope of the gravel wetland to capture flow from the proposed recreation space and infiltrate that into the ground.

A gravel wetland is proposed against the cul-de-sac to treat and attenuate flow from the developed area of the cul-de-sac. This area flows to the center wetland and then to the discharge point noted above. The remainder of the developed site is directed to an infiltration rain garden at the rear of the project site.

In addition to the required open space, free of infrastructure encumbrances, the project proposes a larger open field area to be used by the community. The applicant proposes to grade and gently slope this area to be used for field space. A dedicated parking area is proposed at the recreation space which includes the mail kiosk, sight lighting, sitting areas and a bike rack. A robust landscaping package along the roadway is provided with buffer enhancements reviewed in key areas. There are no encroachments into the wetland buffer and there are no proposed wetlands crossings.

As intimated above, the project will require an HOA be formed to maintain the Stormwater treatment areas, sewer and water systems, recreation space and manage the open space areas. Wetland buffers will be monitored by the HOA for performance with the City of Rochester Zoning requirements.

Respectfully submitted,
BERRY SURVEYING & ENGINEERING

Christopher R. Berry, SIT
Principal, President



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October 23, 2023

City of Rochester Office of Planning and Development
Attention: Shanna Saunders, Director
33 Wakefield Street
Rochester, NH 03867

RE: RBV Realty LLC
324 Blackwater Road
9 Lot Major Conservation Subdivision
Waiver Request(s)

Chairperson & Members of the Rochester Planning Board:

In accordance with the Subdivision Regulations, the following waiver is hereby requested:

1. Identification of Waiver Request: Section 6.4.1 Minimum Drainage Pipe Cover

- Due to the existing topography of the site and the elevation of the discharge locations the culvert pipes within the subdivision are designed to have 2' of cover.

Explanation:

The site topography has shallow outlet elevations to the natural flow patterns and restrictions on infiltration based on the elevation of the seasonal high-water tables. The project is designed so the culverts have 2' of cover which is a common depth in well drained soil areas and areas where under drain is proposed to ensure the gravels stay dry during all seasons. An alternative to the project design would be to encroach within the wetland buffer to reach a lower elevation to discharge. This was avoided with the use of 2' of cover. Alternatively the entire site could be lifted to achieve the cover requirements over some of the culverts but not all of them, specifically the entrance culverts.

Waiver Justification:

a. Granting the waiver will properly carry out the purpose and intent of the regulations.

The intent of this regulation is to ensure adequate cover of the pipe to ensure the least amount of heaving as possible. In this case the applicant is proposing under drains in areas that would ordinarily not require them to ensure the select gravel material remains dry and reduces the freeze-thaw effect. In areas where appropriate reinforced concrete culvert is used.

b. Strict conformity to the regulations would pose an unnecessary hardship to the applicant.

Strict conformity to this regulation would require either additional fill, which would require additional overall impact on the land or disturbance within the wetland buffers, which was specifically avoided with this design.

In accordance with the Chapter 218 Regulations, the following waiver is hereby requested:

2. Identification of Waiver Request: 218-10.F(2)d

- To permit CB #3 and DI #1 to have cleaning velocities less than prescribed.

Explanation:

The applicant is proposing two basins which do not meet the prescribed cleaning velocity due to the contributing land area being small. Placement of the basins are based on the entrance profile sag and corresponding swale line.

Waiver Justification:

a. Granting the waiver will properly carry out the purpose and intent of the regulations.

The intent of this regulation is to typically ensure there is adequate cleaning velocity within cross culverts which receive larger volumes of sediment from unpaved contributing areas to ensure inlet and outlets do not become clogged with debris. In this case the entrance sag is designed with a curb and a basin whereas it presents a nicer design solution than an open swale. The contributing area is small and therefore the sediment load is also small and cleaning velocities are less important. The drop inlet is proposed in a swale which will provide for a larger level of sediment removal and therefore the velocity requirement in the DI is not required.

b. Strict conformity to the regulations would pose an unnecessary hardship to the applicant.

Strict conformity to this regulation would require a less superior design change which is a hardship on the project.

BERRY SURVEYING & ENGINEERING

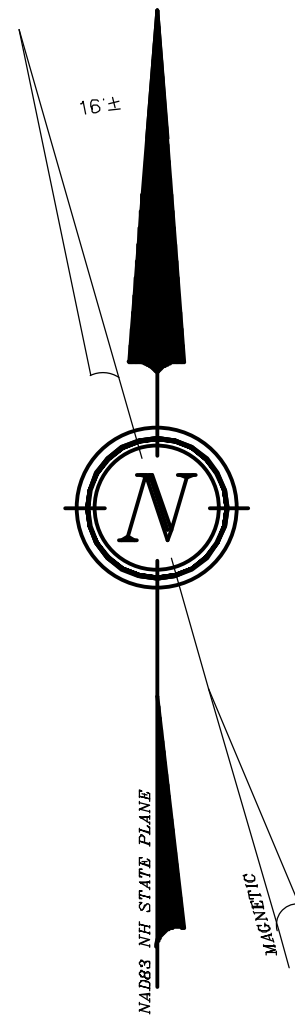
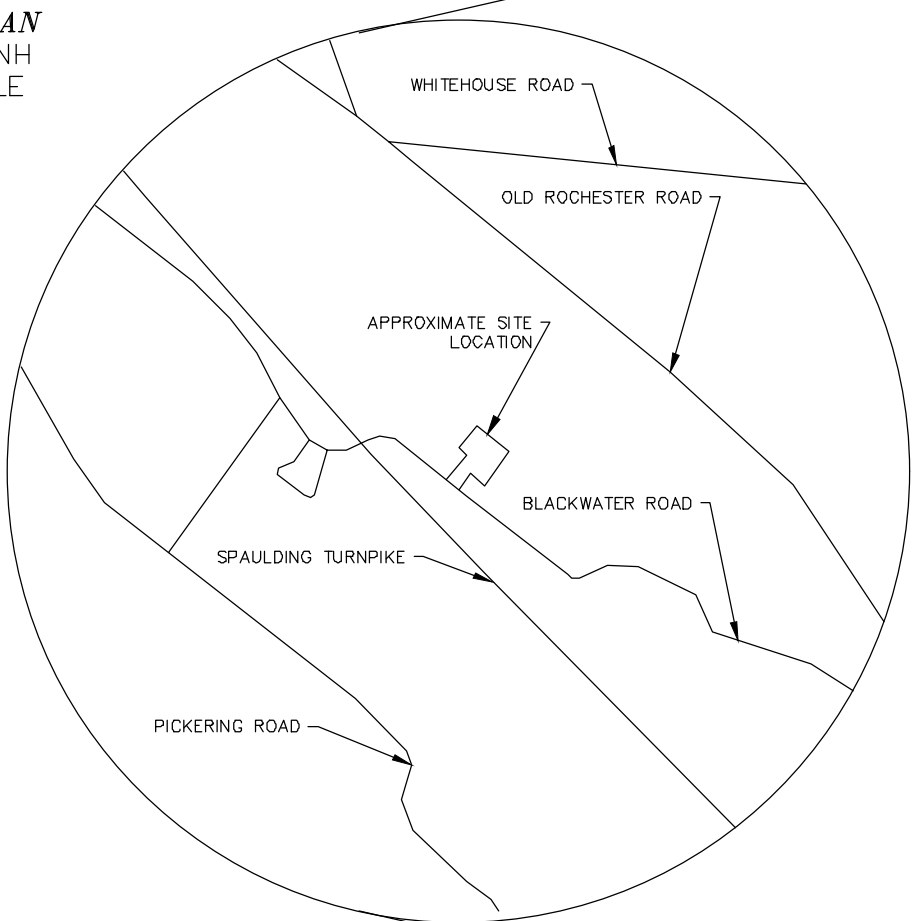
Christopher R. Berry, S.T., Project Manager
Principal, President

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SHEET 2	~	PROJECT NOTES
SHEET 3	~	BOUNDARY PLAN*
SHEET 4	~	EXISTING CONDITIONS PLAN
SHEET 5	~	SITE SPECIFIC SOILS MAP
SHEET 6	~	TEST PIT DATA
SHEET 7	~	OVERVIEW SUBDIVISION PLAN*
SHEET 8	~	DETAIL SUBDIVISION PLAN WEST*
SHEET 9	~	DETAIL SUBDIVISION PLAN EAST*
SHEET 10	~	DETAIL SUBDIVISION PLAN SOUTH*
SHEET 11	~	OVERVIEW TOPOGRAPHIC SUBDIVISION PLAN
SHEET 12	~	DETAIL TOPOGRAPHIC SUBDIVISION PLAN WEST
SHEET 13	~	DETAIL TOPOGRAPHIC SUBDIVISION PLAN EAST
SHEET 14	~	DETAIL TOPOGRAPHIC SUBDIVISION PLAN SOUTH
SHEET 15	~	EASEMENT PLAN*
SHEET 16	~	OVERVIEW SITE PLAN
SHEET 17	~	DETAIL SITE PLAN 0+00-5+50
SHEET 18	~	DETAIL SITE PLAN 5+50-END
SHEET 19	~	GRADING OVERVIEW PLAN
SHEET 20	~	PLAN & PROFILE 0+00-5+70
SHEET 21	~	PLAN & PROFILE 5+70-END
SHEET 22	~	FOUNDATION DRAIN PROFILE
SHEET 23	~	P-101 GRAVEL WETLAND PLAN
SHEET 24	~	P-101 GRAVEL WETLAND DETAIL
SHEET 25	~	P-102 GRAVEL WETLAND PLAN
SHEET 26	~	P-102 GRAVEL WETLAND DETAIL
SHEET 27	~	P-103 RAIN GARDEN W/ INFILTRATION
SHEET 28	~	P-104 DETENTION POND PLAN
SHEET 29	~	P-105 INFILTRATION POND PLAN
SHEET 30	~	EROSION & SEDIMENT CONTROL PLAN
SHEET 31	~	UTILITY OVERVIEW PLAN
SHEET 32	~	UTILITY PLAN & PROFILE 0+00-5+70
SHEET 33	~	UTILITY PLAN & PROFILE 5+70-END
SHEET 34	~	ADVANCED ENVIRO-SEPTIC DESIGN
SHEET 35	~	LANDSCAPING OVERVIEW PLAN
SHEET 36	~	LANDSCAPING 0+00-5+70
SHEET 37	~	LANDSCAPING 5+70-END
SHEET 38	~	LIGHTING PLAN
SHEET 39	~	CROSS SECTIONS
SHEET 40	~	SIGHT DISTANCE PLAN
SHEET 41	~	FIRE TRUCK TURNING ENTRANCE
SHEET 42	~	FIRE TRUCK TURNING CUL-DE-SAC
SHEET 43	~	E101-SEDIMENT & EROSION DETAILS
SHEET 44	~	E102-SEDIMENT & EROSION DETAILS
SHEET 45	~	C101-CONSTRUCTION DETAILS
SHEET 46	~	C102-CONSTRUCTION DETAILS
SHEET 47	~	D101-DRAINAGE DETAILS
SHEET 48	~	D102-DRAINAGE DETAILS
SHEET 49	~	U101-UTILITY DETAILS
SHEET 50	~	U102-UTILITY DETAILS
SHEET 51	~	U103-UTILITY DETAILS
SHEET 52	~	L101-LANDSCAPING DETAILS
SHEET 53	~	W101-WILDLIFE IDENTIFICATION PLANS
SHEET 54	~	R101-ROCHESTER CH. 218 STORMWATER REQUIREMENTS & NOTES

* DENOTES THAT A PLAN IS TO BE RECORDED AT THE S.C.R.D.

LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



9-LOT MAJOR RESIDENTIAL SUBDIVISION
FOR
RBV REALTY LLC
324 BLACKWATER ROAD
ROCHESTER, NH
TAX MAP 264, LOT 11

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: DEIDRA BENJAMIN, CWS
100 LEAVITT RD
PITTSFIELD, NH 03263
(603) 496-3307

SOIL SCIENTIST: JOHN P. HAYES III, CWS, CSS
7 LIMESTONE WAY
NORTH HAMPTON, NH 03862
(603) 776-5825

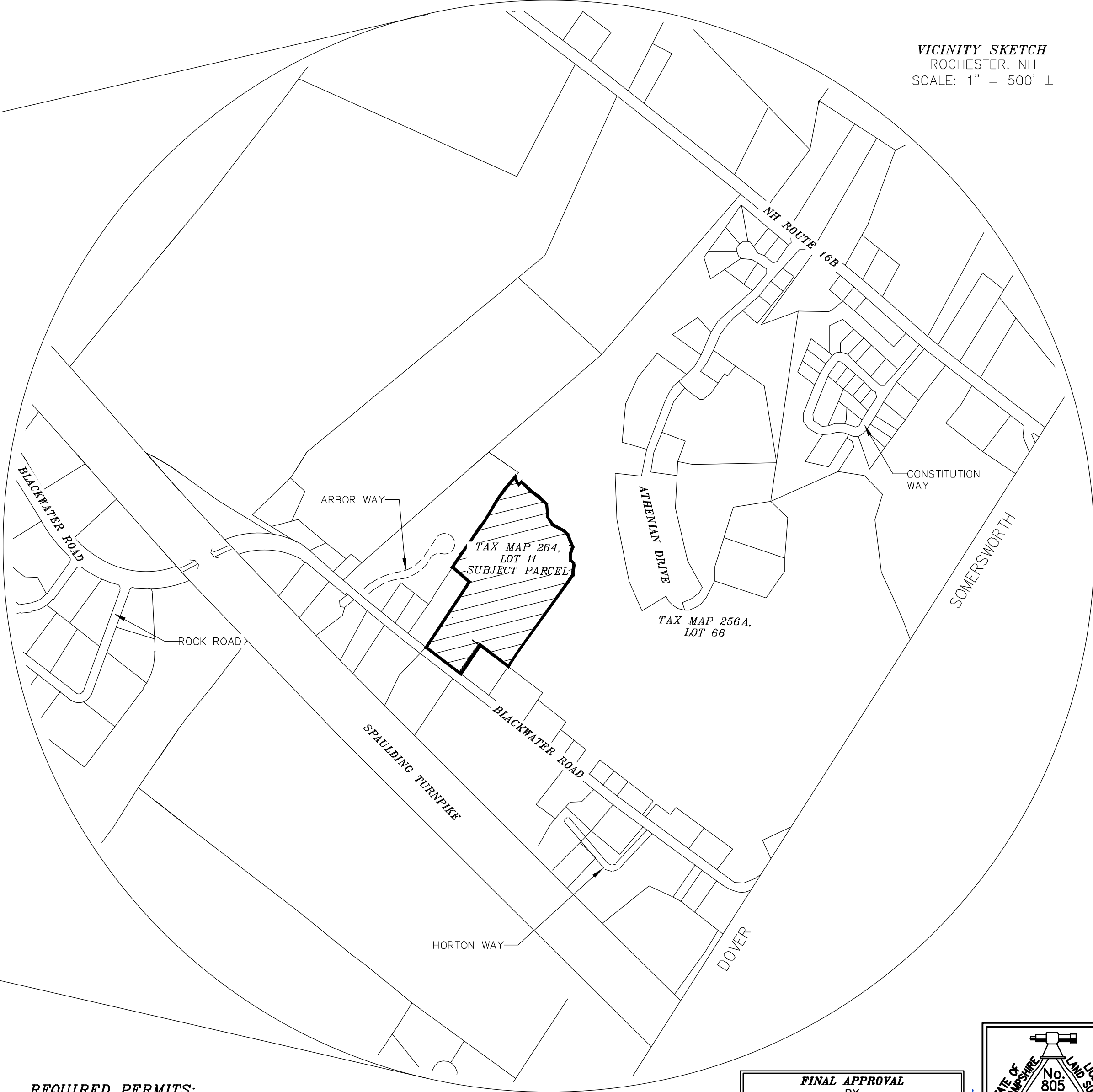
OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884

APPLICANT: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CITY OF ROCHESTER PLANNING DEPARTMENT.

VICINITY SKETCH
ROCHESTER, NH
SCALE: 1" = 500' ±



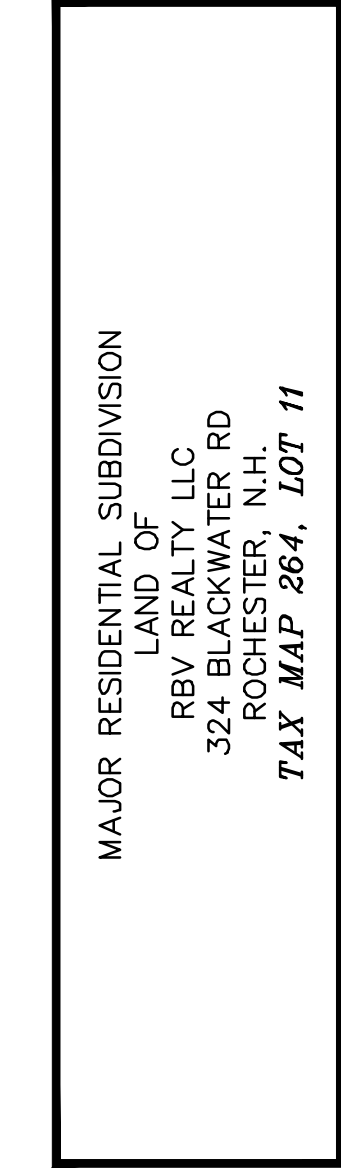
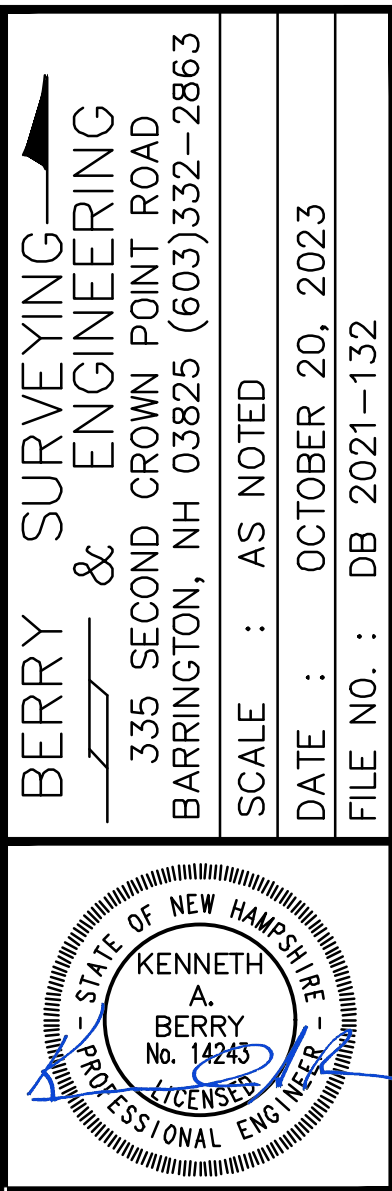
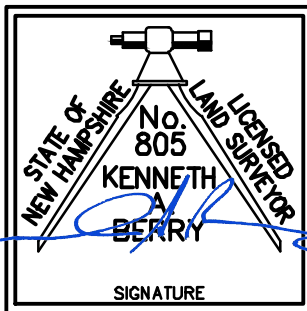
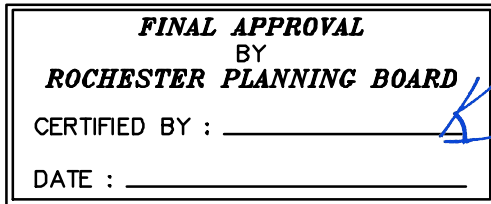
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE TWICE THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.

REQUIRED PERMITS:

- 1.) NHDES SUBDIVISION APPROVAL
- 2.) NHDES ALTERATION OF TERRAIN
- 3.) EPA NOI/SWPPP



REVISION	DATE	DESCRIPTION

ABBREVIATION LEGEND:

BITUM.	BITUMINOUS
E.O.P.	EDGE OF PAVEMENT
V.G.C.	VERTICAL GRANITE CURB
E.S.H.W.T	ESTIMATED SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.C.	UNDER GROUND ELECTRIC / UTILITY
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
INV.	INVERT
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
E.T.W.	EDGE OF TRAVELED WAY
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
R.O.W.	RIGHT OF WAY
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVATURE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EX.	EXISTING
PROP.	PROPOSED
STA.	STATION
/.	FOOT / FOOT

SSL () ~ {SIZE}	SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ {SIZE}	DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ {SIZE}	SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL () ~ {SIZE}	SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ {SIZE}	DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

ADJUTERS WITHIN 200':

CBDA DEVELOPMENT LLC
1662 ELM ST
MANCHESTER, NH 03101
TAX MAP 256A, LOT 68

JEFFREY S & SHARON L COPP
344 BLACKWATER RD
ROCHESTER, NH 03867
TAX MAP 264, LOT 13

DAWN CHESTNUT
332 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 4229, PAGE 375
TAX MAP 264, LOT 12

JUSTIN OLEARY
316 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 4734, PAGE 665
TAX MAP 264, LOT 10

SHIRLEY AVENUE COOPERATIVE
10 ARBOR WAY
ROCHESTER, NH 03867
BOOK 1405, PAGE 254
TAX MAP 264, LOT 7

ADJUTERS WITHIN 200' CONT.:

ANITA H. GOODWIN & ROSCOE PHILLIP
LITTLEFIELD JR.
310 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 3975, PAGE 883
TAX MAP 264, LOT 9

MICHAEL POULIN
288 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 1469, PAGE 152
TAX MAP 264, LOT 5

GEORGE B & ELIZABETH JENNESS
333 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 2364, PAGE 489
TAX MAP 264, LOT 38

BRANDON M. & AMY L. BURKE
321 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 4325, PAGE 233
TAX MAP 264, LOT 37-1

KEVIN & STEPHANIE BURKE
313 BLACKWATER RD
ROCHESTER, NH 03867
BOOK 993, PAGE 622
TAX MAP 264, LOT 37

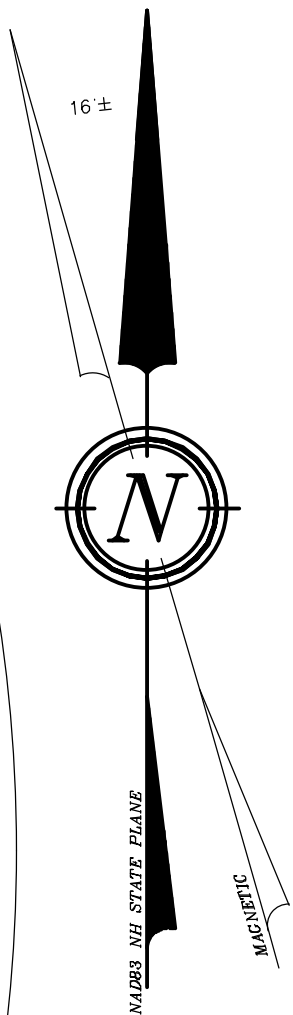
EXISTING LEGEND:

	IRON BOUND/REBAR ~FND~
	DRILL HOLE ~FND~
	IRON PIPE OR GUN BARREL ~FND~
	STONE POST
	UTILITY POLE
	GUY WIRE
	SIGNAGE
	TEST PIT
	TEMPORARY BENCHMARK (T.B.M.)
	BLAZED/PAINTED TREE
	BUILDING SETBACK LINE
	STREAM
	POORLY DRAINED JURISDICTIONAL WETLAND
	25' WETLAND BUFFER
	50' WETLAND BUILDING SETBACK LINE
	STONE WALL
	NRCS SOIL DELINEATION LINE
	SITE SPECIFIC SOIL LINE
	LIMIT OF SOIL SURVEY
	OVERHEAD UTILITIES LINE
	UNDERGROUND UTILITIES LINE
	EXISTING DRAIN CULVERT
	CONTOUR MINOR, EXISTING
	CONTOUR MAJOR, EXISTING
	CENTERLINE STREAM/BOUNDARY LINE
	SURVEY TIE LINE
	TREELINE
	NRCS SOIL DELINEATION LINE & LABEL
	SITE SPECIFIC SOILS MAP SOIL LINE
	LIMIT OF SOIL SURVEY
	SITE SPECIFIC SOILS MAP SOIL SERIES
	S.C.R.D.
	TYP. FND

PROPOSED LEGEND:

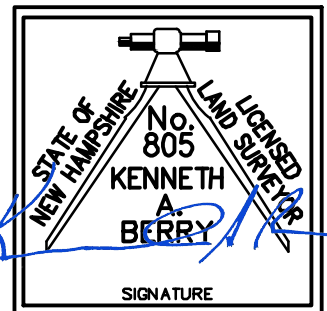
	4"x4" GRANITE BOUND ~TBS~
	3/4" REBAR W/ ID CAP ~TBS~
	1/2" EASEMENT REBAR W/ ID CAP ~TBS~
	PROPOSED SUBDIVISION LINE
	PROPOSED EASEMENT LINE
	LAMP "A" STREET LIGHT
	LAMP "B" MOUNTED ON UNIT
	SIGNAGE
	CHECK DAM-MATERIAL AS SPECIFIED
	FLOW ARROW
	WELL
	DETAIL SHEET / DETAIL
	RIP RAP
	STORMWATER BEST MANAGEMENT PRACTICE (BMP)
	BERM
	DRAIN MANHOLE W/ STRUCTURE
	CATCH BASIN W/ STRUCTURE
	STORMWATER BMP OUTLET STRUCTURE
	TERMINAL FLUSHING MANHOLE W/ STRUCTURE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	GATE VALVE
	CURB STOP
	POST HYDRANT
	THRUST BLOCKS
	CONTOUR MINOR, PROPOSED
	CONTOUR MAJOR, PROPOSED
	DRAIN CULVERT, PROPOSED
	SHOULDER
	ROAD CENTER LINE
	BUILDING SETBACK LINE
	125' PROTECTIVE WELL RADIUS (NHDES)
	NITRATE SETBACK
	TRANSFORMER / J-BOX
	UNDERGROUND UTILITY
	UNDER DRAIN
	SILT FENCE / EROSION MIX BERM
	FILTREX 8" - 12" SILT SOX AS SPECIFIED
	PERIMETER CONTROL (SEE E-101)
	CONSTRUCTION FENCE
	PROPOSED WATER MAIN LINE
	PROPOSED WATER SERVICE
	PROPOSED EFFLUENT FORCE MAIN
	UG LP TANK

GIS SKETCH
ROCHESTER, NH
SCALE: 1" = 500' ±



SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)
W14-2	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	SQUARE (1)
R6-1R	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (1)
R2-1	24"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE	GREEN	GREEN	U-CHANNEL (0)

SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
30"x12"			1	GREEN	WHITE	GREEN	U-CHANNEL (1)	4"x4"			22	GREEN	WHITE	WHITE	U-CHANNEL OR TREE
4"x4"		SEE STANDARD SIGN TO BE PURCHASED AT THE CITY OF ROCHESTER PLANNING OFFICE	TBD IN FIELD	GREEN	WHITE	WHITE	U-CHANNEL OR TREE	4"x4"			2	GREEN	WHITE	WHITE	U-CHANNEL (2)



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 1 OF 54

PLAN REFERENCES:

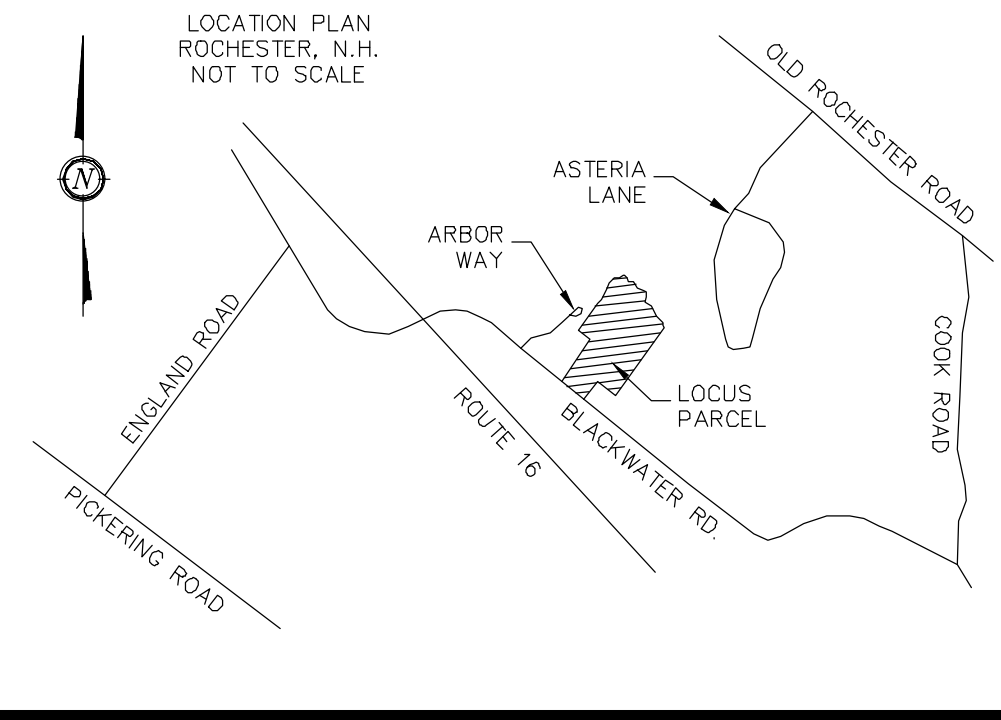
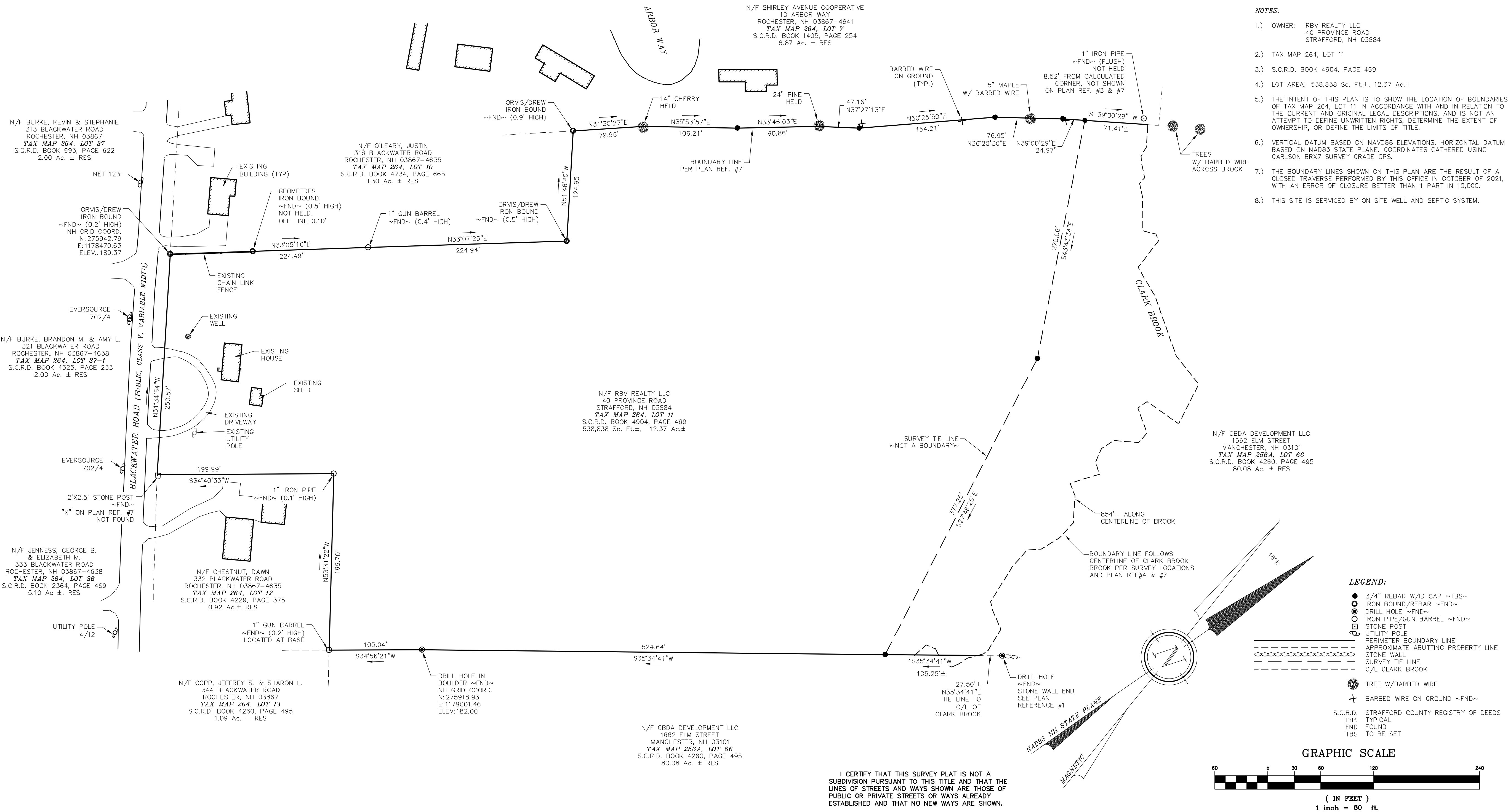
- "PLAN OF LAND ROCHESTER N.H. DOVER N.H. SOMERSWORTH N.H. FOR R. ARTHUR & SUSAN G. BRADBURY"
BY: JOHN W. DURGIN ASSOCIATES, INC.
DATED: JANUARY 2, 1980
S.C.R.D. PLAN #19A-76
- "SUBDIVISION OF LAND ROCHESTER, N.H. FOR JOSEPHAT & LOUISE LAURION"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: DECEMBER 29, 1986
S.C.R.D. PLAN #31-19
- "PROPOSED MOBILE HOME PARK ROCHESTER N.H. FOR SHIRLEY AVE. COOPERATIVE"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: APRIL, 1988
S.C.R.D. PLAN #35-46
- "LOT LINE REVISION PLAN BETWEEN TAX MAP 256, LOTS 61 & 66 FOR LITTLE QUARRY LLC & R COMMONS LLC"
BY: DOUCET SURVEY, INC.
DATED: JUNE 20, 2006
S.C.R.D. PLANS #79-38 & 39

PLAN REFERENCES:

- "SUBDIVISION PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLANS #84-63, 64, 65
- "EASEMENT PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLAN #84-66
- "BOUNDARY PLAT ROCHESTER STRAFFORD COUNTY NEW HAMPSHIRE PREPARED FOR BERNARD C. & GRETA SEVERANCE"
BY: ORVIS/DREW, LLC
DATED: JUNE 20, 2006
S.C.R.D. PLAN #88-39
- "OVERVIEW PLAN THE VILLAGE AT CLARK BROOK PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC"
BY: BEDFORD DESIGN CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-31

PLAN REFERENCES:

- "SUBDIVISION PLAN THE VILLAGE AT CLARK BROOK PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC"
SHEETS 4 & 8 OF 40
BY: BEDFORD DESIGN CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-33 & 106-37
- "LOT LINE ADJUSTMENT PLAN PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC & JEFFERY S. COPP & SHARON L. COPP"
BY: BEDFORD DESIGN CONSULTANTS
DATED: JUNE 12, 2014
S.C.R.D. PLAN #108-60



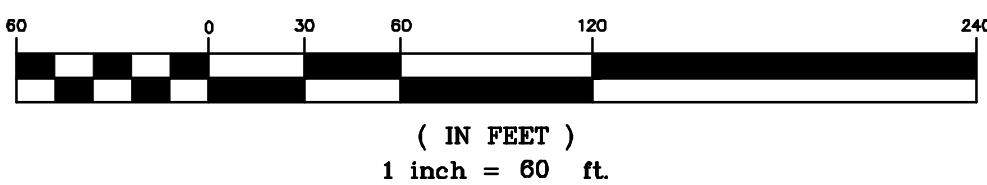
NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES OF TAX MAP 264, LOT 11 IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN OCTOBER OF 2021, WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- THIS SITE IS SERVICED BY ON SITE WELL AND SEPTIC SYSTEM.

LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- IRON BOUND/REBAR ~FND~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- STONE POST
- UTILITY POLE
- PERIMETER BOUNDARY LINE
- APPROXIMATE ABUTTING PROPERTY LINE
- STONE WALL
- SURVEY TIE LINE
- C/L CLARK BROOK
- TREE W/ BARBED WIRE
- BARBED WIRE ON GROUND ~FND~
- S.C.R.D. TYP. FOUND TO BE SET
- STRAFFORD COUNTY REGISTRY OF DEEDS

GRAPHIC SCALE



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

REVISION	DATE	DESCRIPTION

BOUNDARY PLAN LAND OF RBV REALTY LLC 324 BLACKWATER RD ROCHESTER, N.H. TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE
JULY 15, 2012
No. 805
KENNETH A. BERRY
A
BERRY
SIGNATURE

PLAN REFERENCES:

- 1.) "PLAN OF LAND ROCHESTER N.H. DOVER N.H. SOMERSWORTH N.H. FOR R. ARTHUR & SUSAN G. BRADBURY"
BY: JOHN W. DURGIN ASSOCIATES, INC.
DATED: JANUARY 2, 1980
S.C.R.D. PLAN #19A-76
- 2.) "SUBDIVISION OF LAND ROCHESTER, N.H. FOR JOSEPHAT & LOUISE LAURION"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: DECEMBER 29, 1986
S.C.R.D. PLAN #31-19
- 3.) "PROPOSED MOBILE HOME PARK ROCHESTER N.H. FOR SHIRLEY AVE COOPERATIVE"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: APRIL, 1988
S.C.R.D. PLAN #35-46
- 4.) "LOT LINE REVISION PLAN BETWEEN TAX MAP 256, LOTS 61 & 66 FOR LITTLE QUARRY LLC & R. COMMONS LLC"
BY: DOUCET SURVEY, INC.
DATED: JUNE 20, 2006
S.C.R.D. PLANS #79-38 & 39

PLAN REFERENCES:

- 5.) "SUBDIVISION PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLANS #84-63, 64, 65
- 6.) "EASEMENT PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLAN #84-66
- 7.) "BOUNDARY PLAT ROCHESTER STRAFFORD COUNTY NEW HAMPSHIRE PREPARED FOR BERNARD C. & GRETA SEVERANCE"
BY: ORVIS/DREW, LLC
DATED: JUNE 23, 2006
S.C.R.D. PLAN #88-39
- 8.) "OVERVIEW PLAN THE VILLAGE AT CLARK BROOK PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC"
BY: ORVIS/DREW CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-31

PLAN REFERENCES:

- 9.) "SUBDIVISION PLAN THE VILLAGE AT CLARK BROOK
PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC"
SHEETS 4 & 8 OF 40
BY: BEDFORD DESIGN CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-33 & 106-37
- 10.) "LOT LINE ADJUSTMENT PLAN PREPARED FOR & LAND
OF CBDA DEVELOPMENT, LLC & JEFFERY S. COPP &
SHARON L. COPP"
BY: BEDFORD DESIGN CONSULTANTS
DATED: JUNE 12, 2014
S.C.R.D. PLAN #108-60

WETLAND NOTES:

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021
UTILIZING THE FOLLOWING STANDARDS:

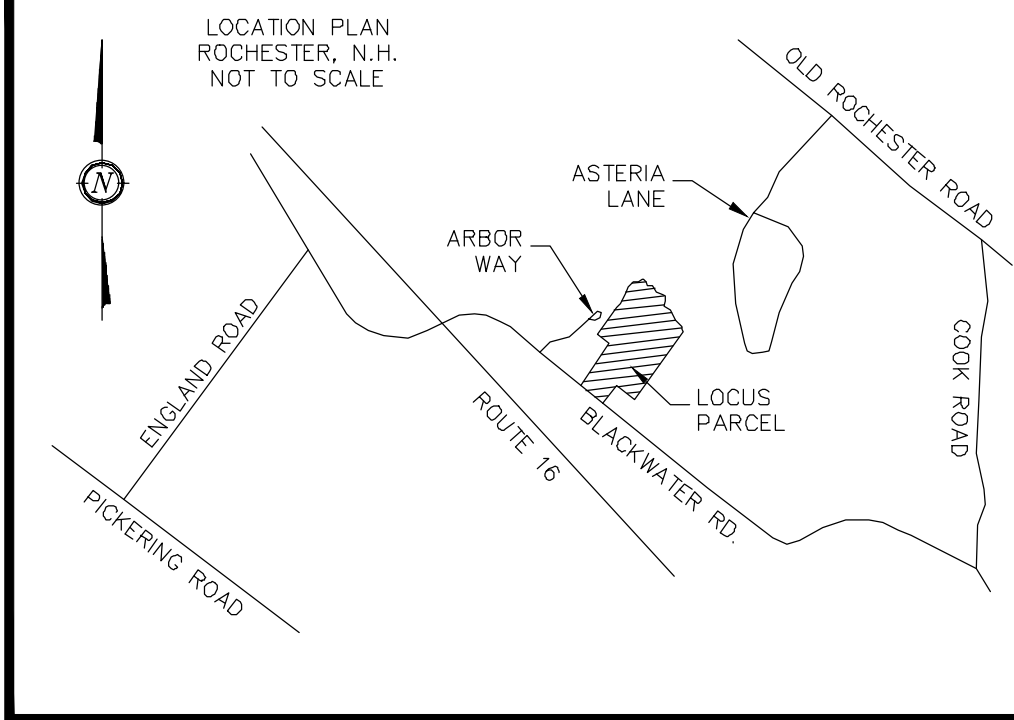
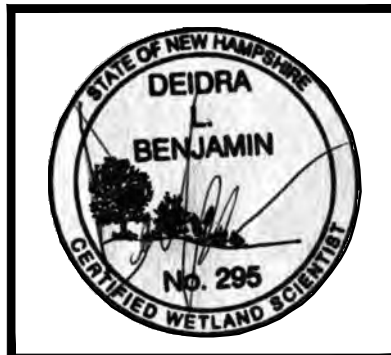
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

SOIL DATA:

DeA ~ DEERFIELD FINE SANDY LOAM 0 TO 3% SLOPES
DeB ~ DEERFIELD FINE SANDY LOAM 3 TO 8% SLOPES
HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS,
8 TO 15% SLOPES
WdB ~ WINDSOR LOAMY SAND 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOIL

SEE TEST PIT DATA PLAN (SHEET #6)

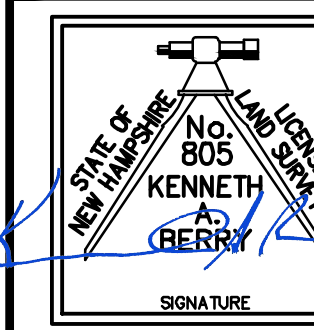


NOTES:

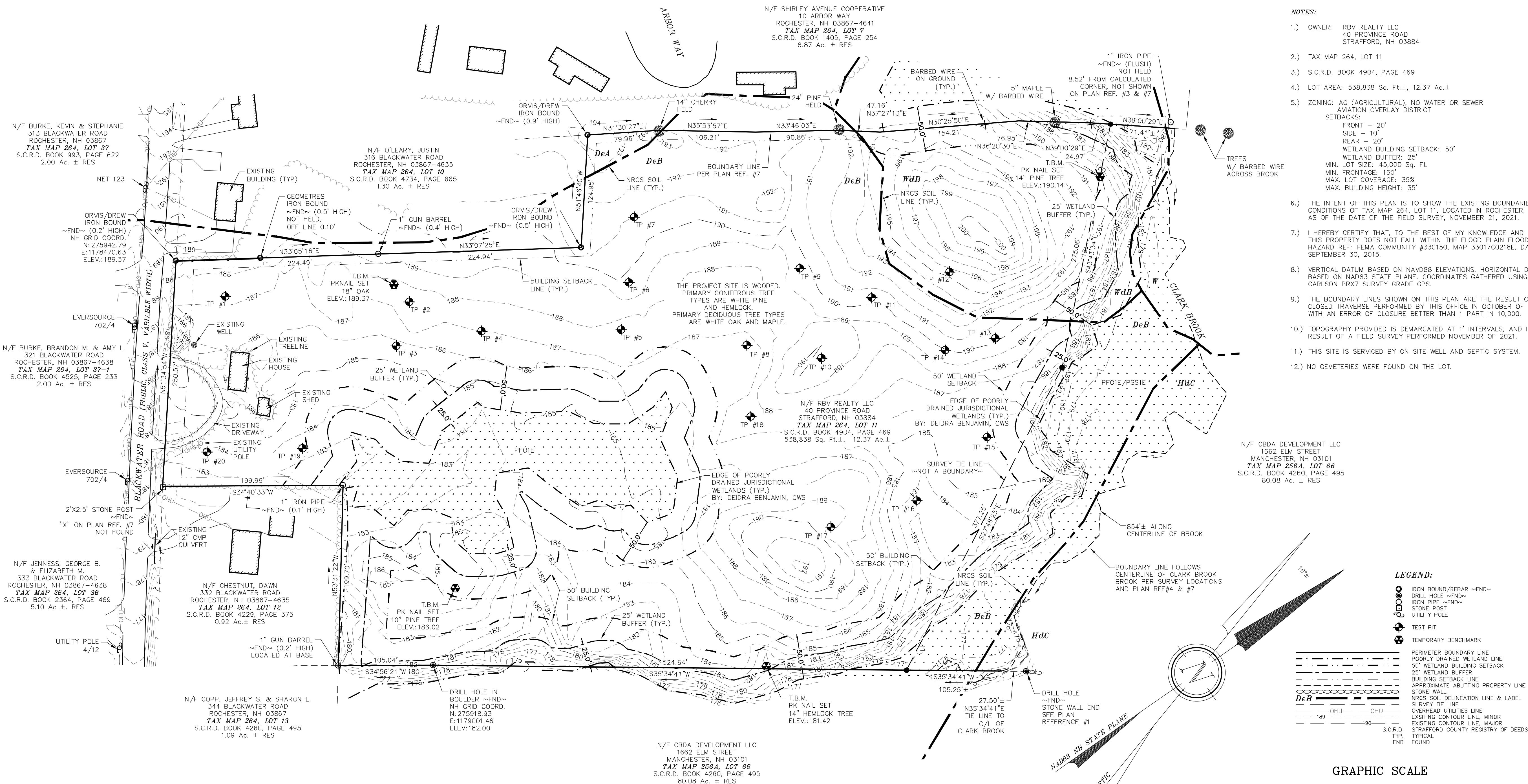
- 1.) OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 264, LOT 11
- 3.) S.C.R.D. BOOK 4904, PAGE 469
- 4.) LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- 5.) ZONING: AG (AGRICULTURAL), NO WATER OR SEWER
AVIATION OVERLAY DISTRICT
SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 20'
WETLAND BUILDING SETBACK: 50'
WETLAND BUFFER: 25'
MIN. LOT SIZE: 45,000 Sq. Ft.
MIN. FRONTAGE: 150'
MAX. LOT COVERAGE: 35%
MAX. BUILDING HEIGHT: 35'
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES AND
CONDITIONS OF TAX MAP 264, LOT 11, LOCATED IN ROCHESTER, N.H.,
AS OF THE DATE OF THE FIELD SURVEY, NOVEMBER 21, 2021.
- 7.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF
THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD
HAZARD REF: FEMA COMMUNITY #330150, MAP 33017C0218E, DATED:
SEPTEMBER 30, 2015.
- 8.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM
BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING
CARLSON BRX7 SURVEY GRADE GPS.
- 9.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A
CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN OCTOBER OF 2021,
WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- 10.) TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE
RESULT OF A FIELD SURVEY PERFORMED NOVEMBER OF 2021.
- 11.) THIS SITE IS SERVICED BY ON SITE WELL AND SEPTIC SYSTEM.
- 12.) NO CEMETERIES WERE FOUND ON THE LOT.

EXISTING CONDITIONS PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING



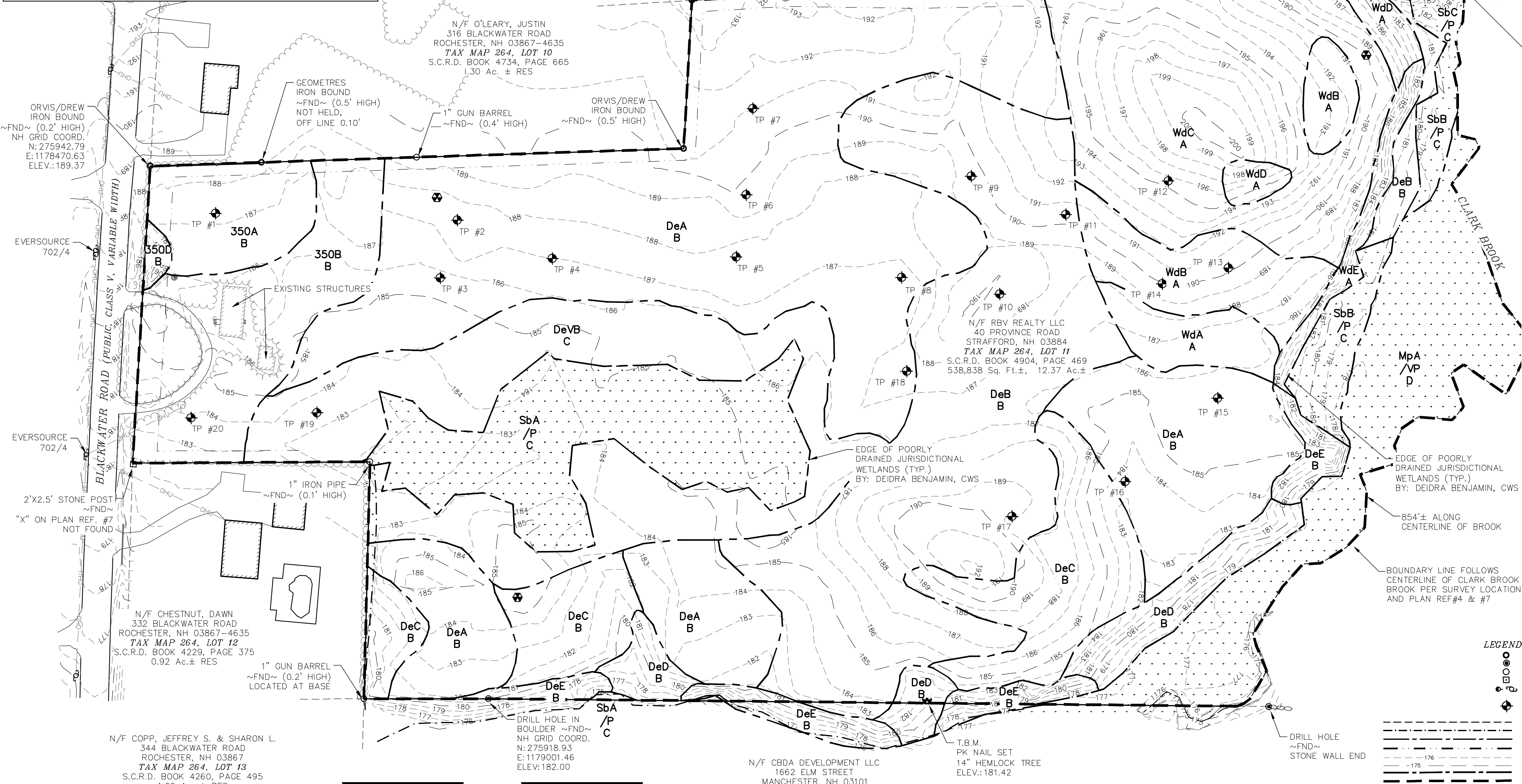
SHEET 4 OF 54



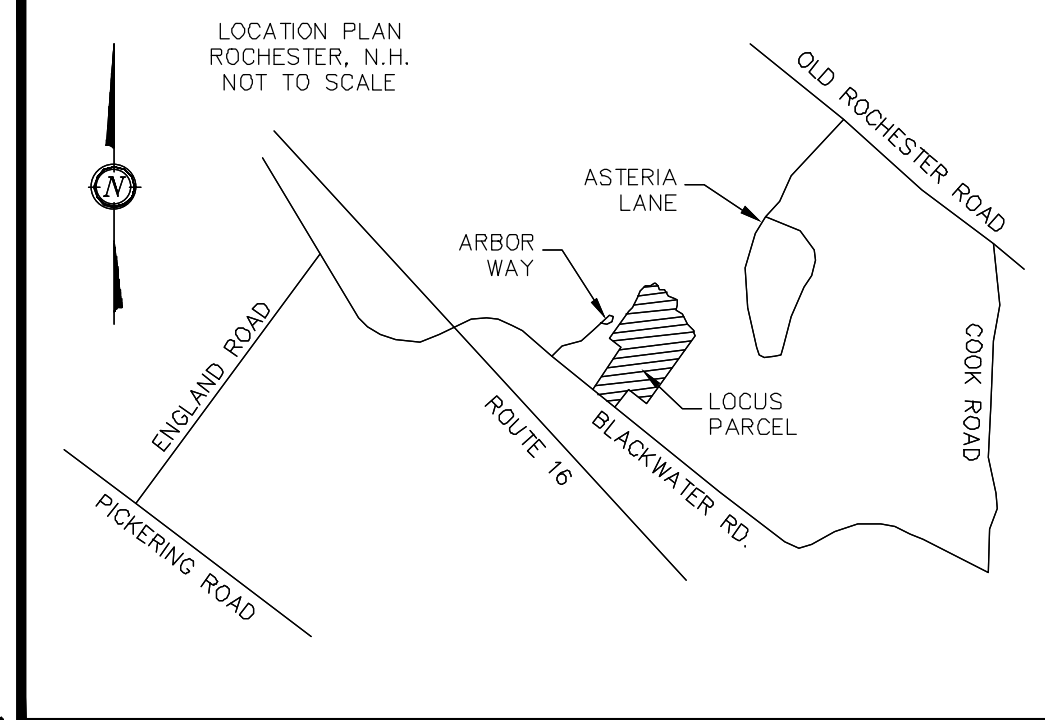
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

SOILS LEGEND				
Site Specific Soils				
Symbol	K	Slopes	Taxonomic Soil Name	Hydrologic Soil Group
De		A,B,C,D,E	Deerfield	B
DeV		B	Deerfield Variant	B
Mp		A	Muck & Peat	D
Sb		A,B,C	Saugatuck	C
Wd		B,C,D,E	Windsor	A
350		A,B	Udipsaments Wet Substratum	B
NRCS Soils				
Symbol	K	Slopes	Taxonomic Soil Name	Hydrologic Soil Group
De		A,B	Deerfield Fine Sandy Loam	B
Hd		C	Hollis-Charlton Fine Sandy Loam	D
Wd		B	Windsor Loamy Sand	A
Slopes: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25-50% F = 50%+				
Denominators: /P = Poorly Drained /VP = Very Poorly Drained /Rk = Rocky				



- NOTES:
- OWNERS: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
 - TAX MAP 264, LOT 11
 - S.C.R.D. BOOK 4904, PAGE 469
 - LOT AREA: 538,838 Sq. Ft., 12.37 Ac. +/-
 - VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SOIL CONDITIONS OF TAX MAP 264, LOT 11 LOCATED IN ROCHESTER, N.H..



REVISION		DATE	DESCRIPTION

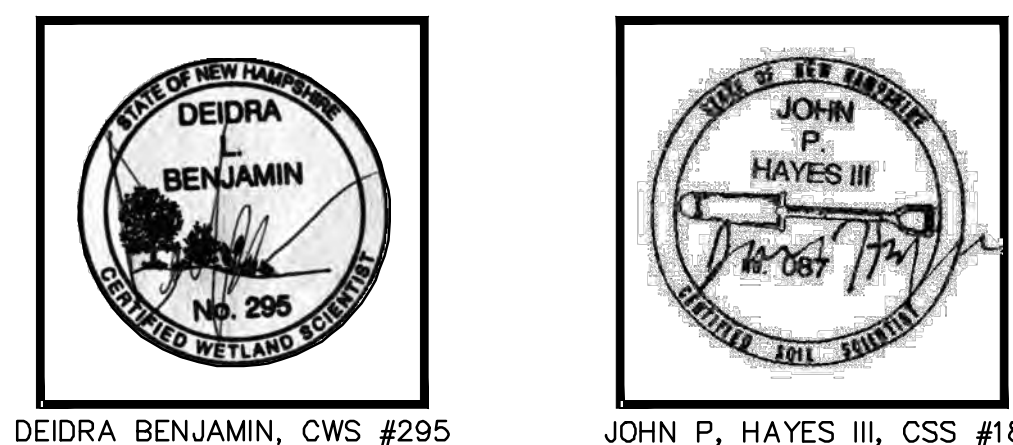
SITE SPECIFIC SOILS MAP
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

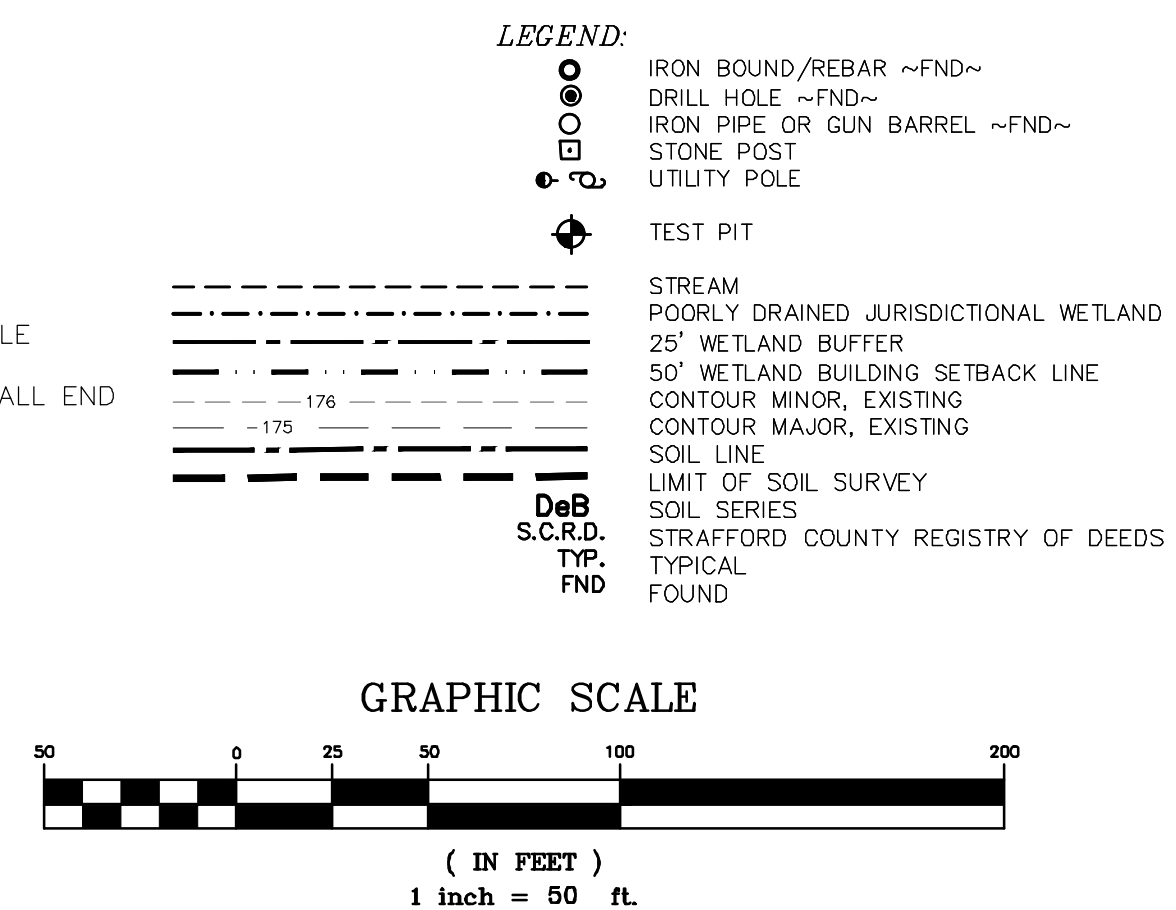
STATE OF NEW HAMPSHIRE
No. 805
KENNETH BERRY
SIGNATURE

SHEET 5 OF 54

- WETLAND NOTES:
- WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



N/F CBDA DEVELOPMENT LLC
1662 ELM STREET
MANCHESTER, NH 03101
TAX MAP 256A, LOT 66
S.C.R.D. BOOK 4260, PAGE 495
80.08 Ac. ± RES



PLAN REFERENCES:

- "PLAN OF LAND ROCHESTER N.H. DOVER N.H. SOMERSWORTH N.H. FOR R. ARTHUR & SUSAN G. BRADBURY"
BY: JOHN W. DURGIN ASSOCIATES, INC.
DATED: JANUARY 2, 1980
S.C.R.D. PLAN #19A-76
- "SUBDIVISION OF LAND ROCHESTER, N.H. FOR JOSEPHAT & LOUISE LAURION"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: DECEMBER 29, 1986
S.C.R.D. PLAN #31-19
- "PROPOSED MOBILE HOME PARK ROCHESTER N.H. FOR SHIRLEY AVE COOPERATIVE"
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: APRIL, 1988
S.C.R.D. PLAN #35-46
- "LOT LINE REVISION PLAN BETWEEN TAX MAP 256, LOTS 61 & 66 FOR LITTLE QUARRY LLC & R COMMONS LLC"
BY: DOUCET SURVEY, INC.
DATED: JUNE 20, 2006
S.C.R.D. PLANS #79-38 & 39
- "SUBDIVISION PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLANS #84-63, 64, 65

PLAN REFERENCES:

- "EASEMENT PLAN LITTLE QUARRY AT THE VILLAGE AT CLARK BROOK"
BY: DOUCET SURVEY, INC.
DATED: DECEMBER 8, 2004
S.C.R.D. PLAN #84-66
- "BOUNDARY PLAT ROCHESTER STRAFFORD COUNTY NEW HAMPSHIRE PREPARED FOR BERNARD C. & GRETA SEVERANCE"
BY: ORVIS/DREW, LLC
DATED: JUNE 23, 2006
S.C.R.D. PLAN #88-39
- "OVERVIEW PLAN THE VILLAGE AT CLARK BROOK PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC"
BY: BEDFORD DESIGN CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-31
- "SUBDIVISION PLAN THE VILLAGE AT CLARK BROOK PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC" SHEETS 4 & 8 OF 40
BY: BEDFORD DESIGN CONSULTANTS
DATED: JULY 15, 2012
S.C.R.D. PLAN #106-33 & 106-37
- "LOT LINE ADJUSTMENT PLAN PREPARED FOR & LAND OF CBDA DEVELOPMENT, LLC & JEFFERY S. COPP & SHARON L. COPP"
BY: BEDFORD DESIGN CONSULTANTS
DATED: JUNE 12, 2014
S.C.R.D. PLAN #108-60

LOT DENSITY CALCULATIONS:

538,838 Sq.Ft. - 8,997 Sq.Ft. (25% SLOPES) = 529,841 Sq.Ft.
529,841 Sq.Ft. X .75 (ALLOWANCE FACTOR) = 397,380 Sq.Ft.
397,380 Sq.Ft. / 45,000 Sq.Ft. (LOT SIZE) = 8.83 LOTS
8.83 LOTS X 1.3 (DENSITY BONUS) = 11 LOTS, POSSIBLE
9 LOT, DESIGN
(SINGLE FAMILY DETACHED)

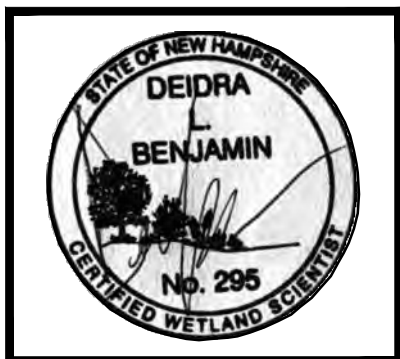
OPEN SPACE CALCULATION:

LOT AREA: 538,838 Sq.Ft.
OPEN SPACE #1 - BUILDABLE AREA: 211,662 Sq.Ft.
NON-BUILDABLE AREA:
WETLAND: 80,896 Sq.Ft.±
25% SLOPES: 8,997 Sq.Ft.
OPEN SPACE #50 - ENCUMBERED: 79,257 Sq.Ft.
OPEN SPACE #51 - ENCUMBERED: 10,869 Sq.Ft.
TOTAL OPEN SPACE: 391,681 Sq.Ft.
AREA FOR OPEN SPACE CALCS.: 448,945 Sq.Ft.
448,945 X .4 (40%) = 179,578 Sq.Ft. REQUIRED
QUALIFYING OPEN SPACE: 211,662 Sq.Ft. (47%)

WETLAND NOTES:

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

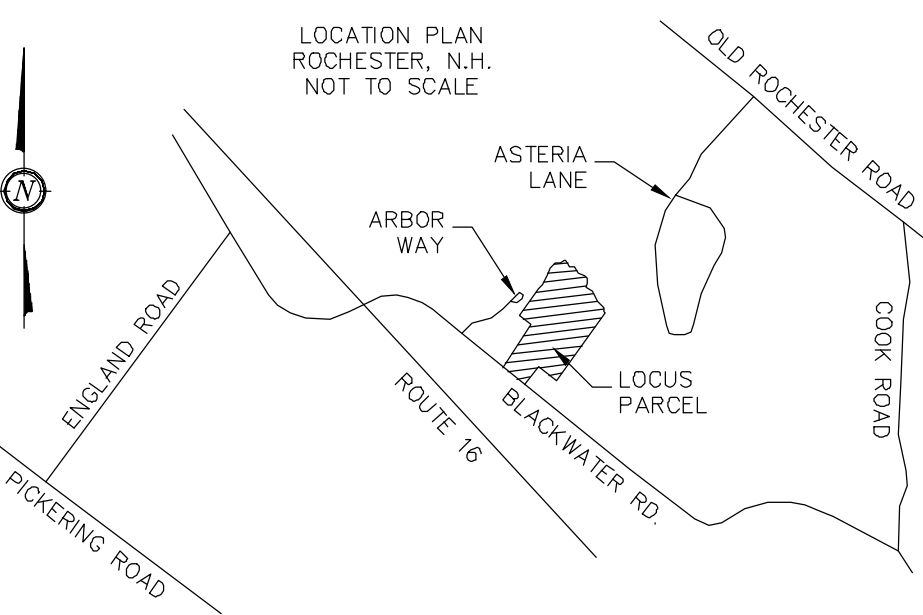
DEIDRA BENJAMIN, CWS #295



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
10-24-23
KENNETH A. BERRY L.L.S. 805 DATE

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.



NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- ZONING: AG (AGRICULTURAL), NO WATER OR SEWER AVIATION OVERLAY DISTRICT CONSERVATION SUBDIVISION SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 20'
WETLAND BUILDING SETBACK: 50'
WETLAND BUFFER: 25'
MIN. LOT SIZE: 6,000 Sq. Ft.
MIN. FRONTAGE: 60'
MIN. LOT COVERAGE: 35%
MAX. BUILDING COVERAGE: 30%
MAX. BUILDING HEIGHT: 35'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT LIE WITHIN THE FLOOD PLAIN.
FLOOD HAZARD REF: FEMA, COMMUNITY #330150, MAP 33017C0218E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SUBDIVIDE ROCHESTER TAX MAP 264, LOT 11 INTO 9 INDIVIDUAL LOTS AS A PART OF A CONSERVATION SUBDIVISION. THIS IS A 53 SHEET PLAN SET. FOR MORE INFORMATION ON THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867, (603) 335-1338.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN OCTOBER OF 2021, WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- THE CURRENT USE OF THE PROPERTY IS A SINGLE FAMILY HOME. THE PROPOSED USE WILL BE 9 SINGLE FAMILY LOTS, PART OF AN OPEN SPACE SUBDIVISION.
- ALL LOTS WILL BE SERVICED BY A COMMUNITY WELL AND COMMUNITY EFFLUENT DISPOSAL AREA.
- REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITES SURFACE ARE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTIONS AT NO EXPENSE TO THE CITY.
- EACH INDIVIDUAL LOT WILL HAVE APPROPRIATE EROSION CONTROL DURING CONSTRUCTION PURSUANT TO CITY OF ROCHESTER STORMWATER REGULATIONS.
- ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF ONE DROP POLE.
- NHDES SUBDIVISION APPROVAL: PENDING
- EACH LOT WILL REQUIRE A FOUNDATION CERTIFICATION. IT IS ADVISED THAT EACH HOUSE BE STAKED OUT BY A LLS PRIOR TO CONSTRUCTION
- THE LOTS WITHIN THIS SUBDIVISION WILL REQUIRE FILL TO BE PLACED AROUND THEM WITH TYPICAL FOUNDATION/ROOF/YARD DRAIN CONSTRUCTION.
- EACH LOT IS ONLY ALLOWED A MAXIMUM OF 35% IMPERVIOUS SURFACES & 30% BUILDING COVERAGE. A PLOT PLAN WILL BE REQUIRED FOR EACH BUILDING PERMIT CERTIFYING THE PROPOSED COVERAGE. THE SITE PLANS DEMONSTRATE CONFORMANCE. ANY CHANGES TO THE SITE PLANS SHOULD REVIEW THIS COVERAGE CALCULATION CAREFULLY.
- PER THE NFPA WATER SUPPLY STANDARDS EACH LOT WILL BE REQUIRED TO PROVIDE A SUPPRESSION SYSTEM WITHIN THE STRUCTURE. WORK WITH THE FIRE DEPARTMENT ON WHICH SUPPRESSION SYSTEM IS REQUIRED AND IS APPLICABLE.
- AS-BUILT PLANS OF THE SUBDIVISION SHALL BE SUBMITTED ON PAPER AND IN DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR ERSI FORMAT TO THE CITY OF DOVER ENGINEERS OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILE SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- FINAL LOT NUMBERS SHALL BE ASSIGNED BY THE ASSESSING OFFICE. ADDRESSES TO BE ASSIGNED BY BUILDING OFFICIAL.
- THIS IS A MULTI PAGE PLAN SET WITH ADDITIONAL ENGINEERING INFORMATION PROVIDED AND ON FILE AT THE CITY OF ROCHESTER PLANNING OFFICE. SHEETS 4, 7, 8, 9, 10 & 15 WILL BE RECORDED AT S.C.R.D.
- SEE DETAIL SITE PLANS, SHEETS 8 AND 9 OF 54 FOR FURTHER REQUIREMENTS.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

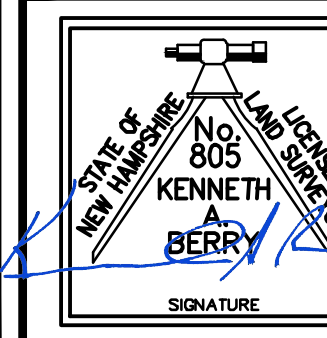
- LEGEND:
- 3/4" REBAR W/D CAP ~TBS~
 - GRANITE BOUND ~TBS~
 - 1/2" REBAR W/D CAP ~TBS~
 - GRANITE POST ~FND~
 - IRON BOUND ~FND~
 - DRILL HOLE ~FND~
 - IRON PIPE/GUN BARREL ~FND~
 - UTILITY POLE
 - PROPOSED BOUNDARY LINE
 - PROPOSED BUILDING SETBACK LINE
 - PROPOSED EASEMENT LINE
 - SURVEY TIE LINE
 - PERIMETER BOUNDARY LINE
 - APPROXIMATE ADJUTING LOT LINE
 - POORLY DRAINED WETLAND LINE
 - 25' WETLAND BUFFER
 - 50' WETLAND SETBACK
 - OPEN SPACE BOUNDARY LINE
 - CENTER LINE OF CLARK BROOK
 - FND
TYP
TBS
TO BE SET
 - S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

ADDITIONAL NOTES:

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- SITE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 9AM-4PM WITH NO SUNDAY OR FEDERAL HOLIDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND "CITY OF ROCHESTER STANDARD SPECIFICATIONS"

SUBDIVISION OVERVIEW PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

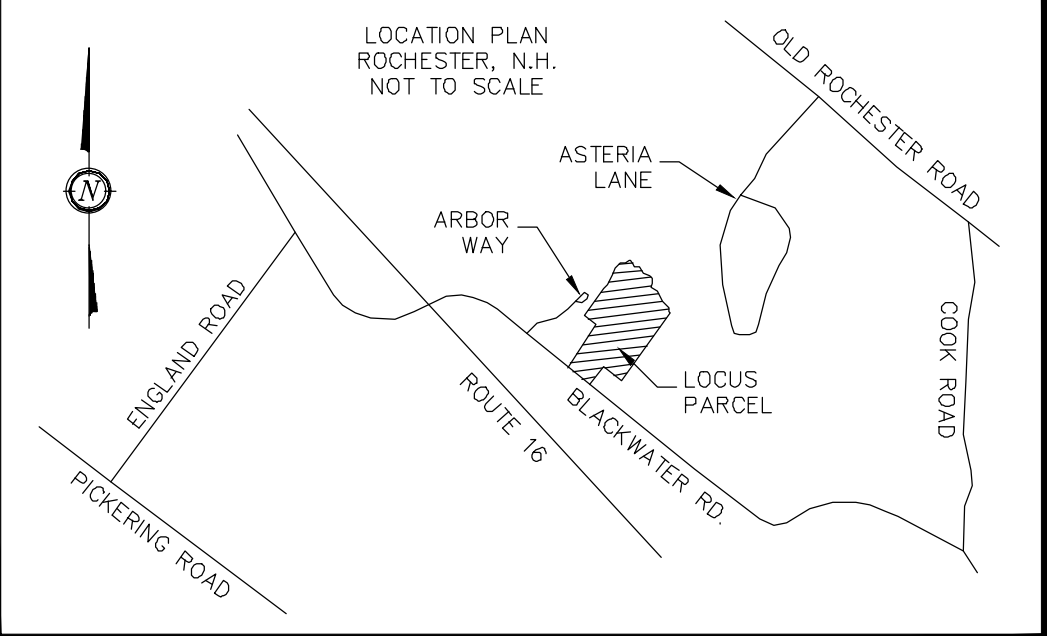
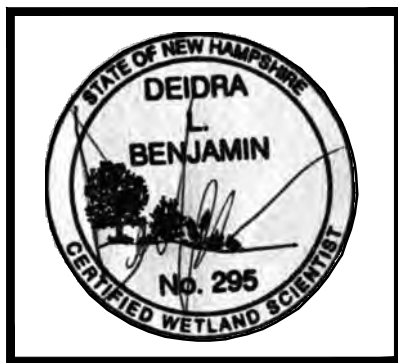


WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

WETLAND NOTES:

- WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295



NOTES:

- OWNER: RBV REALTY LLC, 40 PROVINCE ROAD, STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE WEST END OF THE PROPOSED SUBDIVISION OF TAX MAP 264, LOT 11.
- FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.

N/F BURKE, KEVIN & STEPHANIE
313 BLACKWATER ROAD
ROCHESTER, NH 03867
TAX MAP 264, LOT 37
S.C.R.D. BOOK 993, PAGE 622
2.0 Ac.± RES

N/F BURKE, BRANDON M. & AMY L.
321 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 37-1
S.C.R.D. BOOK 4525, PAGE 233
2.0 Ac.± RES

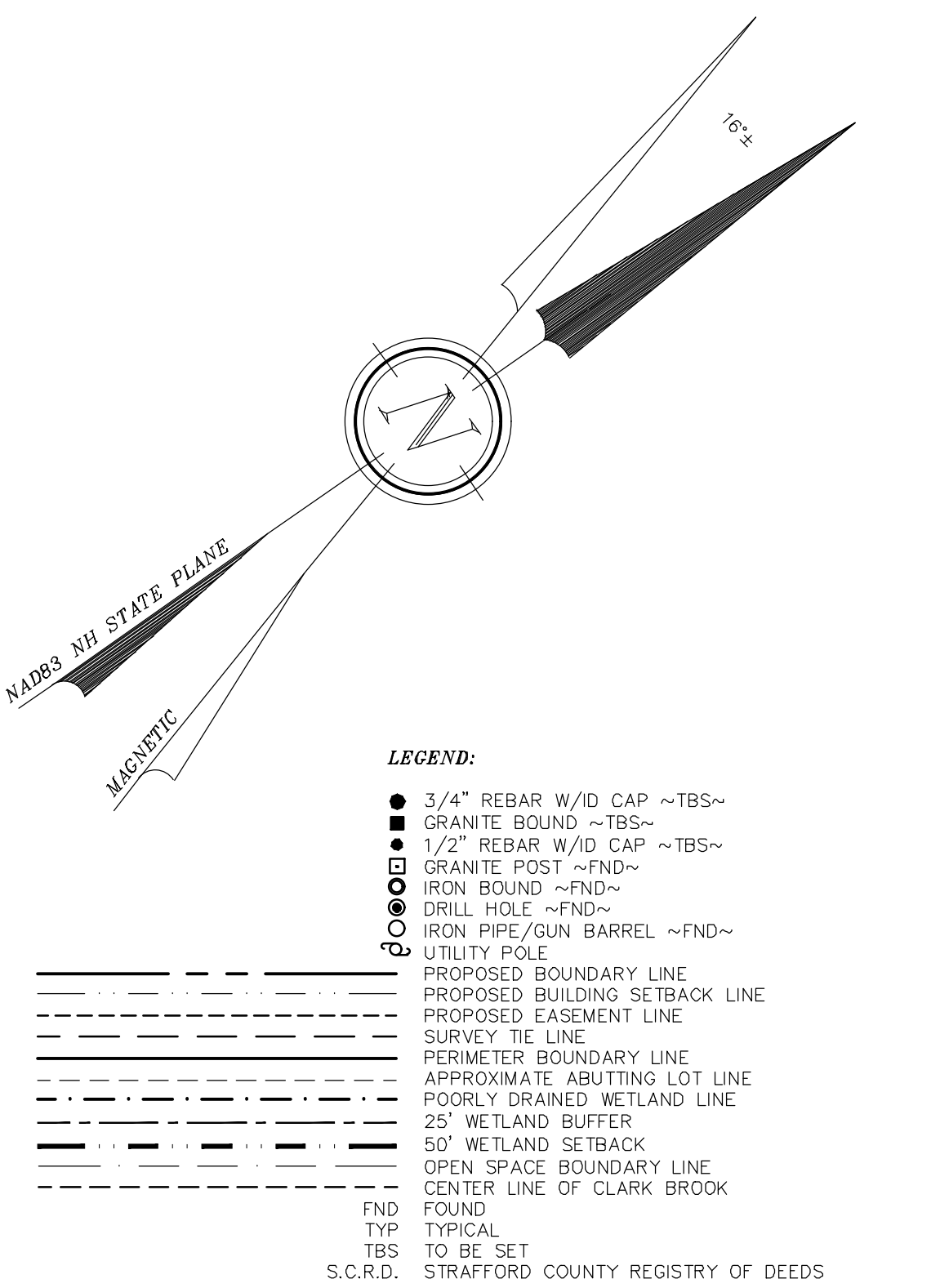
N/F JENNESS, GEORGE B. & ELIZABETH M.
333 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 36
S.C.R.D. BOOK 2364, PAGE 469
5.10 Ac.± RES

N/F COPP, JEFFREY S. & SHARON L.
344 BLACKWATER ROAD
ROCHESTER, NH 03867
TAX MAP 264, LOT 13
S.C.R.D. BOOK 4260, PAGE 495
1.09 Ac.± RES

N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4635
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665
1.30 Ac.± RES

N/F CHESTNUT, DAWN
332 BLACKWATER ROAD
ROCHESTER, NH 03867-4635
TAX MAP 264, LOT 12
S.C.R.D. BOOK 4229, PAGE 375
0.92 Ac.± RES

N/F CBDA DEVELOPMENT LLC
1662 ELM STREET
MANCHESTER, NH 03101
TAX MAP 268A, LOT 66
S.C.R.D. BOOK 4260, PAGE 495
80.08 Ac.± RES

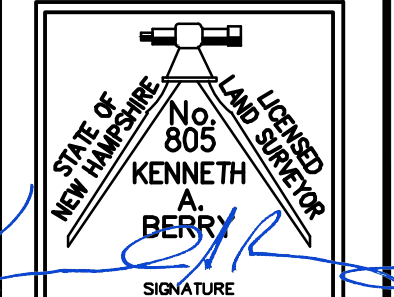


FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
Kenneth A. Berry 10-24-23
KENNETH A. BERRY L.L.S. 805 DATE

SUBDIVISION DETAIL PLAN - WEST
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4835
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665

N/F SHIRLEY AVENUE COOPERATIVE
10 ARBOR WAY
ROCHESTER, NH 03867-4641
TAX MAP 264, LOT 7
S.C.R.D. BOOK 1405, PAGE 254
6.87 Ac. ± RES

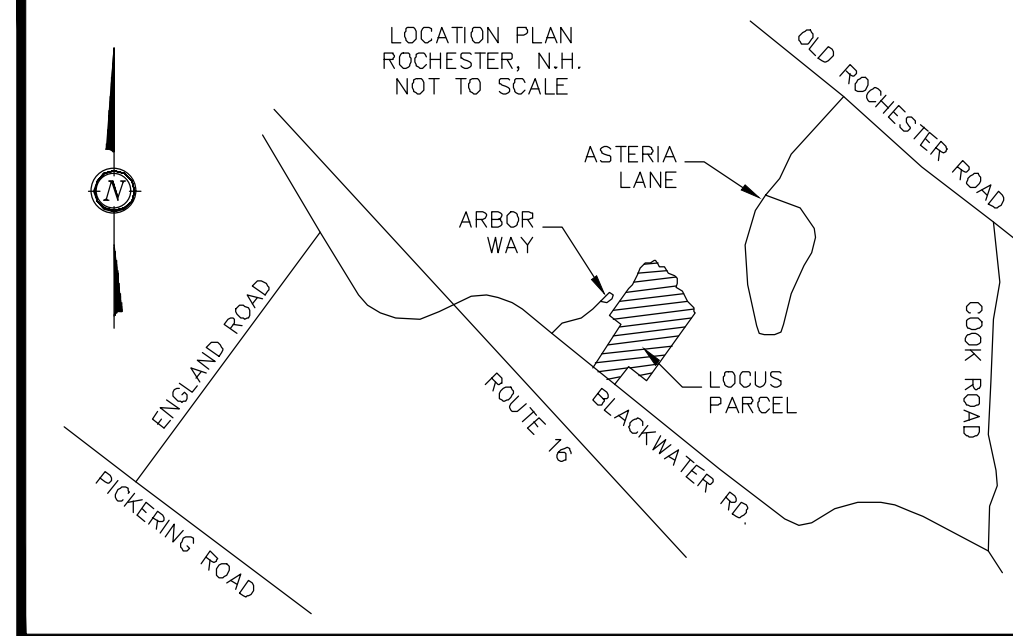
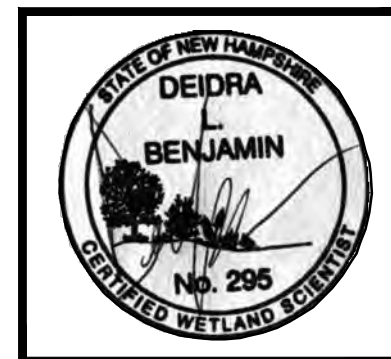
LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- UTILITY POLE
- PROPOSED BOUNDARY LINE
- PROPOSED BUILDING SETBACK LINE
- PROPOSED EASEMENT LINE
- SURVEY TIE LINE
- PERIMETER BOUNDARY LINE
- APPROXIMATE ABUTTING LOT LINE
- POORLY DRAINED WETLAND LINE
- 25' WETLAND BUFFER
- 50' WETLAND SETBACK
- OPEN SPACE BOUNDARY LINE
- CENTER LINE OF CLARK BROOK
- FND TYP TO BE SET
- TYPICAL
- TO BE SET
- STRAFFORD COUNTY REGISTRY OF DEEDS

WETLAND NOTES:

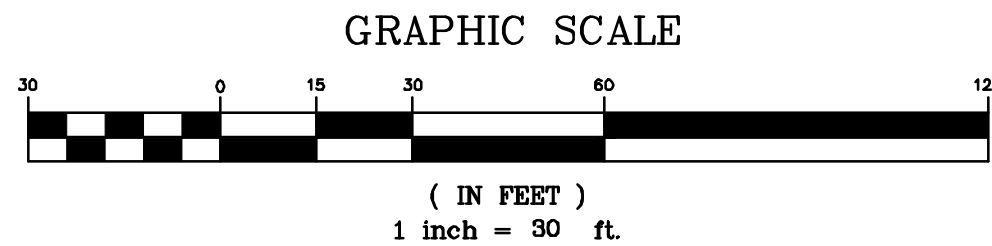
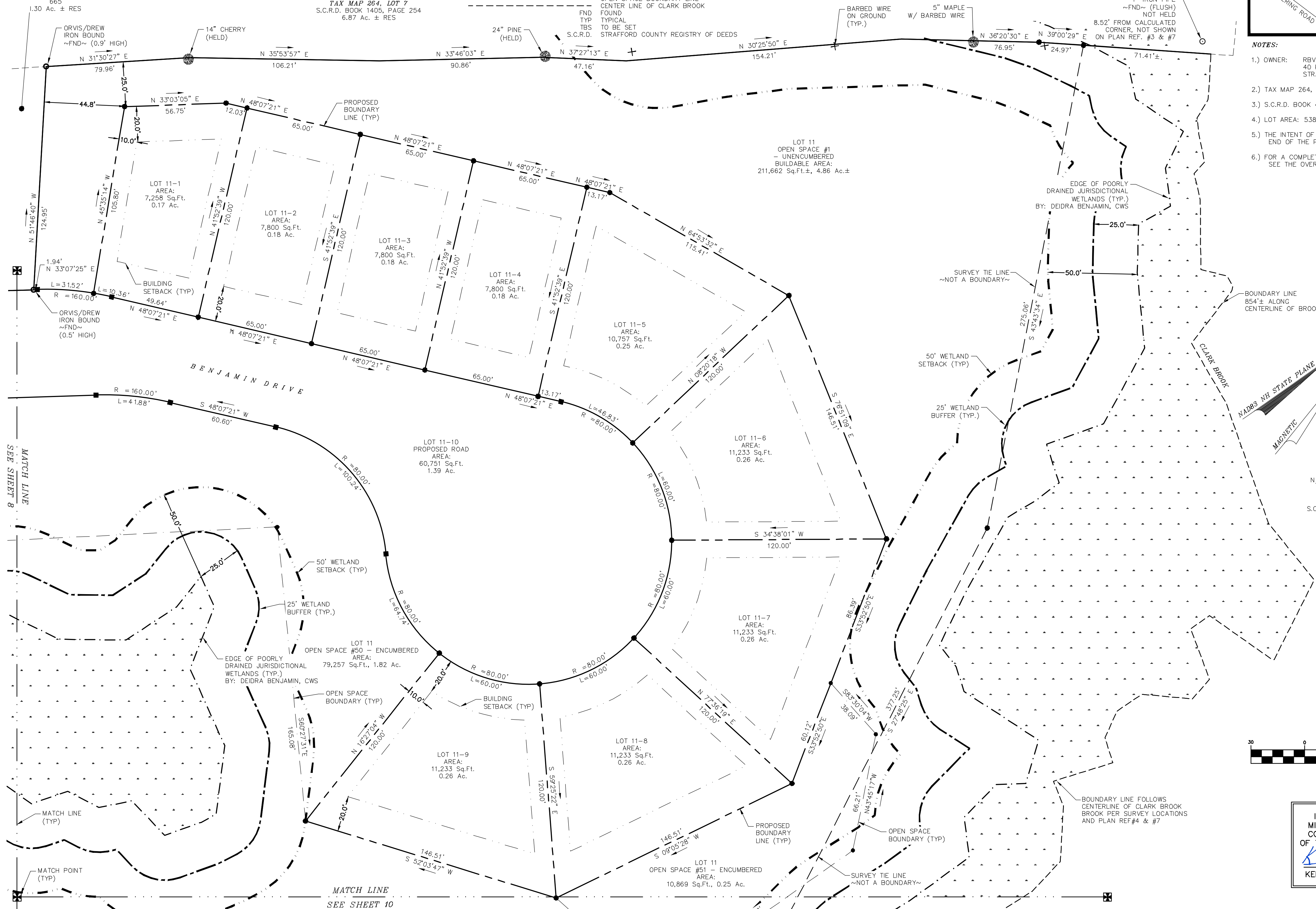
- WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295



NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft. ±, 12.37 Ac. ±
- THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE EAST END OF THE PROPOSED SUBDIVISION OF TAX MAP 264, LOT 11..
- FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-

KENNETH A. BERRY L.L.S. 805 DATE 10-24-23

REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN - EAST
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

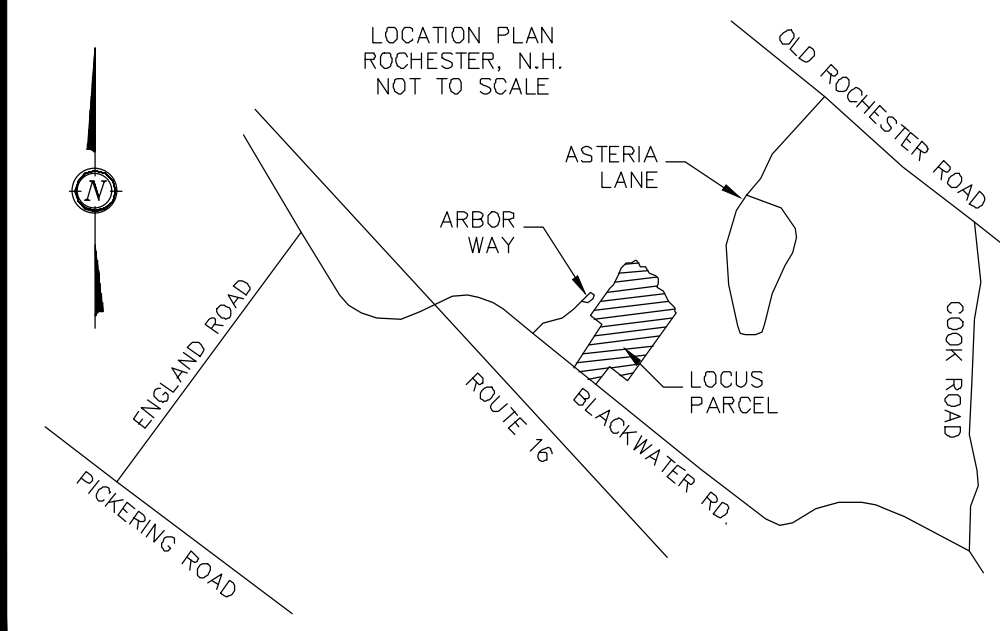
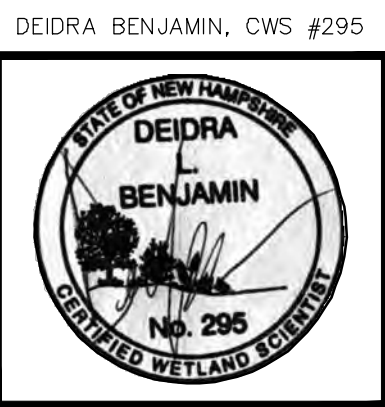
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

SHEET 9 OF 54

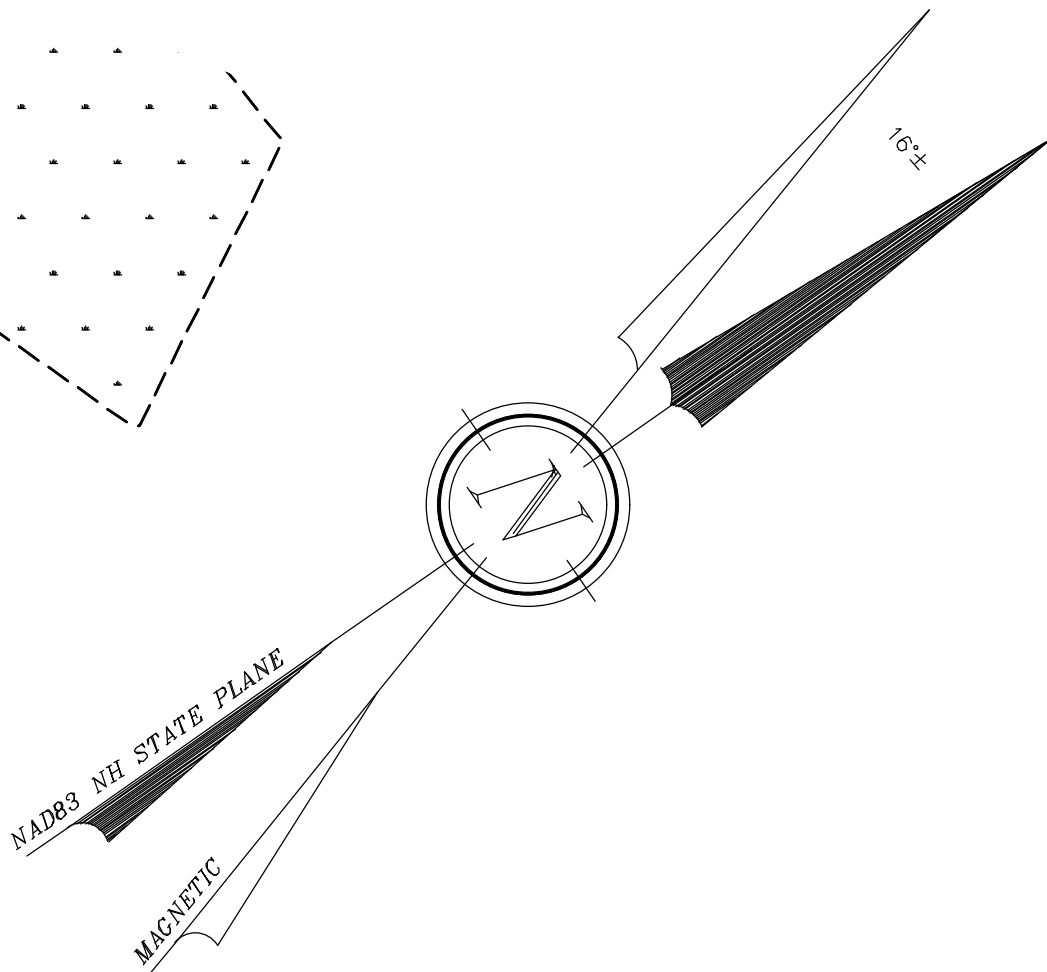
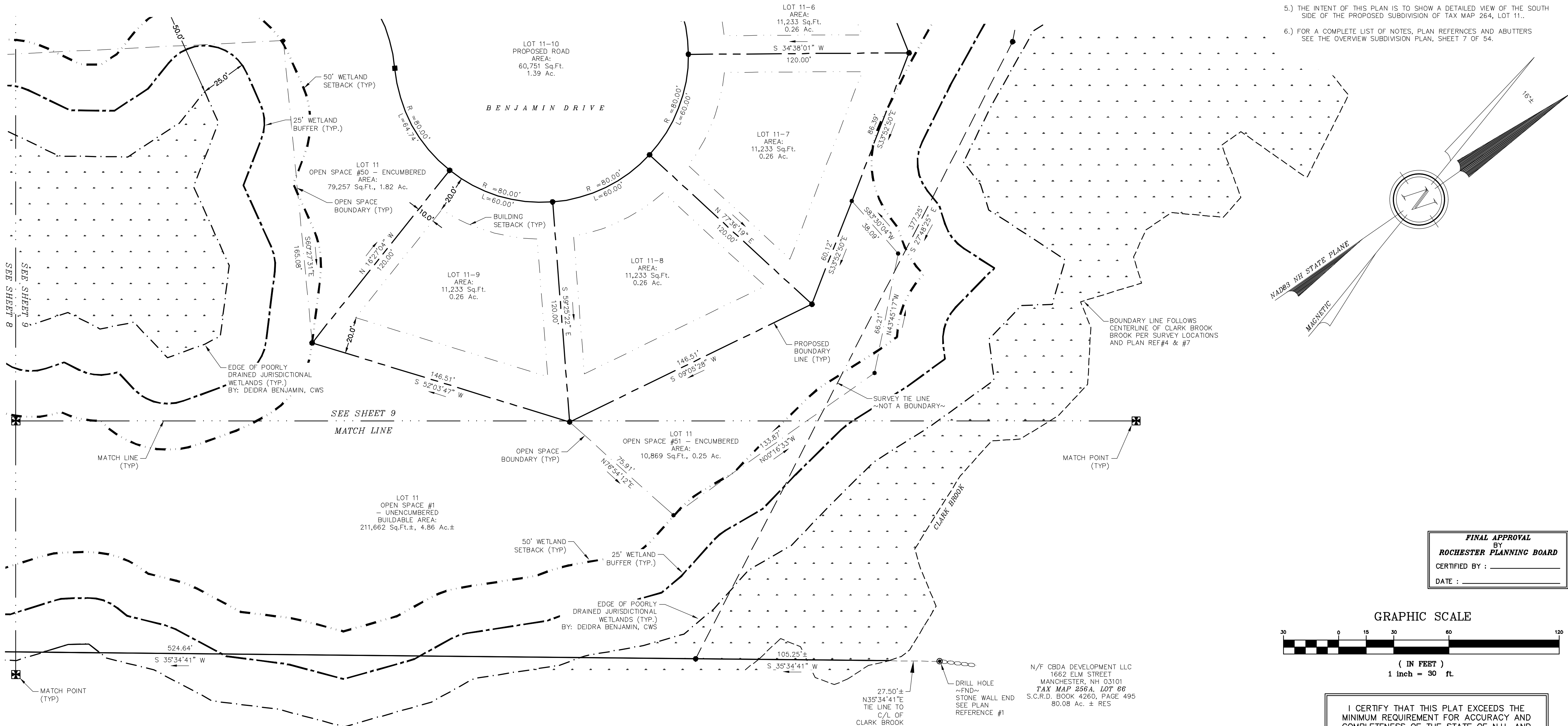
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

- LEGEND:**
- 3/4" REBAR W/D CAP ~TBS~
 - GRANITE BOUND ~TBS~
 - 1/2" REBAR W/D CAP ~TBS~
 - GRANITE POST ~FND~
 - IRON BOUND ~FND~
 - DRILL HOLE ~FND~
 - IRON PIPE/GUN BARREL ~FND~
 - UTILITY POLE
 - PROPOSED BOUNDARY LINE
 - PROPOSED BUILDING SETBACK LINE
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 - 50' WETLAND SETBACK
 - OPEN SPACE BOUNDARY LINE
 - CENTER LINE OF CLARK BROOK
 - FND
 - TYP
 - TBS
 - TO BE SET
 - S.C.R.D.
 - STRAFFORD COUNTY REGISTRY OF DEEDS

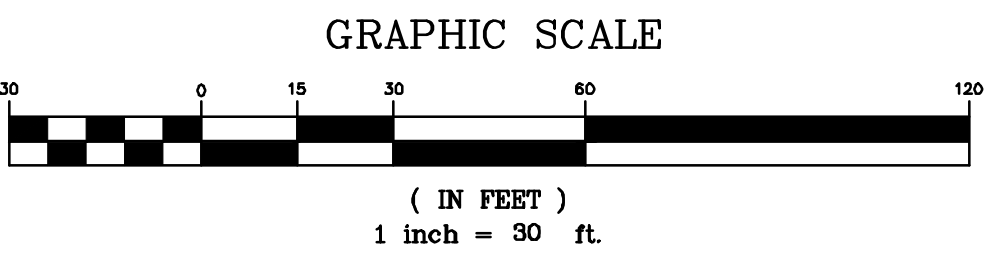
- WETLAND NOTES:**
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
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 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).



- NOTES:**
- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
 - TAX MAP 264, LOT 11
 - S.C.R.D. BOOK 4904, PAGE 469
 - LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
 - THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE SOUTH SIDE OF THE PROPOSED SUBDIVISION OF TAX MAP 264, LOT 11..
 - FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY : _____
DATE : _____



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
10-24-23
KENNETH A. BERRY L.L.S. 805 DATE

REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN - SOUTH
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE
No. 805
KENNETH A. BERRY
L.L.S. 805
10-24-23
SIGNATURE

LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
- DRILL HOLE ~FND~
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- POORLY DRAINED WETLAND LINE
- 25' WETLAND BUFFER
- 50' WETLAND SETBACK
- OPEN SPACE BOUNDARY LINE
- CENTER LINE OF CLARK BROOK
- TEST PIT
- TEMPORARY BENCHMARK
- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

SOIL DATA:

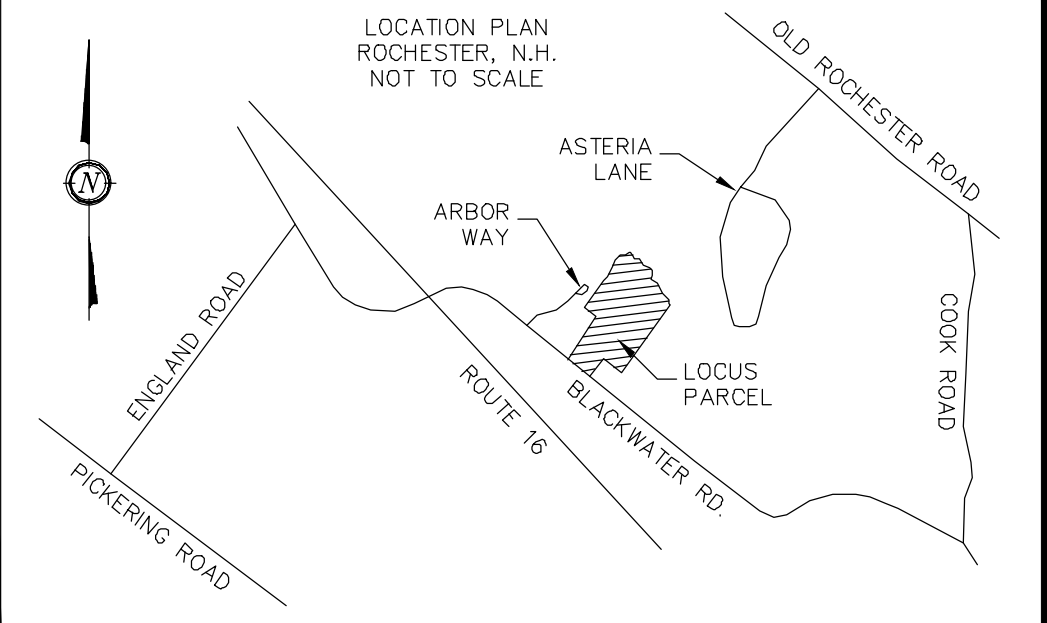
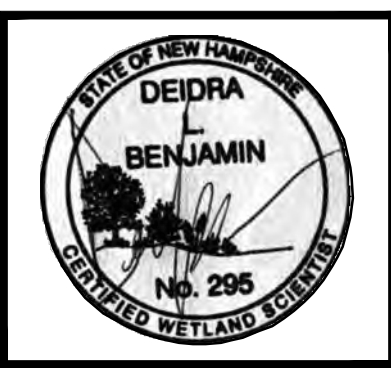
DeA ~ DEERFIELD FINE SANDY LOAM 0 TO 3% SLOPES
DeB ~ DEERFIELD FINE SANDY LOAM 3 TO 8% SLOPES
HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS,
8 TO 15% SLOPES
WdB ~ WINDSOR LOAMY SAND 3 TO 8% SLOPES

SEE: USDA/NRCS WEBSOIL
SEE TEST PIT DATA PLAN (SHEET #6)

WETLAND NOTES:

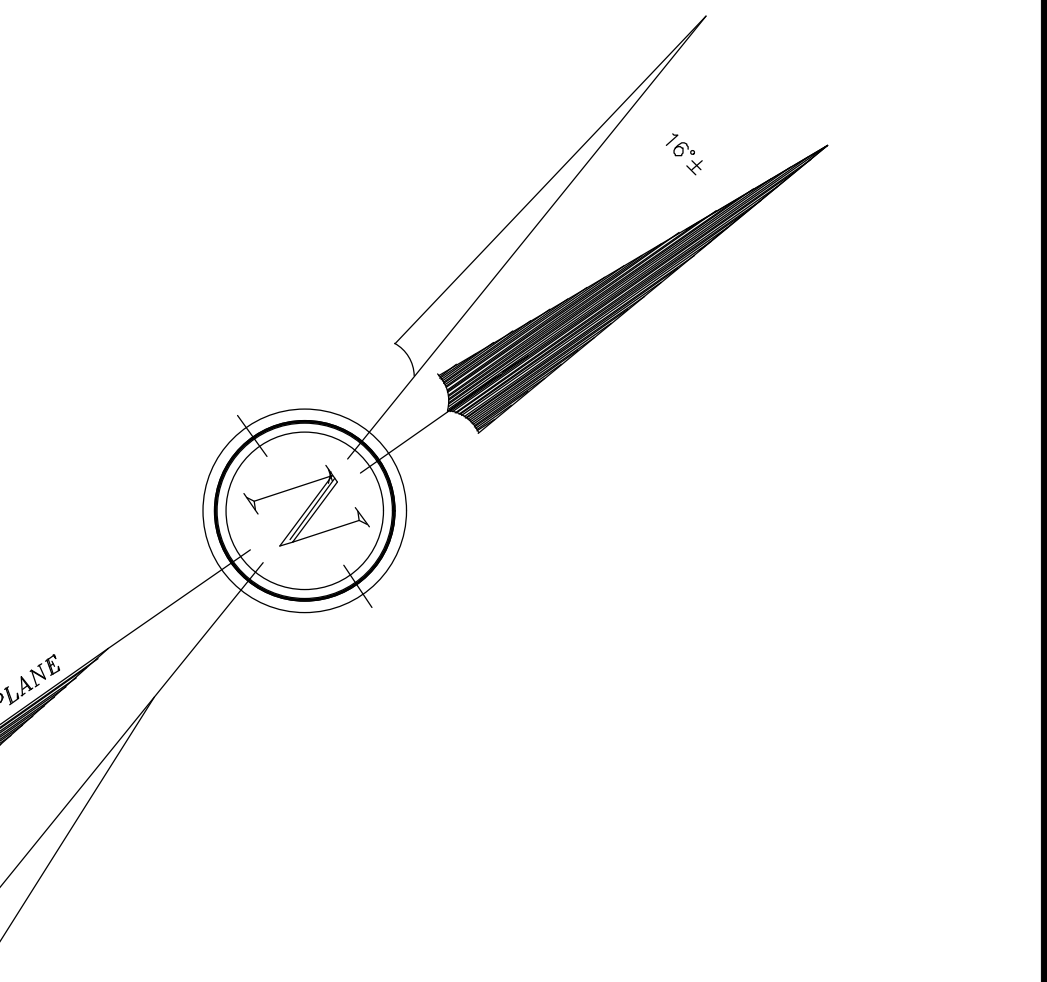
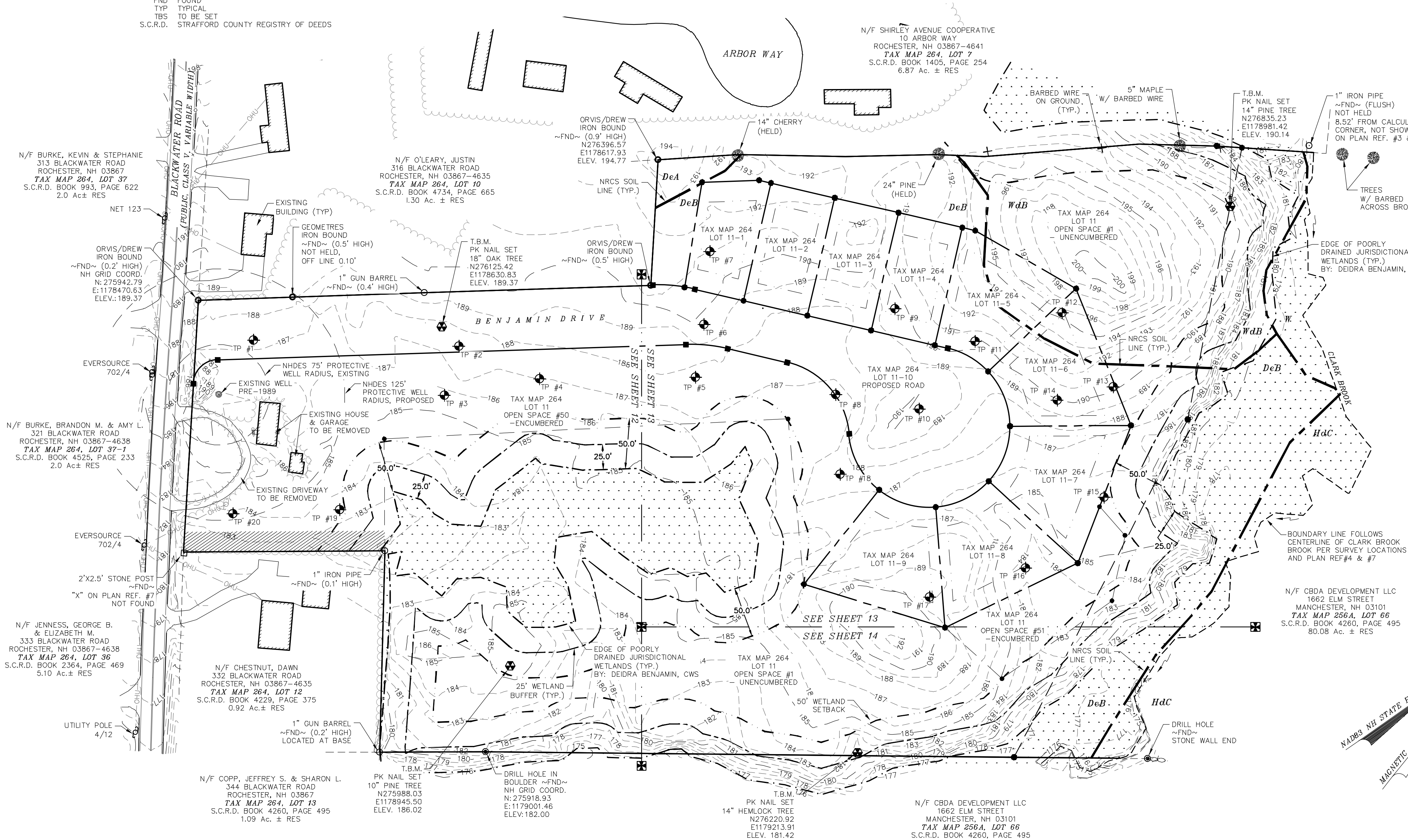
- WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295



NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- ZONING: AG (AGRICULTURAL), NO WATER OR SEWER
CONSERVATION SUBDIVISION
AVIATION OVERLAY DISTRICT
SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 20'
WETLAND BUILDING SETBACK: 50'
WETLAND BUFFER: 25'
MIN. LOT SIZE: 45,000 Sq. Ft. (SINGLE)
MIN. LOT SIZE: 67,500 Sq. Ft. (DUPLEX)
MIN. FRONTAGE: 150'
MIN. LOT COVERAGE: 35%
MAX. BUILDING COVERAGE: 30%
MAX. BUILDING HEIGHT: 35'
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN
FLOOD HAZARD REF: FEMA COMMUNITY #330150, MAP
33017C0218E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS.
HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES
GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE TOPOGRAPHY ON TAX
MAP 264, LOT 11 AS PART OF AN "OPEN SPACE SUBDIVISION"
CREATING 9 LOTS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF
A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN OCTOBER OF
2021, WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN
10,000.
- THE CURRENT USE OF THE PROPERTY IS A SINGLE FAMILY HOME.
THE PROPOSED USE WILL BE 9 SINGLE FAMILY LOTS, EACH LOT
PROPOSED TO UTILIZE 450 GPD.
- ALL LOTS WILL BE SERVICED BY A COMMUNITY WELL AND
COMMUNITY EFFLUENT DISPOSAL AREA.



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL, ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

REVISION	DATE	DESCRIPTION

OVERVIEW TOPOGRAPHIC SUBDIVISION PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

SIGNATURE: KENNETH A. BERRY
No. 805
STATE OF NEW HAMPSHIRE
LAND SURVEYOR

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

SOIL DATA:

DeA ~ DEERFIELD FINE SANDY LOAM 0 TO 3% SLOPES
DeB ~ DEERFIELD FINE SANDY LOAM 3 TO 8% SLOPES
HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 8 TO 15% SLOPES
WdB ~ WINDSOR LOAMY SAND 3 TO 8% SLOPES

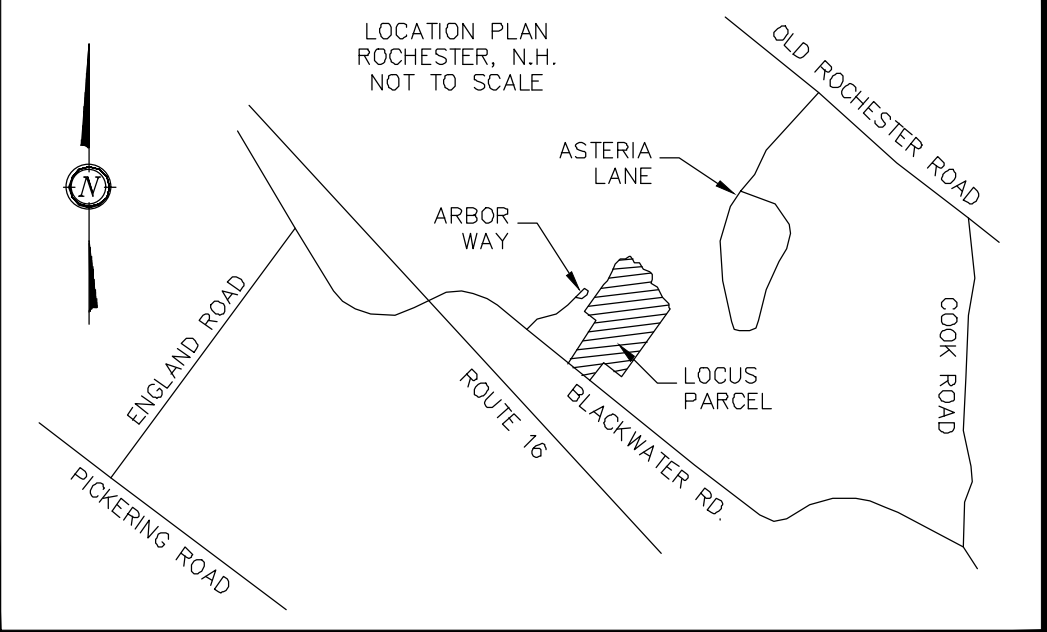
SEE: USDA/NRCS WEBSOIL
SEE TEST PIT DATA PLAN (SHEET #6)

WETLAND NOTES:

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:

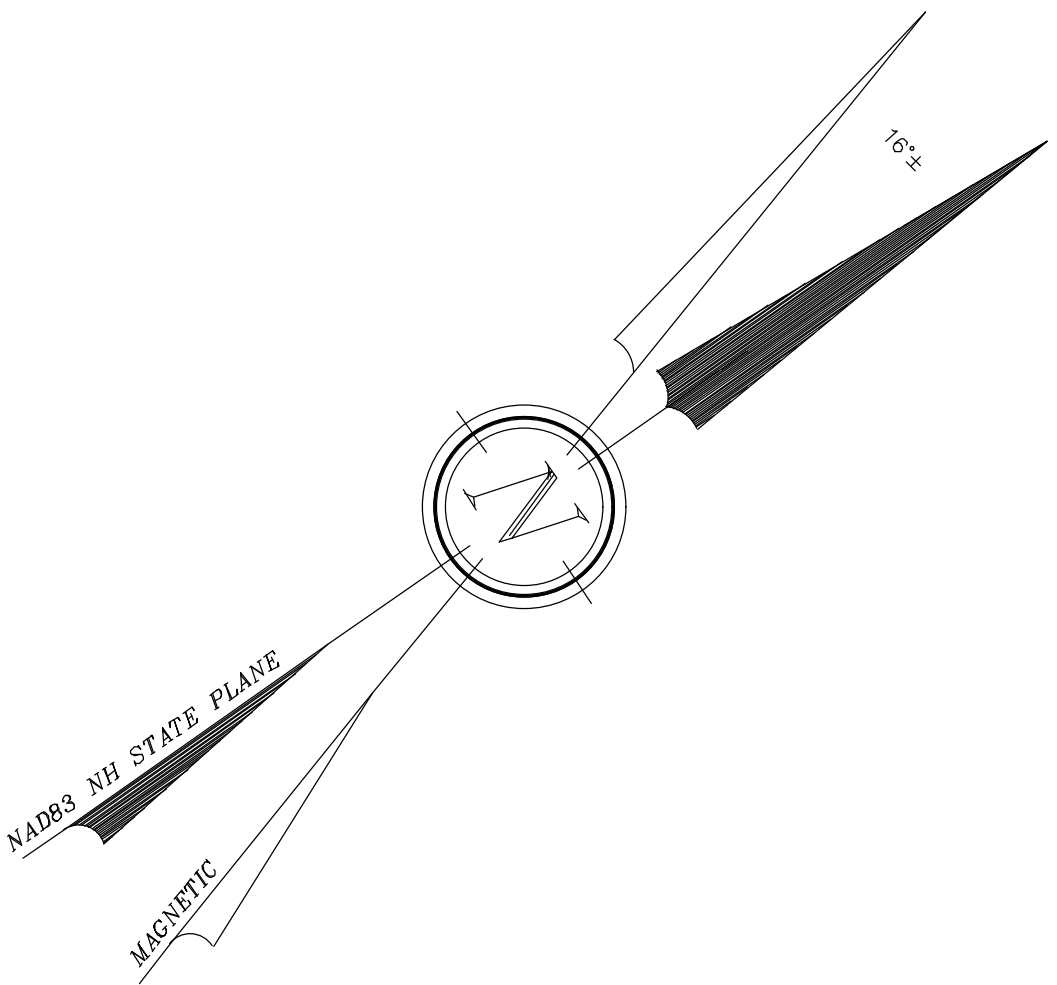
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
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- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295



NOTES:

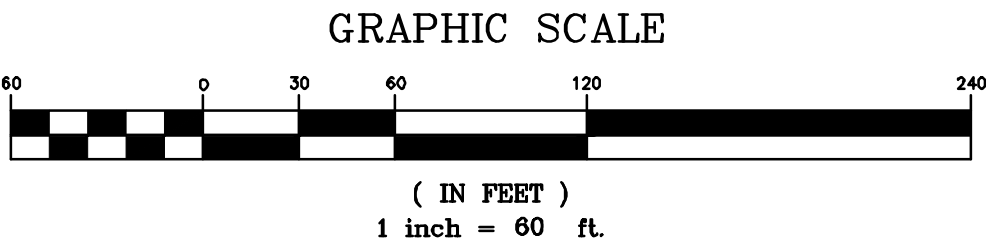
- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE WEST END OF THE PROPOSED SUBDIVISION WITH TOPOGRAPHY OF TAX MAP 264, LOT 11.
- FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.



LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
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- TEST PIT
- TEMPORARY BENCHMARK
- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY :
DATE :



N/F BURKE, KEVIN & STEPHANIE
313 BLACKWATER ROAD
ROCHESTER, NH 03867
TAX MAP 264, LOT 37
S.C.R.D. BOOK 993, PAGE 622
2.0 Ac± RES

N/F BURKE, BRANDON M. & AMY L.
321 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 37
S.C.R.D. BOOK 4525, PAGE 233
2.0 Ac± RES

N/F JENNESS, GEORGE B. & ELIZABETH M.
333 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 36
S.C.R.D. BOOK 2364, PAGE 469
5.10 Ac± RES

N/F COPP, JEFFREY S. & SHARON L.
344 BLACKWATER ROAD
ROCHESTER, NH 03867
TAX MAP 264, LOT 13
S.C.R.D. BOOK 4260, PAGE 495
1.09 Ac± RES

N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4635
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665
1.30 Ac± RES

N/F CHESTNUT, DAWN
332 BLACKWATER ROAD
ROCHESTER, NH 03867-4635
TAX MAP 264, LOT 12
S.C.R.D. BOOK 4229, PAGE 375
0.92 Ac± RES

T.B.M.
PK NAIL SET
18" OAK TREE
N276125.42
E1178630.83
ELEV. 189.37

LOT 11-10
PROPOSED ROAD
AREA:
60,751 Sq.Ft.
1.39 Ac.

LOT 11
OPEN SPACE
#50 - ENCUMBERED
79,257 Sq.Ft., 1.82 Ac.

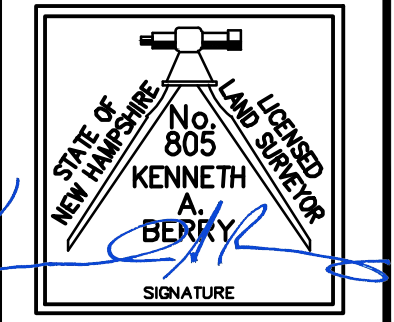
T.B.M.
PK NAIL SET
10" PINE TREE
N275988.03
E1178945.50
ELEV. 186.02

LOT 11
OPEN SPACE #1
UNENCUMBERED
BUILDABLE AREA
211,662 Sq.Ft.±, 4.86 Ac.±

N/F CBDA DEVELOPMENT LLC
1662 ELM STREET
MANCHESTER, NH 03101
TAX MAP 268A, LOT 66
S.C.R.D. BOOK 4260, PAGE 495
80.88 Ac± RES

SUBDIVISION DETAIL PLAN - WEST
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132



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N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4835
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665

N/F SHIRLEY AVENUE COOPERATIVE
TO ARBOR WAY
ROCHESTER, NH 03867-4641
TAX MAP 264, LOT 7
S.C.R.D. BOOK 1405, PAGE 254
6.87 Ac. ± RES

SOIL DATA:

DeA ~ DEERFIELD FINE SANDY LOAM 0 TO 3% SLOPES
DeB ~ DEERFIELD FINE SANDY LOAM 3 TO 8% SLOPES
HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS,
8 TO 15% SLOPES
WdB ~ WINDSOR LOAMY SAND 3 TO 8% SLOPES

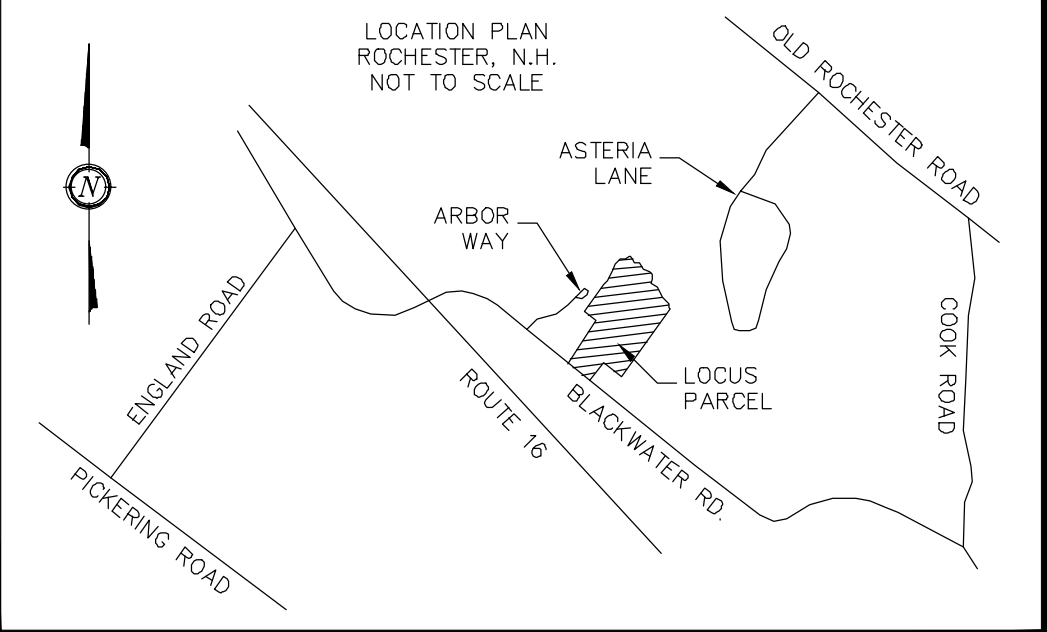
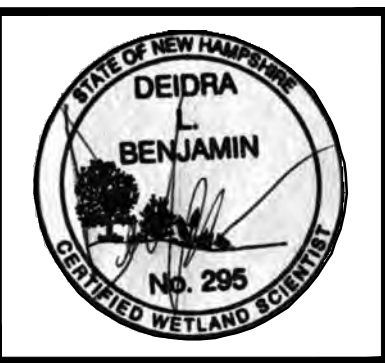
SEE: USDA/NRCS WEBSOIL
SEE TEST PIT DATA PLAN (SHEET #6)

WETLAND NOTES:

WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:

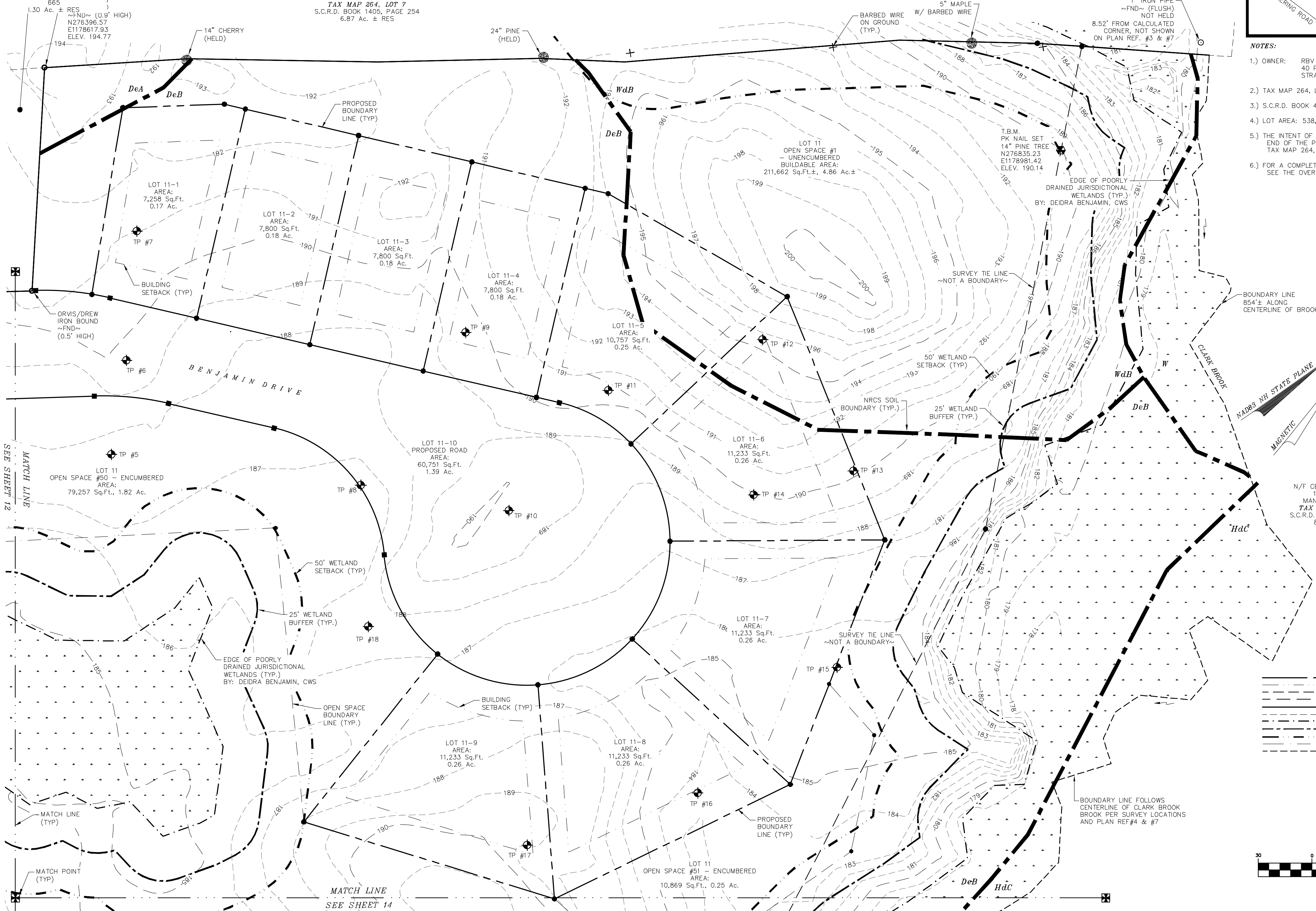
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- NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295



NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
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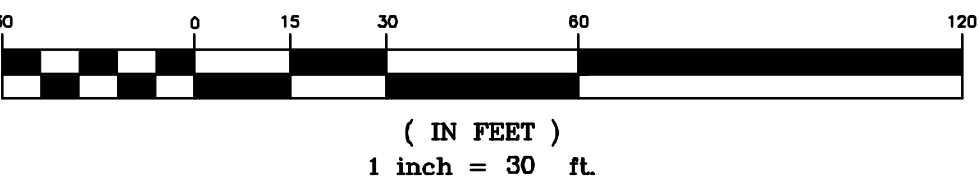


FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY : _____
DATE : _____

LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- UTILITY POLE
- PROPOSED BOUNDARY LINE
- PROPOSED BUILDING SETBACK LINE
- PROPOSED EASEMENT LINE
- SURVEY TIE LINE
- PERIMETER BOUNDARY LINE
- APPROXIMATE ABUTTING LOT LINE
- POORLY DRAINED WETLAND LINE
- 25' WETLAND BUFFER
- 50' WETLAND SETBACK
- OPEN SPACE BOUNDARY LINE
- CENTER LINE OF CLARK BROOK
- TEST PIT
- TEMPORARY BENCHMARK
- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

GRAPHIC SCALE

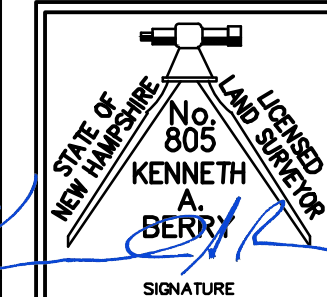


REVISION

DATE

TOPOGRAPHY DETAIL PLAN - EAST
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- UTILITY POLE
- PROPOSED BOUNDARY LINE
- PROPOSED BUILDING SETBACK LINE
- PROPOSED EASEMENT LINE
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- POORLY DRAINED WETLAND LINE
- 25' WETLAND BUFFER
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- CENTER LINE OF CLARK BROOK
- TEST PIT
- TEMPORARY BENCHMARK
- FND FOUND
- TYP TYPICAL
- TBS TO BE SET
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS

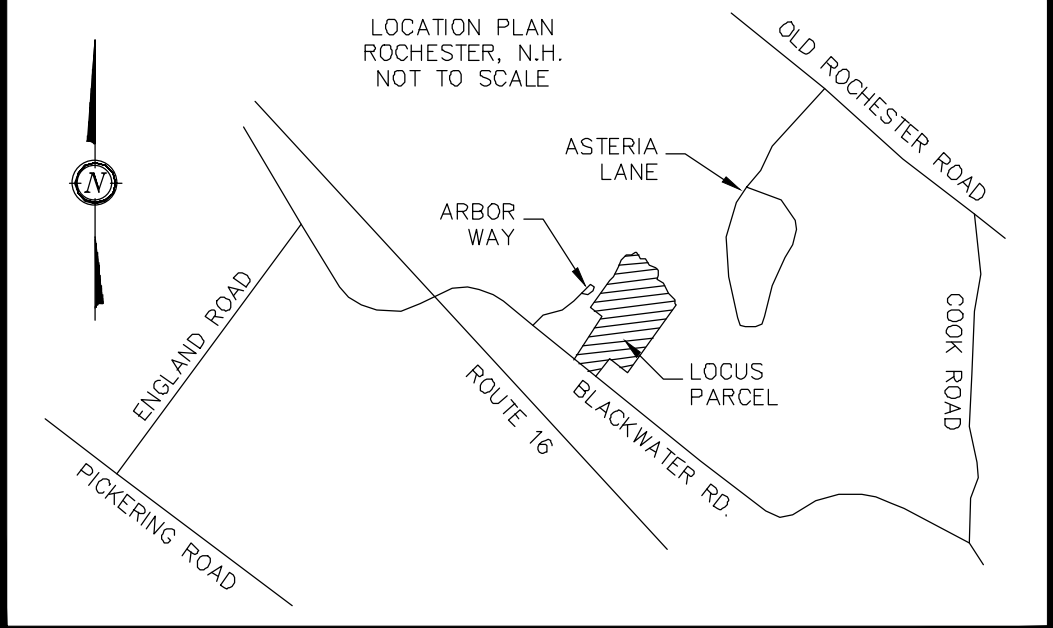
SOIL DATA:

DeA ~ DEERFIELD FINE SANDY LOAM 0 TO 3% SLOPES
DeB ~ DEERFIELD FINE SANDY LOAM 3 TO 8% SLOPES
HdC ~ HOLLIS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 8 TO 15% SLOPES
WdB ~ WINDSOR LOAMY SAND 3 TO 8% SLOPES
SEE: USDA/NRCS WEBSOIL
SEE TEST PIT DATA PLAN (SHEET #6)

WETLAND NOTES:

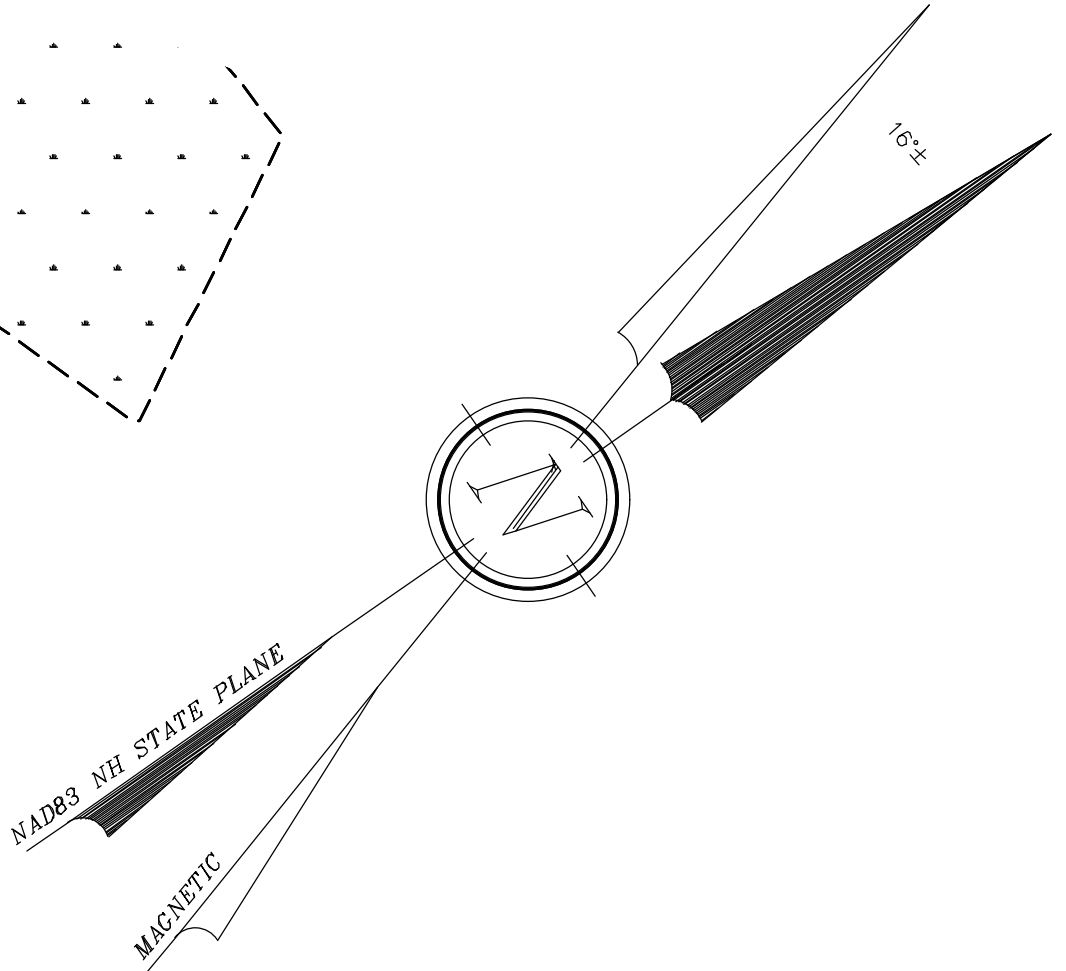
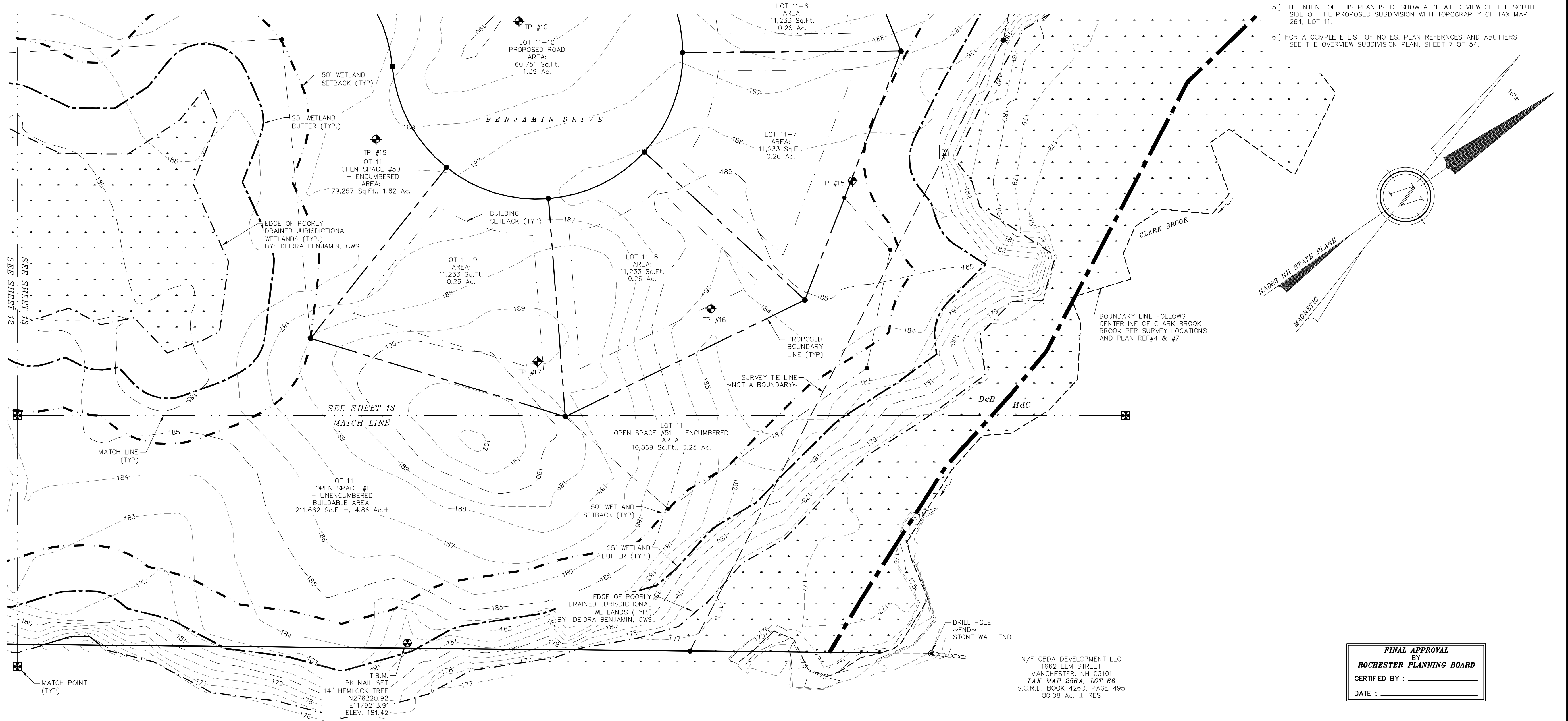
WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295

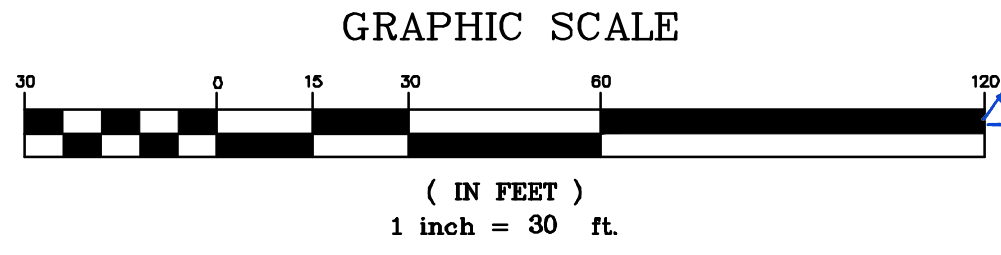


NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- THE INTENT OF THIS PLAN IS TO SHOW A DETAILED VIEW OF THE SOUTH SIDE OF THE PROPOSED SUBDIVISION WITH TOPOGRAPHY OF TAX MAP 264, LOT 11.
- FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY : _____
DATE : _____



REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN - SOUTH
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

SIGNATURE

SHEET 14 OF 54

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4835
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665

N/F SHIRLEY AVENUE COOPERATIVE
TO ARBOR WAY
ROCHESTER, NH 03867-4641
TAX MAP 264, LOT 7
S.C.R.D. BOOK 1405, PAGE 254
6.87 Ac. ± RES

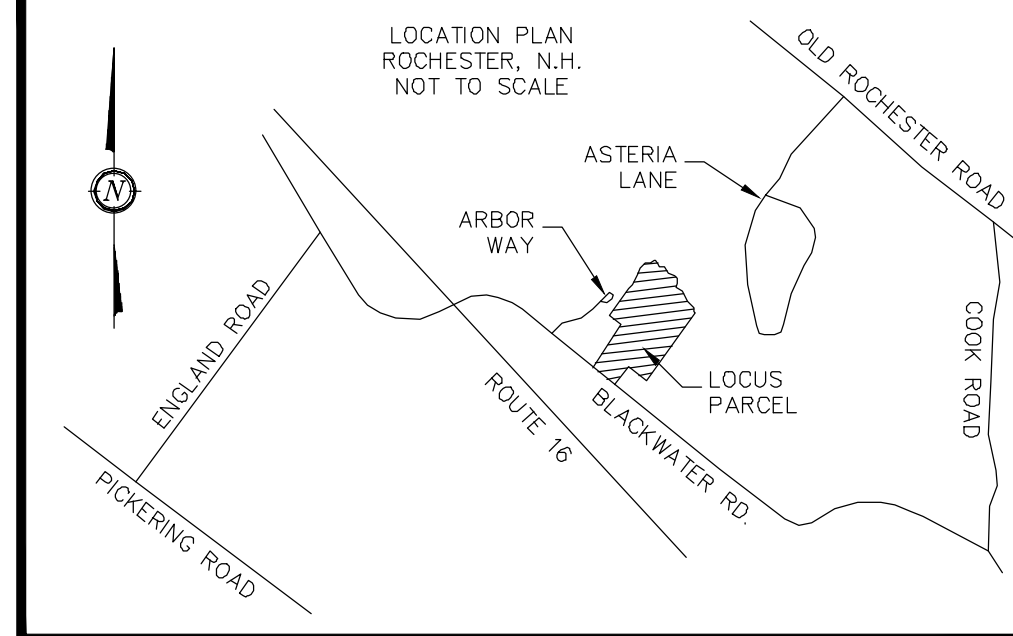
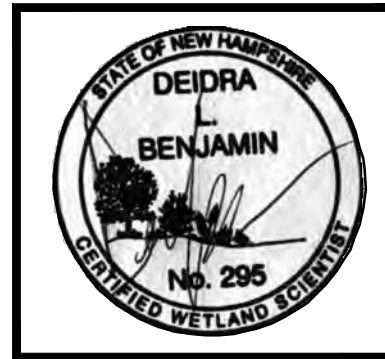
LEGEND:

- 3/4" REBAR W/D CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- GRANITE POST ~FND~
- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- UTILITY POLE
- PROPOSED BOUNDARY LINE
- PROPOSED BUILDING SETBACK LINE
- PROPOSED EASEMENT LINE
- SURVEY TIE LINE
- PERMETER BOUNDARY LINE
- APPROXIMATE ABUTTING LOT LINE
- POORLY DRAINED WETLAND LINE
- 25' WETLAND BUFFER
- 50' WETLAND SETBACK
- OPEN SPACE BOUNDARY LINE
- CENTER LINE OF CLARK BROOK

WETLAND NOTES:

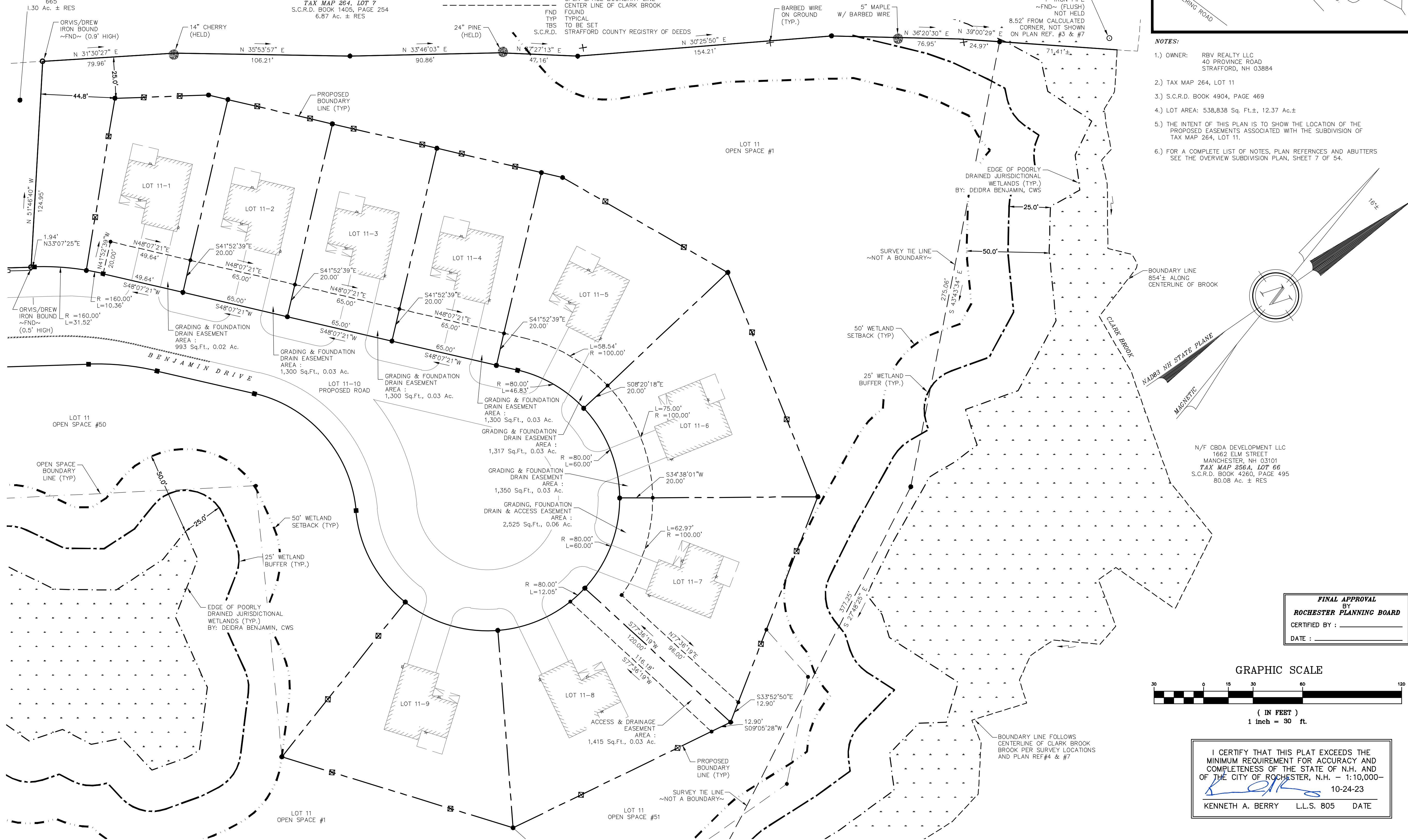
- WETLANDS WERE DELINEATED BY DEIDRA BENJAMIN, IN OCTOBER 2021 UTILIZING THE FOLLOWING STANDARDS:
- REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
 - NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

DEIDRA BENJAMIN, CWS #295

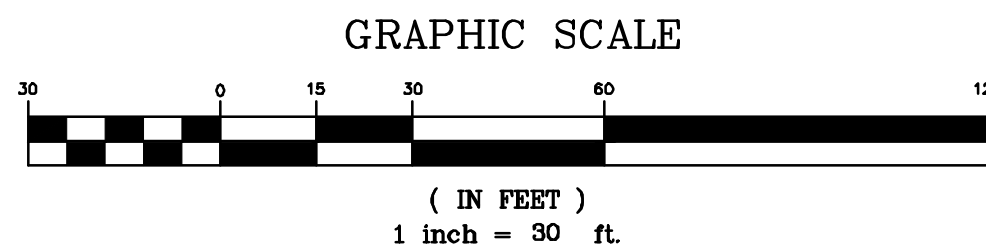


NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft. ±, 12.37 Ac. ±
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE PROPOSED EASEMENTS ASSOCIATED WITH THE SUBDIVISION OF TAX MAP 264, LOT 11.
- FOR A COMPLETE LIST OF NOTES, PLAN REFERENCES AND ABUTTERS SEE THE OVERVIEW SUBDIVISION PLAN, SHEET 7 OF 54.



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____



I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
10-24-23
KENNETH A. BERRY L.L.S. 805 DATE

REVISION	DATE	DESCRIPTION

EASEMENT PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

SHEET 15 OF 54

NOTES:

- OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft. ±, 12.37 Ac. ±
- ZONING: AG (AGRICULTURAL), NO WATER OR SEWER
AVIATION OVERLAY DISTRICT
CONSERVATION SUBDIVISION
SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 20'
WETLAND BUILDING SETBACK: 50'
WETLAND BUFFER: 25'
MIN. LOT SIZE: 6,000 Sq. Ft.
MIN. FRONTAGE: 60'
MIN. LOT COVERAGE: 35%
MAX. BUILDING COVERAGE: 30%
MAX. BUILDING HEIGHT: 35'
- THE INTENT OF THIS PLAN IS TO SHOW THE SITE PLAN OF THE MAJOR RESIDENTIAL SUBDIVISION OF TAX MAP 264, LOT 11 USING THE CONSERVATION SUBDIVISION ORDINANCE.
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN. FLOOD HAZARD REF: FEMA, COMMUNITY #330150, MAP 33017C0218E, DATED: SEPTEMBER 30, 2015.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN OCTOBER OF 2021 WITH AN ERROR OF CLOSURE BETTER THAN 1 PART IN 10,000.
- TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED IN NOVEMBER 2021.
- LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT OR CONDITIONAL USE PERMITS GRANTED BY THE PLANNING BOARD FOR THE PROPOSED USE OR STRUCTURE, INCLUDING THE CASE NUMBER AND DATE OF DECISION AND ANY CONDITIONS.
- NONE
- SEE PROJECT NOTES SHEET (SHEET #2) FOR REMAINING NOTES.

LOT DENSITY CALCULATIONS:

538,838 Sq.Ft. - 8,997 Sq.Ft. (25% SLOPES) =
529,841 Sq.Ft.
529,841 Sq.Ft. X .75 (ALLOWANCE FACTOR) =
397,380 Sq.Ft.
397,380 Sq.Ft. / 45,000 Sq.Ft. (LOT SIZE) =
8.83 LOTS
8.83 LOTS X 1.3 (DENSITY BONUS) =
11 LOTS, POSSIBLE
9 LOT, DESIGN
(SINGLE FAMILY DETACHED)

OPEN SPACE CALCULATION:

LOT AREA: 538,838 Sq.Ft.
OPEN SPACE #1 - BUILDABLE AREA: 211,662 Sq.Ft.
NON-BUILDABLE AREA:
WETLAND: 80,896 Sq.Ft. ±
25% SLOPES: 8,997 Sq.Ft.
OPEN SPACE #50 - ENCUMBERED: 79,257 Sq.Ft.
OPEN SPACE #51 - ENCUMBERED: 10,869 Sq.Ft.
TOTAL OPEN SPACE: 391,681 Sq.Ft.
AREA FOR OPEN SPACE CALCS.: 448,945 Sq.Ft.
448,945 X .4 (40%) = 179,578 Sq.Ft. REQUIRED
QUALIFYING OPEN SPACE: 211,662 Sq.Ft. (47%)

EXISTING LEGEND:

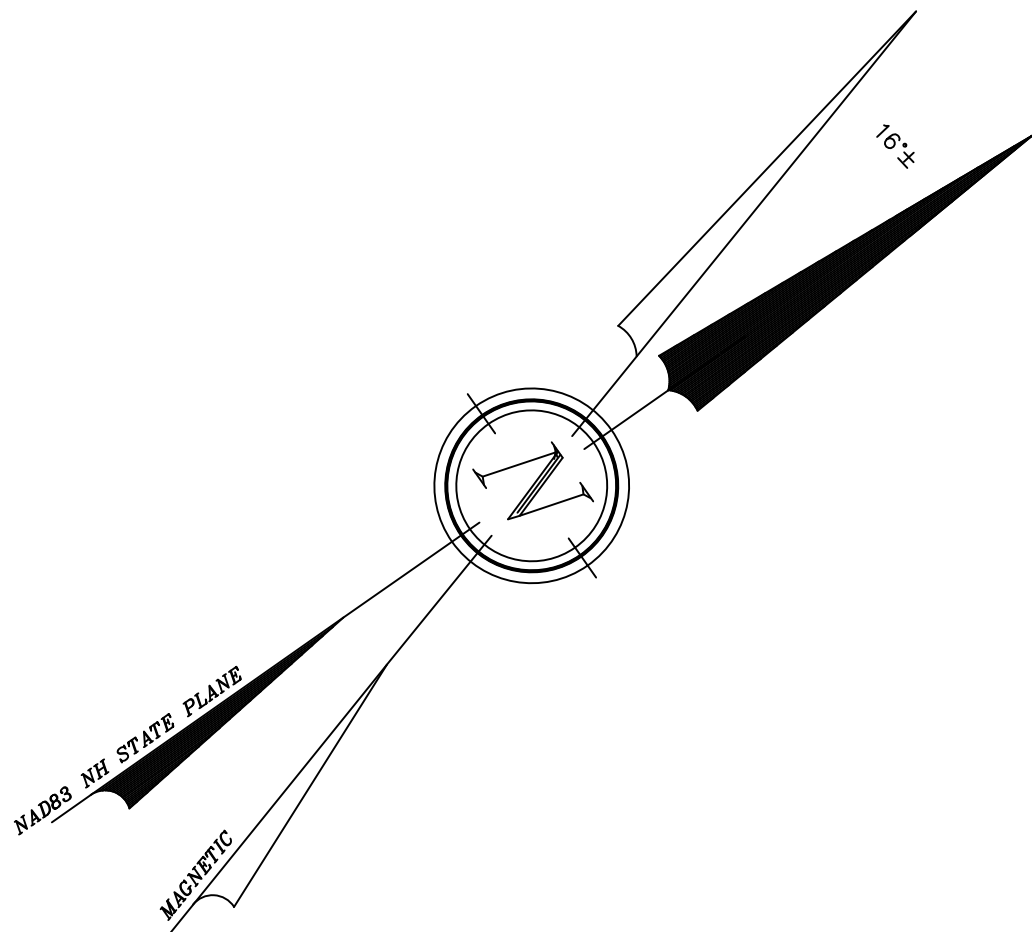
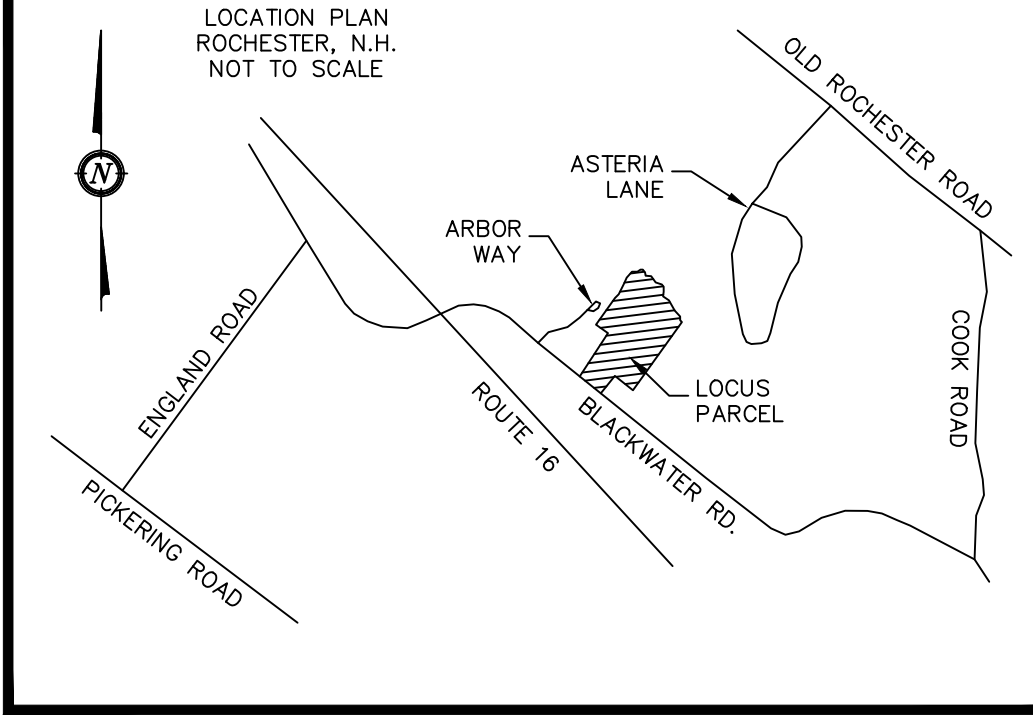
- 3/4" REBAR /ID CAP ~TBS~
- GRANITE BOUND ~TBS~
- 1/2" REBAR W/D CAP ~TBS~
- DRILL HOLE ~FND~
- IRON PIPE/GUN BARREL ~FND~
- IRON BOUND ~FND~
- ANGLE IRON ~FND~
- STONE POST BOUND ~FND~
- UTILITY POLE/GUY WIRE
- BUILDING SETBACK LINE
- CENTERLINE CLARK BROOK
- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- WETLAND BUFFER 25' TO POORLY DRAINED
- WETLAND SETBACK 50' TO POORLY DRAINED
- STONE WALL
- PROPOSED BOUNDARY LINE
- PROPOSED EASEMENT LINE
- OPEN SPACE BOUNDARY LINE
- ROAD CENTERLINE
- GRAVEL SHOULDER

S.C.R.D. TYP. FND TBS

SNOW STORAGE

UPLAND BUILDABLE AREA USED IN SATISFYING THE OPEN SPACE REQUIREMENT.

N/F SHIRLEY AVENUE COOPERATIVE
10 ARBOR WAY
ROCHESTER, NH 03867-4641
TAX MAP 264, LOT 7
S.C.R.D. BOOK 1405, PAGE 254
6.87 Ac. ± RES



WAIVER REQUESTS:
SUBDIVISION REGULATION SECTION 6.4.1: MINIMUM DRAINAGE PIPE COVER
CHAPTER 218: PIPE VELOCITY LESS THAN 2 FPS, CB#3 AND D/#2

SNOW STORAGE:

- STORAGE CALCULATION (6:1 RATIO USED)
- PAVED AREA = 42,357 Sq.Ft. / 6 = 7,060 Sq. Ft.
- >8,471 Sq. Ft. PROVIDED
- THIS CALCULATION BASED ON THE TOTAL SITE.
- SNOW SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS ONCE IDENTIFIED AREAS ARE FULL.

N/F CBDA DEVELOPMENT LLC
1662 ELM STREET
MANCHESTER, NH 03101
TAX MAP 256A, LOT 66
S.C.R.D. BOOK 4260, PAGE 495
80.08 Ac. ± RES

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

DESCRIPTION

REVISION

DATE

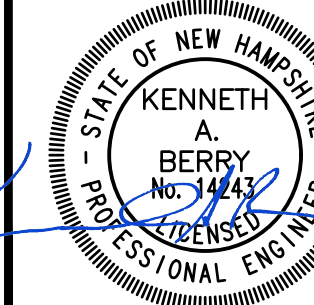
OVERVIEW SITE PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

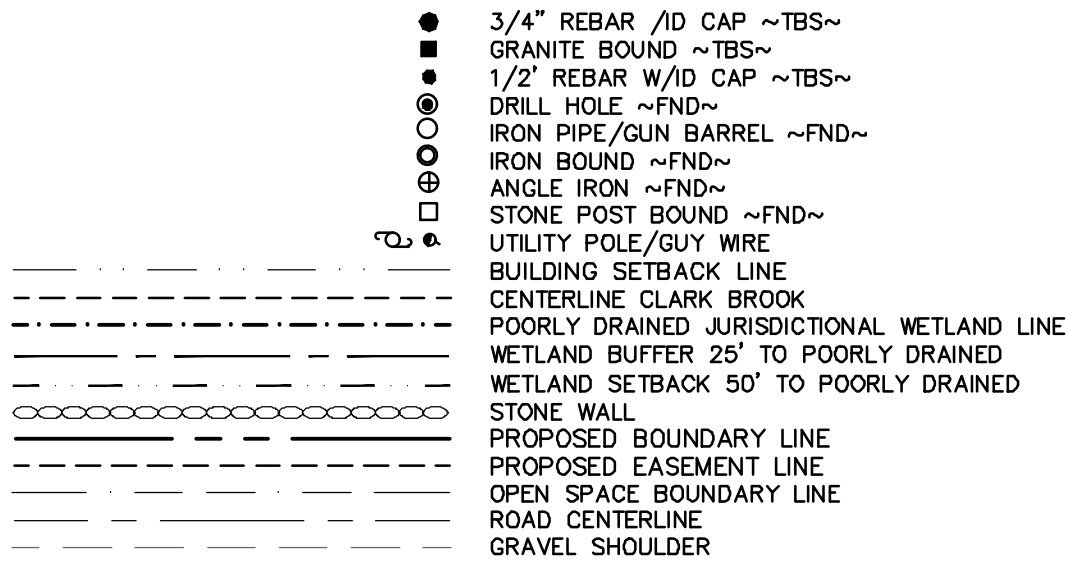
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DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132



EXISTING LEGEND:

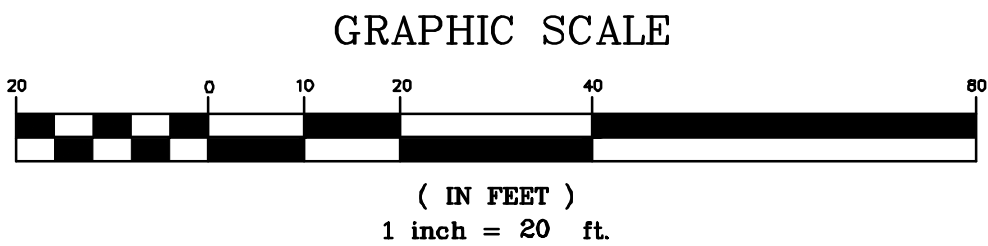
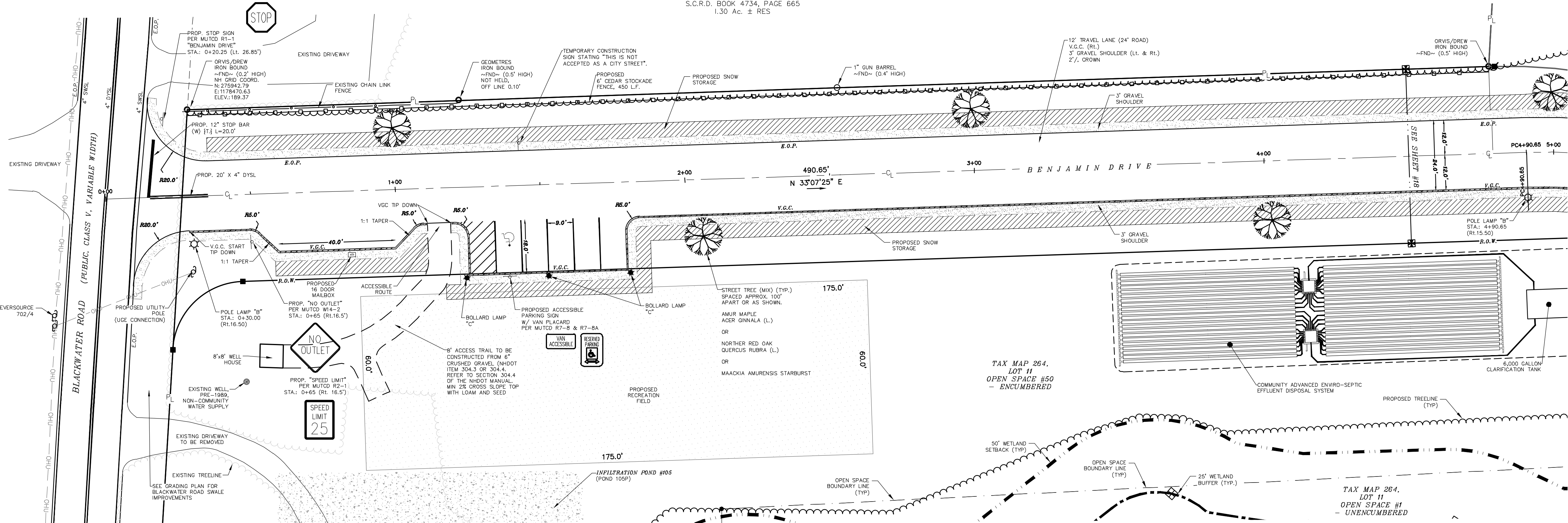


S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FOUND FOUND
TBS TO BE SET

SNOW STORAGE

UPLAND BUILDABLE AREA USED IN SATISFYING THE OPEN SPACE REQUIREMENT.

N/F O'LEARY, JUSTIN
316 BLACKWATER ROAD
ROCHESTER, NH 03867-4635
TAX MAP 264, LOT 10
S.C.R.D. BOOK 4734, PAGE 665
1.30 Ac. ± RES



NOTES:

- 1.) OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 264, LOT 11
- 3.) S.C.R.D. BOOK 4904, PAGE 469
- 4.) LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE SITE PLAN ELEMENTS OF MAJOR RESIDENTIAL SUBDIVISION PLAN OF TAX MAP 264, LOT 11.

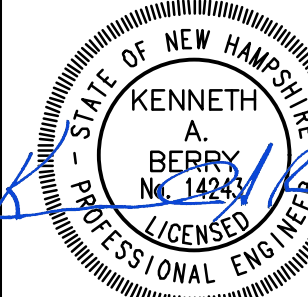
DETAIL SITE PLAN - BENJAMIN DRIVE 0+00 - 5+00

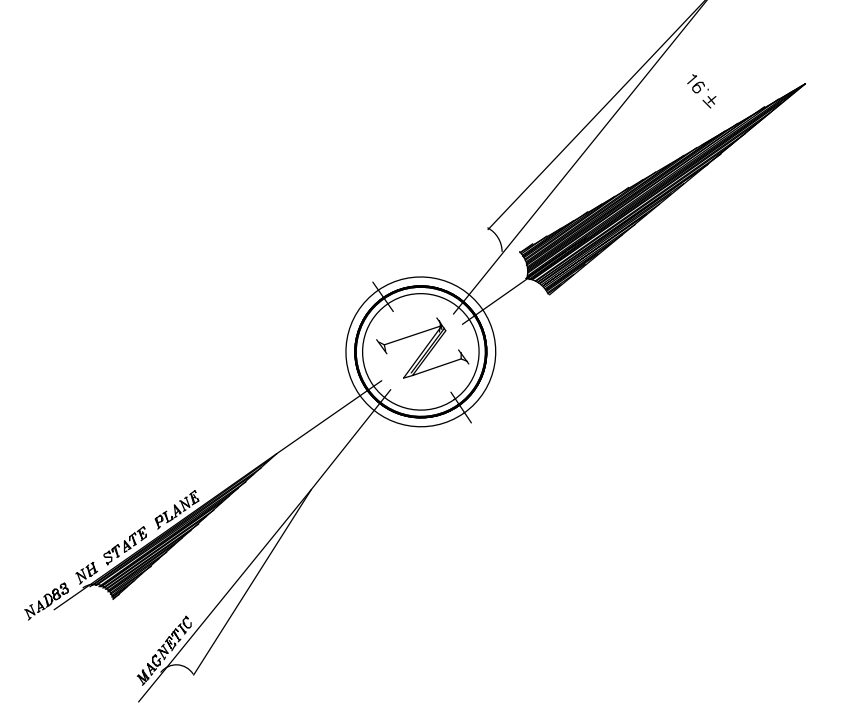
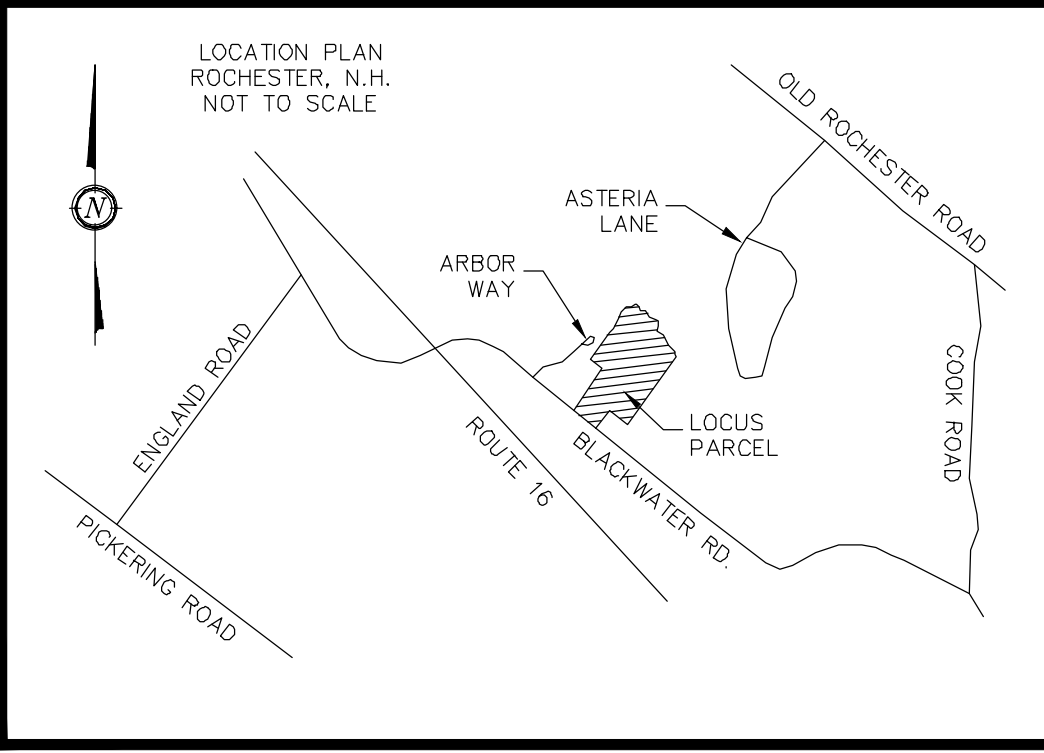
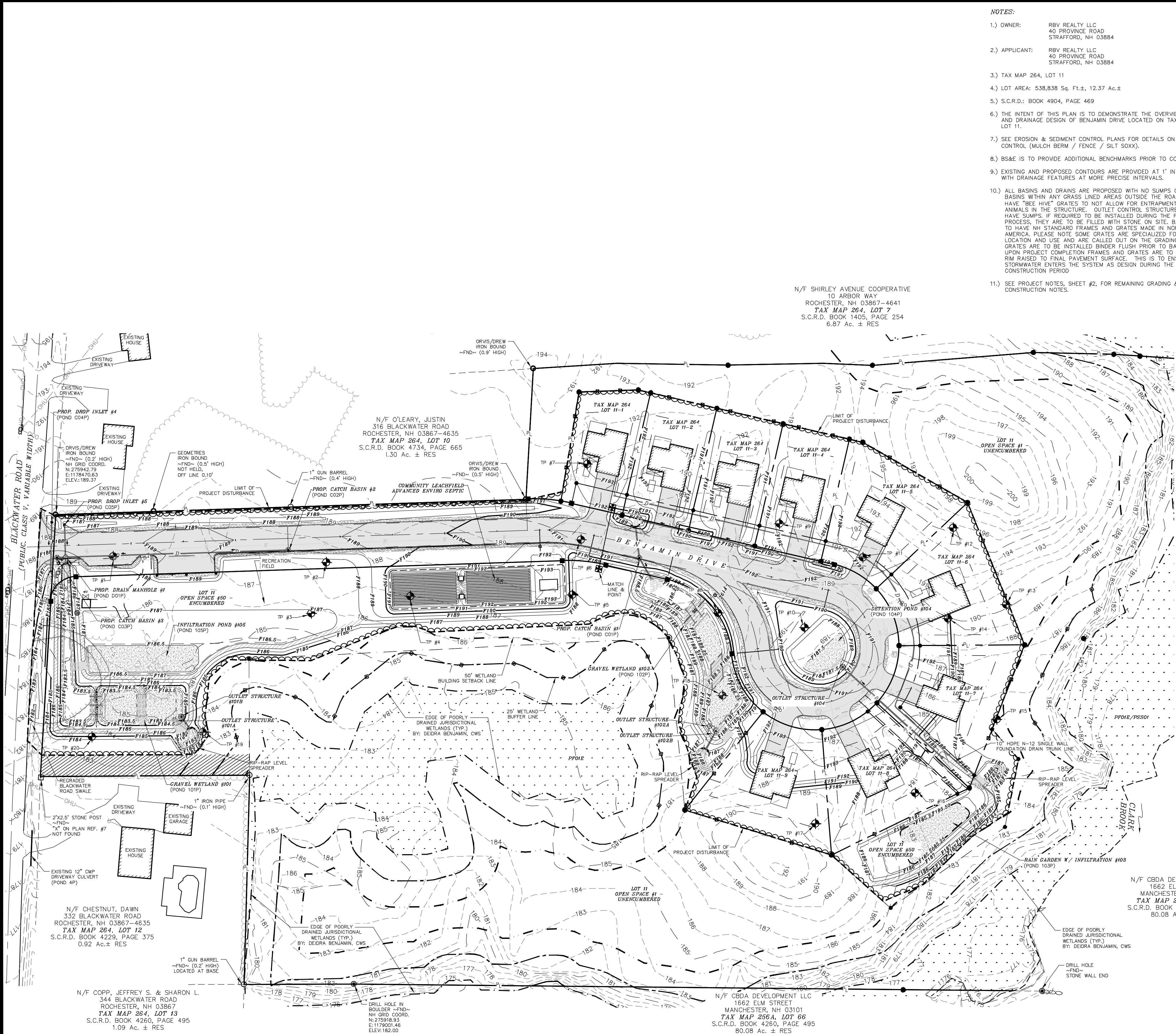
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132





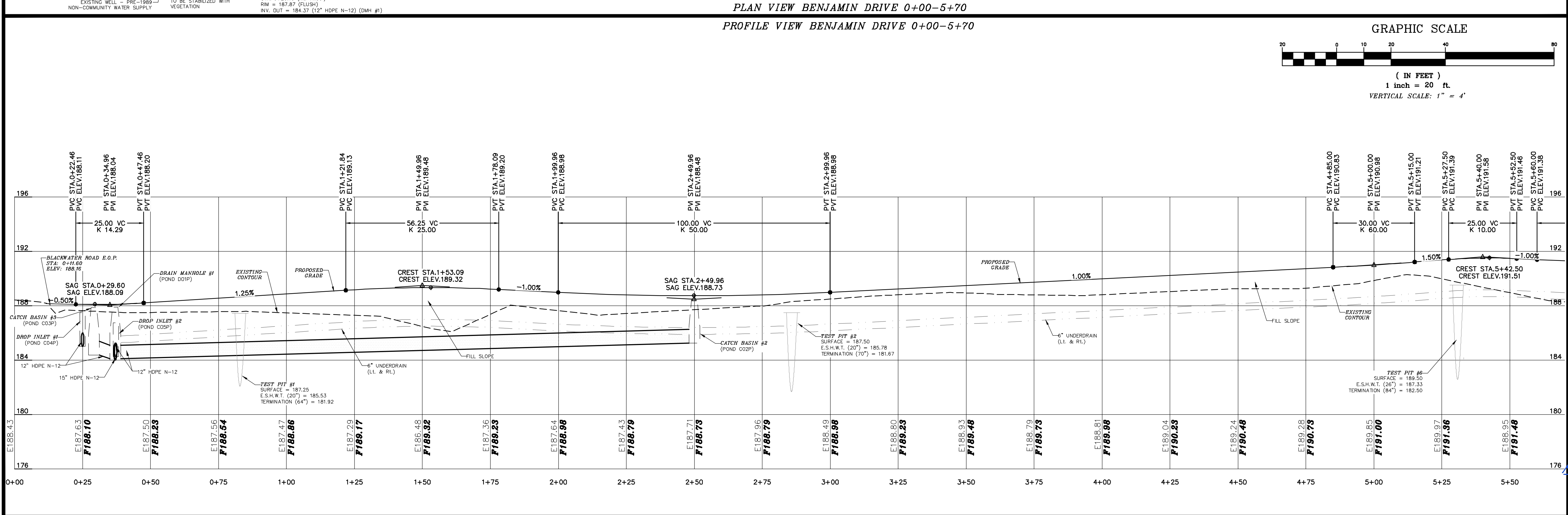
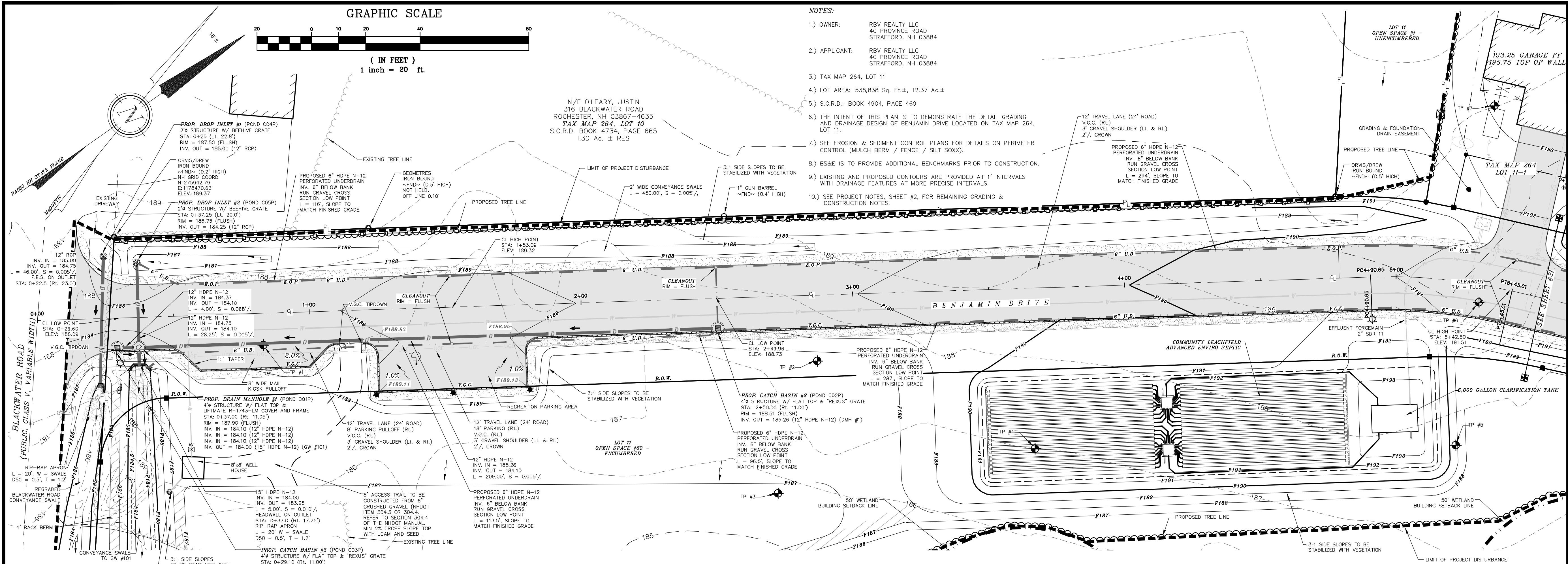
REVISION	DATE	DESCRIPTION

OVERVIEW GRADING PLAN LAND OF RBV REALTY LLC 324 BLACKWATER RD ROCHESTER, N.H. TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 1424
REGISTERED PROFESSIONAL ENGINEER

SHEET 19 OF 54



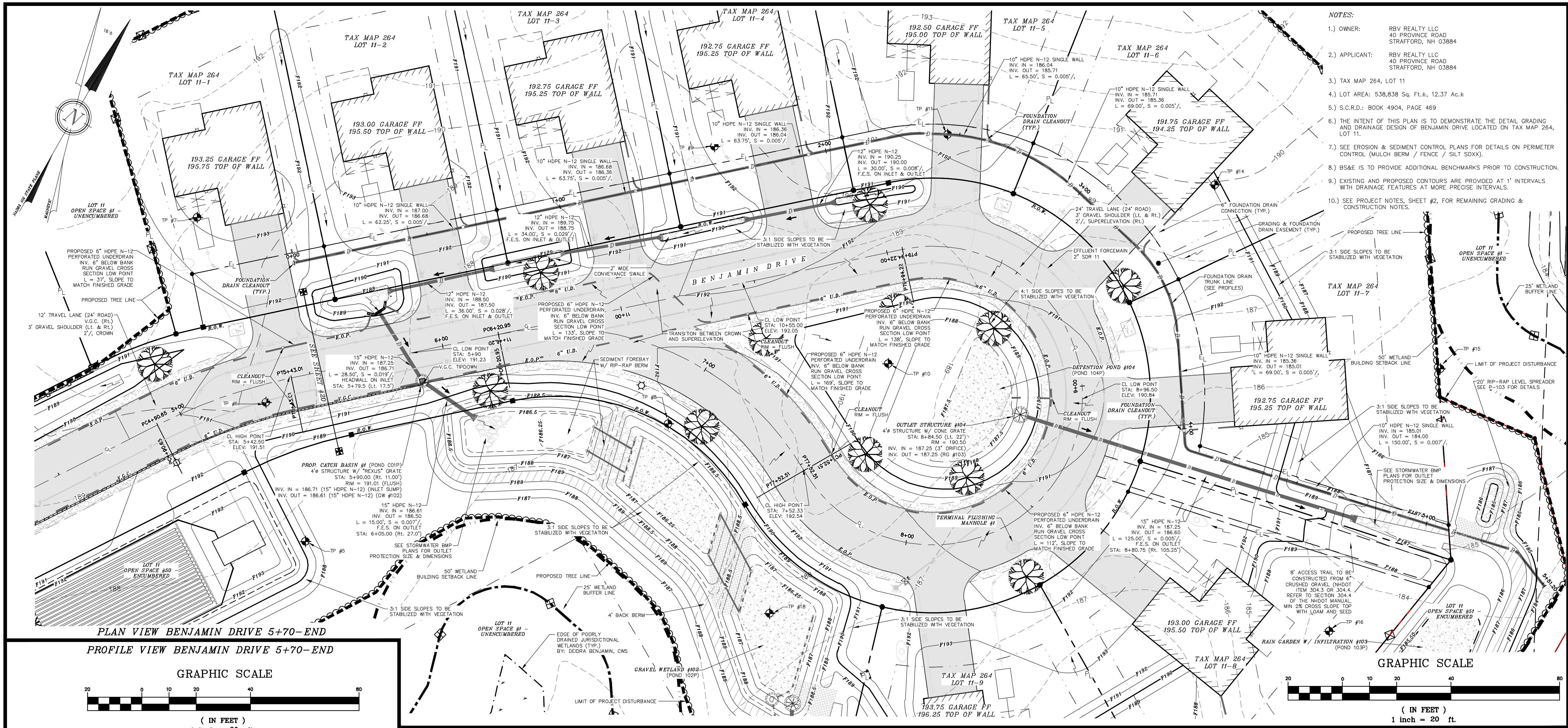
REVISION	DATE	DESCRIPTION

GRADING PLAN & PROFILE BENJAMIN DRIVE 0+00-5+70
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER - NEW HAMPSHIRE

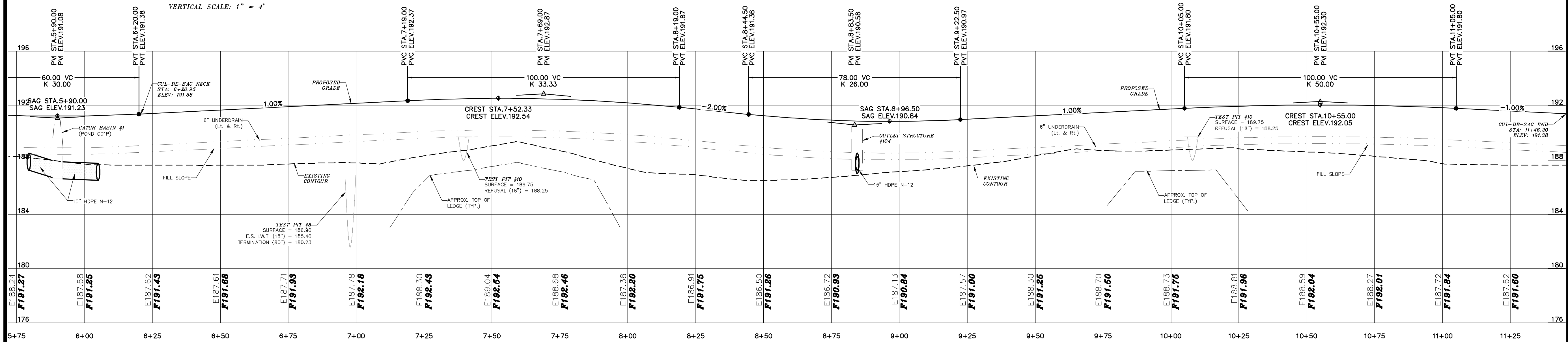
SHEET 20 OF 54



- NOTES:
- 1.) OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
 - 2.) APPLICANT: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
 - 3.) TAX MAP 264, LOT 11
 - 4.) LOT AREA: 538,838 Sq. Ft., 12.37 Ac.±
 - 5.) S.C.R.D.: BOOK 4904, PAGE 469
 - 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE DETAIL GRADING AND DRAINAGE DESIGN OF BENJAMIN DRIVE LOCATED ON TAX MAP 264, LOT 11.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE PROJECT NOTES, SHEET #2, FOR REMAINING GRADING & CONSTRUCTION NOTES.

REVISION	DATE	DESCRIPTION

GRADING PLAN & PROFILE BENJAMIN DRIVE 5+70-END
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

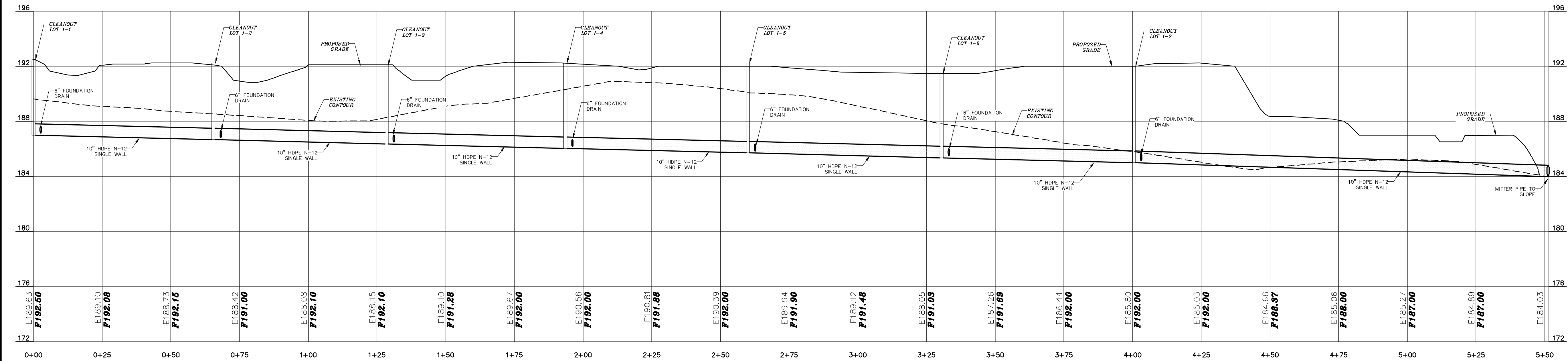
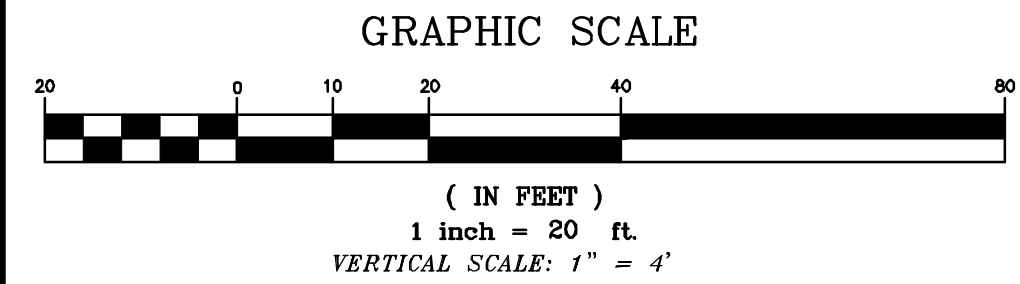


BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 24243
LICENSED PROFESSIONAL ENGINEER

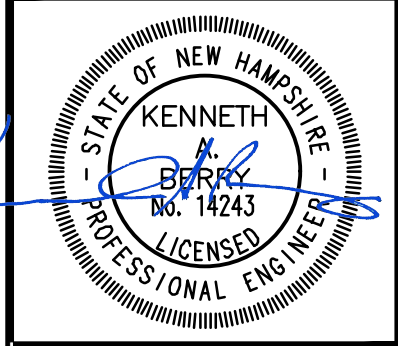
SHEET 21 OF 54

PROFILE VIEW FOUNDATION DRAIN TRUNK LINE
LOTS 11-1 - 11-7

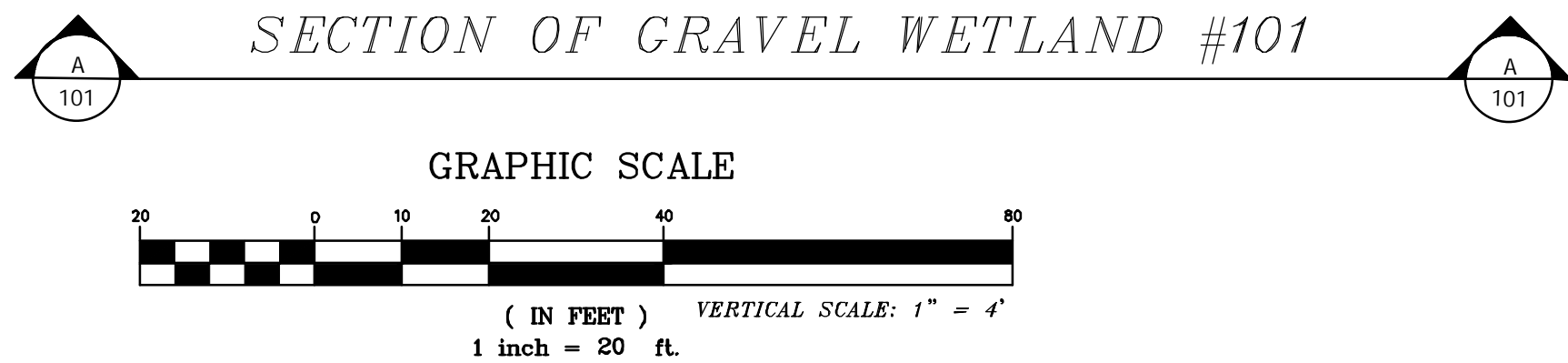
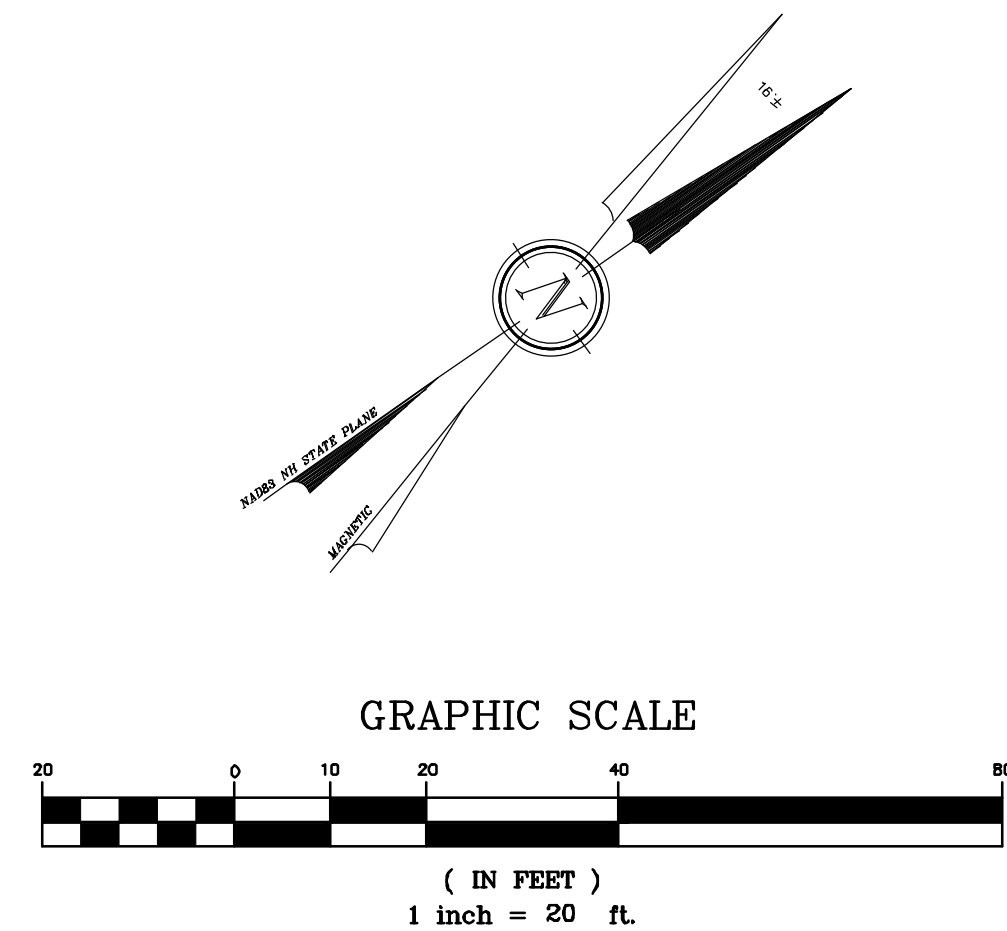


FOUNDATION DRAIN PROFILE
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132



REVISION	DATE	DESCRIPTION



P-101A

SUBSURFACE GRAVEL WETLAND #101 PLAN VIEW & PROFILES

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 15246
LICENSED PROFESSIONAL ENGINEER

SHEET 23 OF 54

<u>ACTIVITY</u>	<u>CLOGGING AND SYSTEM PERFORMANCE</u>	<u>FREQUENCY</u>
-----------------	--	------------------

ANNUALLY, MORE
FREQUENTLY IN THE
FIRST YEAR OF
OPERATION

<p>CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS</p>	
--	--

ANNUALLY, OR AS

ONCE EVERY 3

YEARS

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD WASHED
STONE - SECTION 702 OF NHDOT
NHDOT STANDARD SPECIFICATIONS

* EQUIVALENT TO STANDARD WASHED
STONE - SECTION 702 OF NHDOT
NHDOT STANDARD SPECIFICATIONS

0.5	±10.0
#10	±5.0
#100	±5.0

0.5	±10.0
#10	±5.0
#100	±5.0

DESIGN REFERENCES

1 UNH STORMWATER CENTER

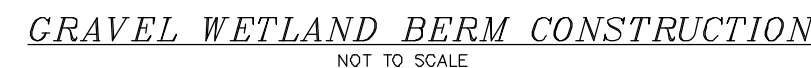
SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE
WORKING DAY UPON COMPLETION OF FINAL GRADE.

GRAVEL WETLAND CONSTRUCTION & MAINTENANCE SPECIFICATIONS

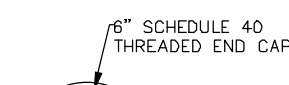
P2



LOW PERMEABILITY MATERIAL GRADATION



TOP VIEW (OS #101A)



NOT TO SCALE



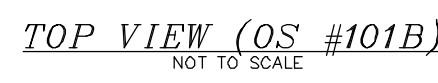
Diagram illustrating the cross-section of a pond structure, showing two cells (CELL #1 and CELL #2) and a central core area. The diagram includes various components and dimensions:

- CELL #1 POND BOTTOM ELEV. 183.50**
- CELL #2 POND BOTTOM ELEV. 183.50**
- 6" PVC CLEANSOUT W/CAP ELEV. 184.50**
- 4" INTERNAL BERM EARTH CORE W/ MATTED STABILIZATION**
- 6" PVC PERF. RISER W/ GRATE ELEV. 184.50**
- 2103 P7**
- CORE**
- 3:1** (Slope ratio for the berm)
- 6" PVC 90° ELBOW**
- 8"** (Horizontal distance between the 6" PVC 90° elbows)
- 6" PVC 90° ELBOW**
- SOLID PIPE THROUGH 8" WETLANDS SOILS & 3" WASHED STONE LAYER**
- 6" PERF. PVC UNDERDRAIN (LAID LEVEL) L = 20' ELEV. 180.58**
- 6" SOLID PVC PIPE (LAID LEVEL) ELEV. 180.58**
- 6" PERF. PVC UNDERDRAIN (LAID LEVEL) L = 20' ELEV. 180.58**

GRAVEL WETLAND CONNECTION SYSTEM
NOT TO SCALE

GRAVEL WETLAND INLET SYSTEM
NOT TO SCALE

OUTLET STRUCTURE
#101B (SECONDARY)
NOT TO SCALE



SEDIMENT FORBAY GAUGE DETAIL

-
- Diagram illustrating the cleanout assembly:
- PVC CAP
 - 1" DIA. SCH. 40 PVC STAFF GAUGE
 - CLEANOUT ELEV. MARK
 - 3' EXPOSED
 - 3' BURIED

GRAVEL WETLAND SPILLWAY DETAILS



35' MATTED

NAG BIONET SC 125 BN

1.5'

3:1

184.50

186.00

GRAVEL WETLAND CELL SPILLWAY PROFILE

NOT TO SCALE

GRAVEL WETLAND CELL SPILLWAY PROFILE

SUBSURFACE GRAVEL WETLAND #101 DETAILS

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
WASHINGTON, NJ 07895 (570) 773-0800

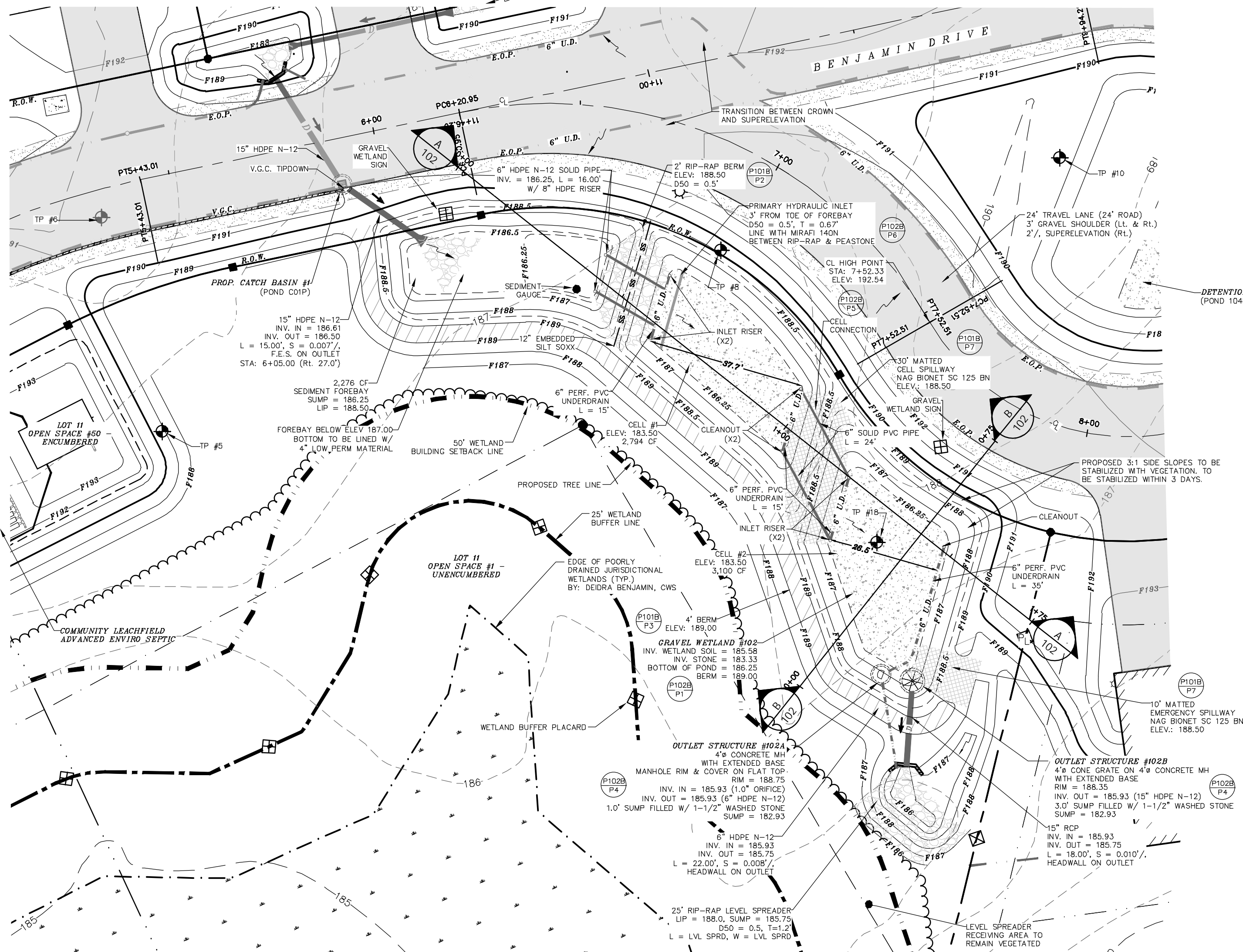
BARRINGTON, NH 03825 (603)332-2863
SCALE : N/A
DATE : OCTOBER 20, 2023
FILE NO : DR 2021-132

DATE : OCTOBER 20,
FILE NO : DB 2021-132

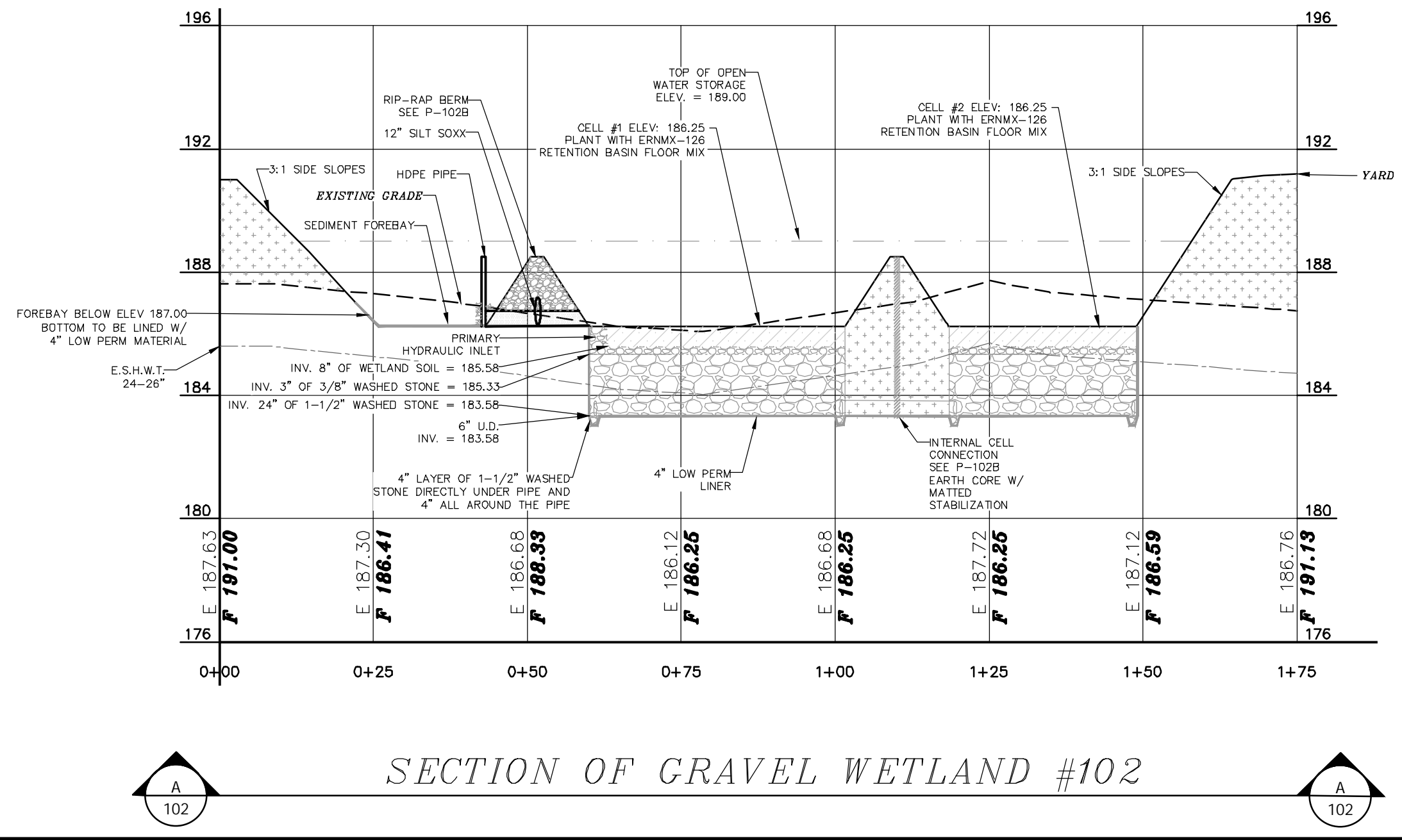
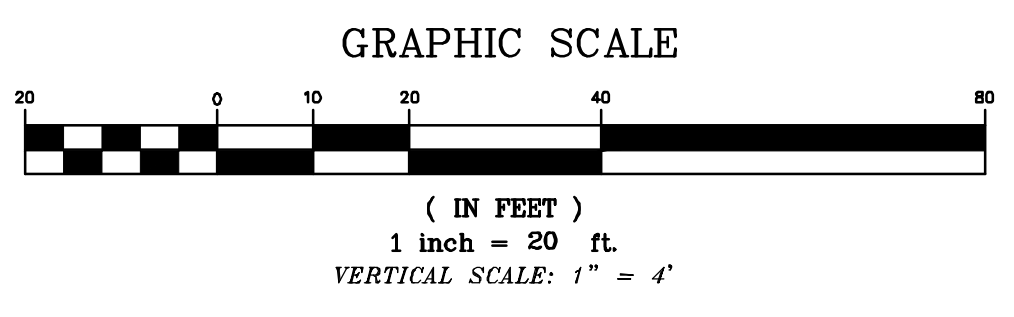
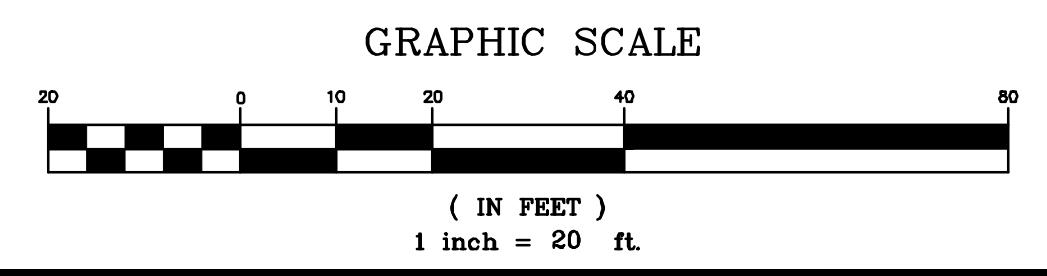
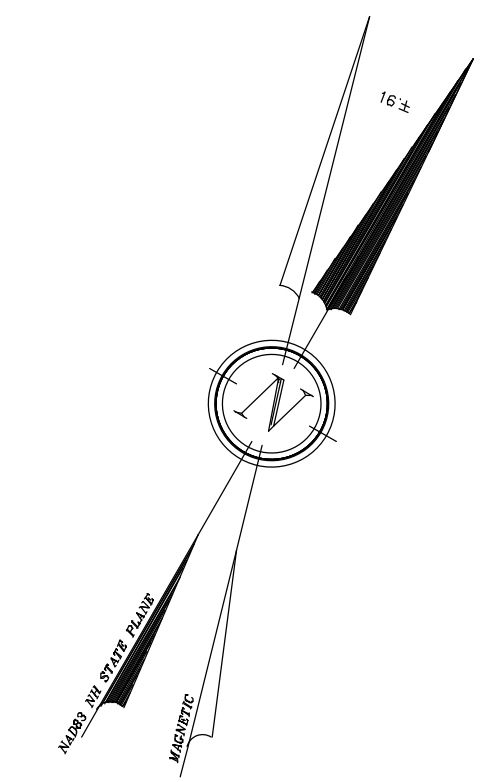
DETAILS

P-101B

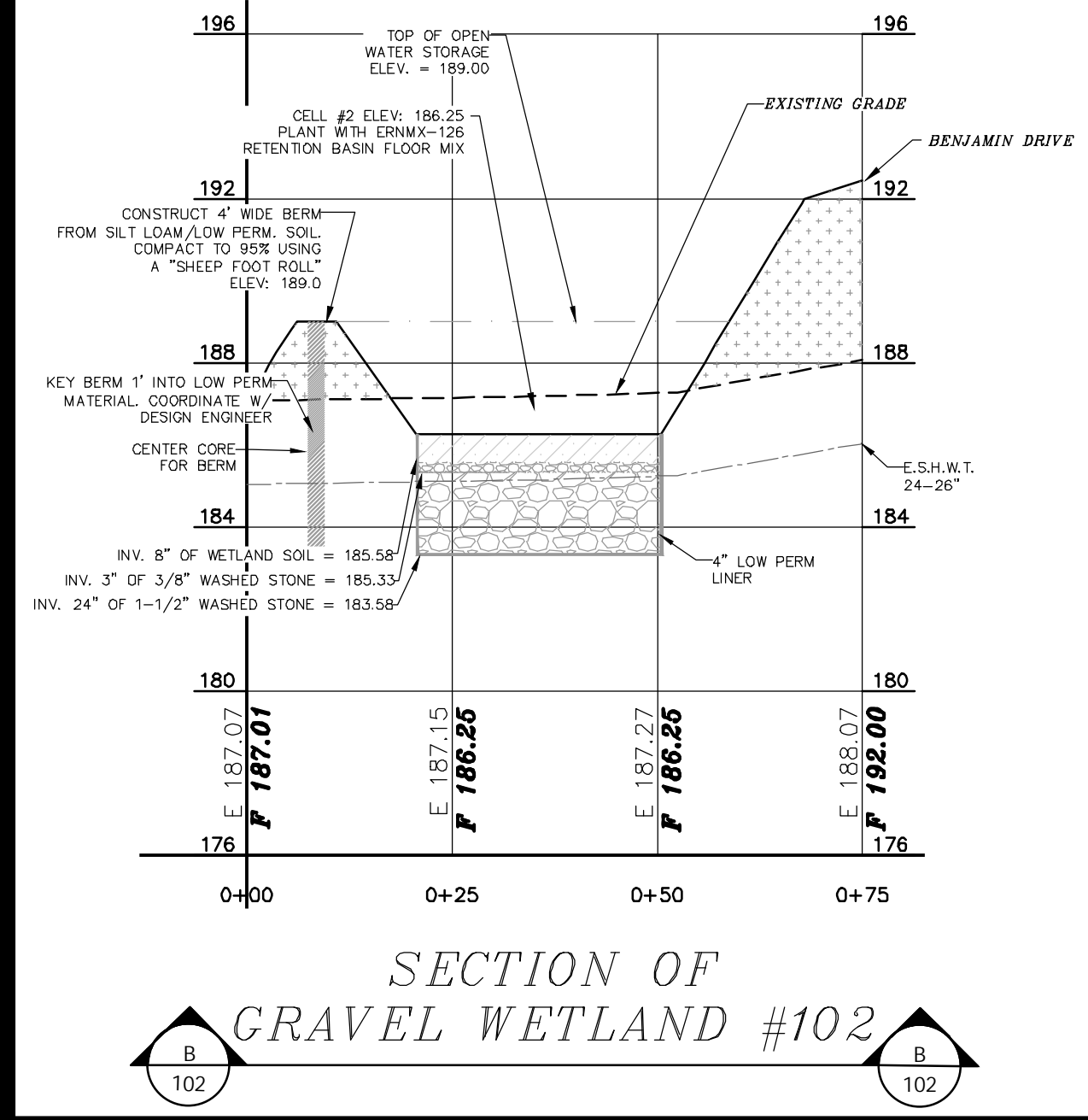
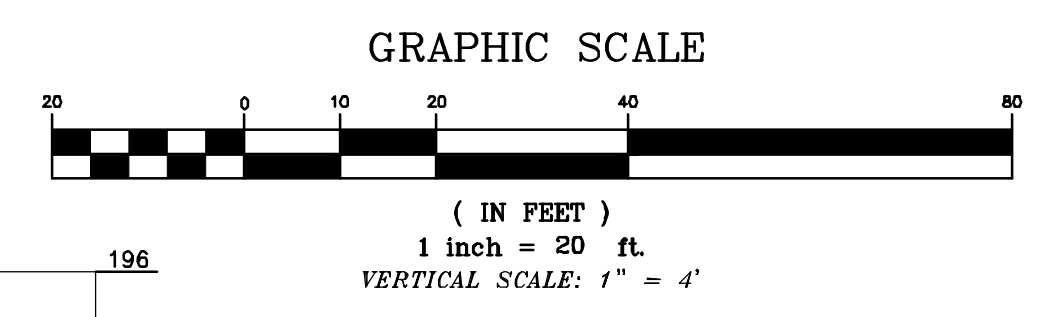
SHEET 24 OF 54



PLAN VIEW
GRAVEL WETLAND #102
SEE P-102B FOR DETAILS



SECTION OF GRAVEL WETLAND #102



SECTION OF
GRAVEL WETLAND #102

PLAN VIEW/
SECTIONS

P-102A

REVISION	DATE	DESCRIPTION

SUBSURFACE GRAVEL WETLAND #102 PLAN VIEW & PROFILES
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 14246
LICENSED PROFESSIONAL ENGINEER

SHEET 25 OF 54

<u>MAINTENANCE REQUIREMENTS</u>		
<u>ACTIVITY</u>	<u>CLOGGING AND SYSTEM PERFORMANCE</u>	<u>FREQUENCY</u>
INSPECT INLETS AND OUTLETS TO ENSURE GOOD CONDITION AND NO EVIDENCE OF DETRIORATION. CHECK TO SEE IF HIGH-FLOW BYPASS IS FUNCTIONING. <u>REMEDY:</u> REPAIR OR REPLACE ANY DAMAGED STRUCTURAL PARTS, INLETS AND OUTLETS. CLEAR OR REMOVE DEBRIS OR RESTRICTIONS.		ANNUALLY, MORE FREQUENTLY IN THE FIRST YEAR OF OPERATION
CHECK FOR INTERNAL EROSION, EVIDENCE OF SHORT-CIRCUITING, AND ANIMAL BURROWS. <u>REMEDY:</u> SOIL EROSION FROM SHORT-CIRCUITING OR ANIMAL BURROWS SHOULD BE REPAIRED WHEN THEY OCCUR.		
CHECK THAT THE SYSTEM IS FULLY DRAINING WITHIN A 24--48 HOUR PERIOD AFTER RAIN EVENTS. <u>REMEDY:</u> REPAIR OR RESTORE HYDRAULIC INLET OR OUTLET CONFIGURATION.		
<u>VEGETATION</u>		
CHECK FOR ROBUST VEGETATION COVERAGE THROUGHOUT THE SYSTEM AND DEAD OR DYING PLANTS <u>REMEDY:</u> VEGETATION SHOULD COVER > 75% OF THE SYSTEM AND SHOULD BE RESEEDED AND CARED FOR AS NEEDED		ANNUALLY, OR AS NEEDED
CUT AND REMOVE VEGETATION FROM GRAVEL WETLAND SYSTEM AND FOREBAY IN ORDER TO MAINTAIN NITROGEN REMOVAL PERFORMANCE <u>REMEDY:</u> THE VEGETATION SHOULD BE CUT AND REMOVED FROM THE SYSTEM TO PREVENT NITROGEN FROM CYCLING BACK INTO THE SYSTEM		ONCE EVERY 3 YEARS

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

1-1/2" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1-1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

WETLAND SOIL	
SIEVE SIZE	% PASSING BY WEIGHT
0.5	100
#10"	90 - 75
#100	40 - 50
#200	25 - 50
SIEVE SIZE	% PASSING TOLERANCES
0.5	±10.0
#10	±5.0
#100	±5.0
#200	±5.0

DESIGN REFERENCES
1 UNH STORMWATER CENTER

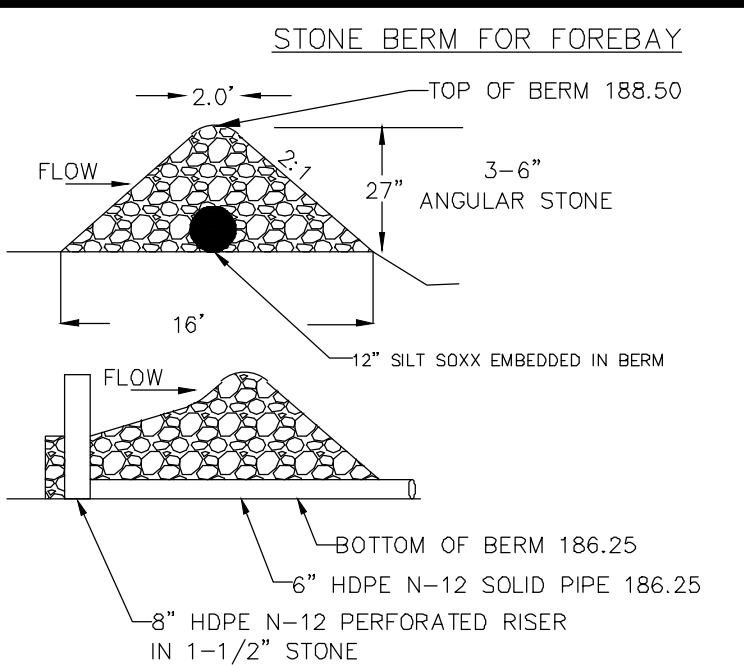
STABILIZATION NOTE:

SEE NOTE #10, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE WORKING DAY UPON COMPLETION OF FINAL GRADE.

GRAVEL WETLAND CONSTRUCTION & MAINTENANCE SPECIFICATIONS

P1

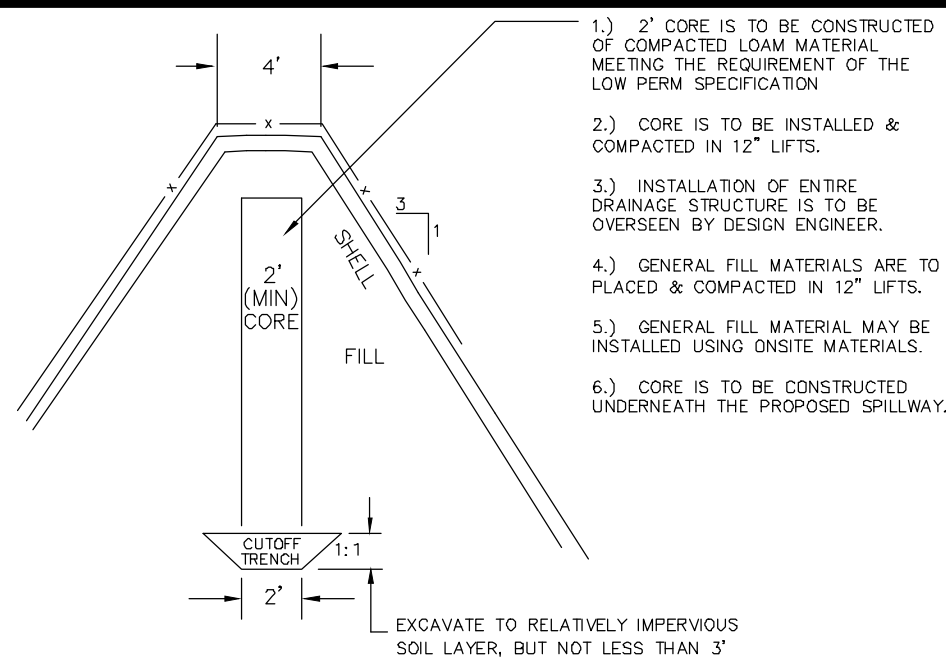
P2



GRAVEL WETLAND SEDIMENT FOREBAY
NOT TO SCALE

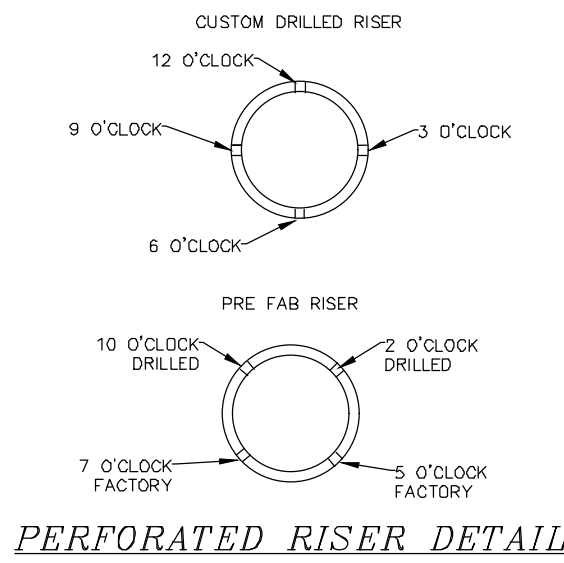
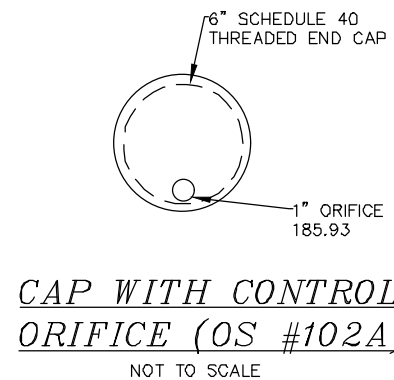
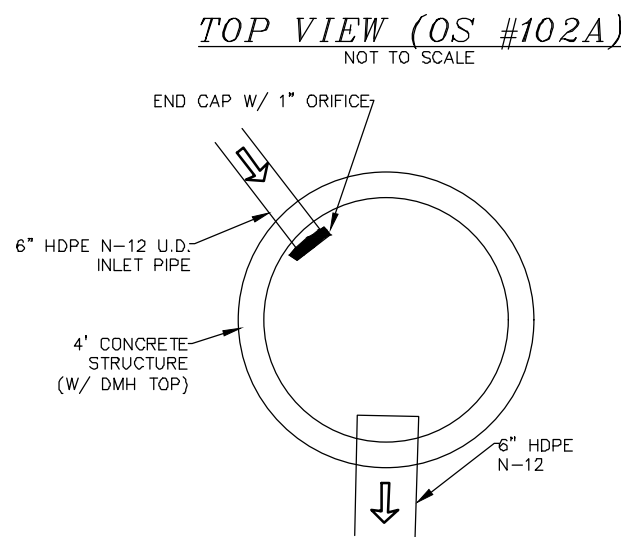
P3

LOW PERMEABILITY MATERIAL GRADATION	
SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45

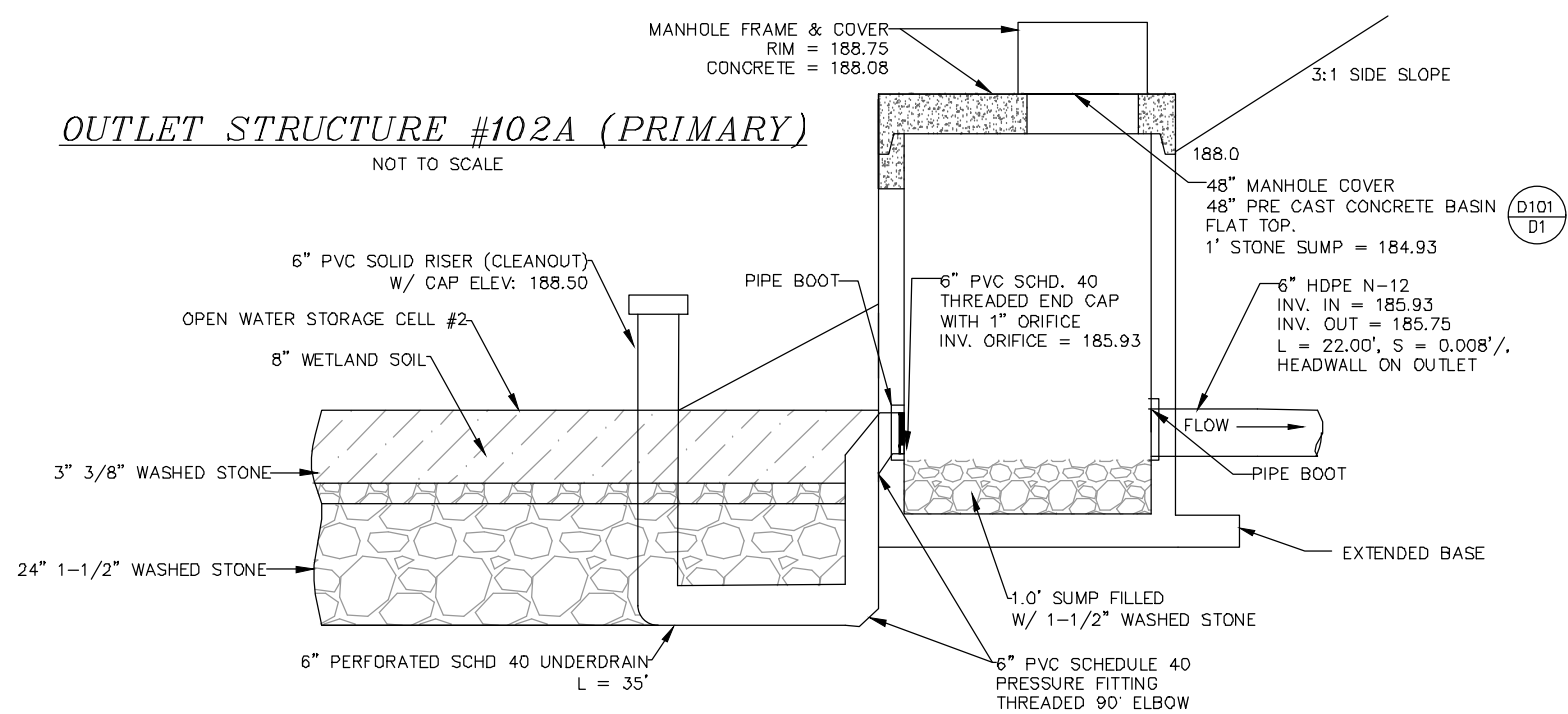


GRAVEL WETLAND BERM CONSTRUCTION
NOT TO SCALE

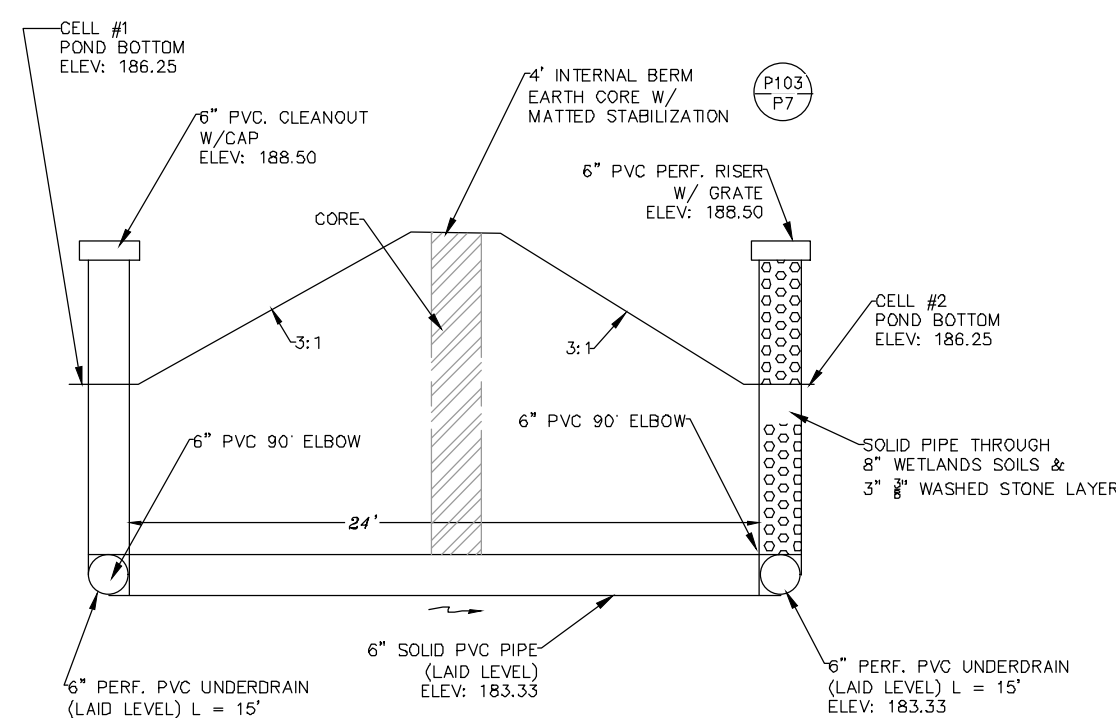
P4



OUTLET STRUCTURE #102A (PRIMARY)
NOT TO SCALE

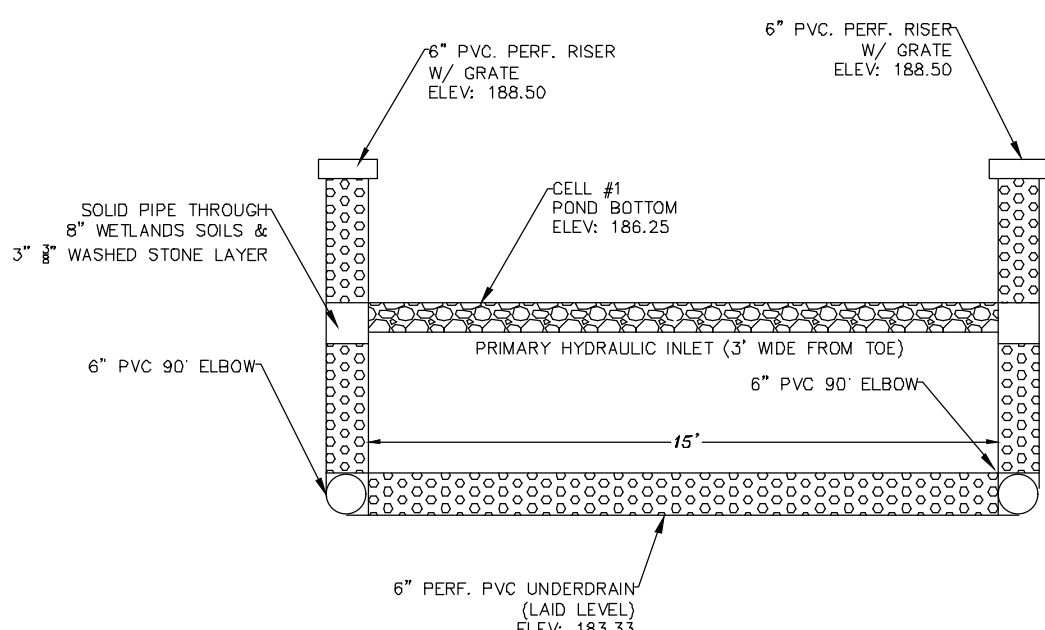


P5



GRAVEL WETLAND CONNECTION SYSTEM
NOT TO SCALE

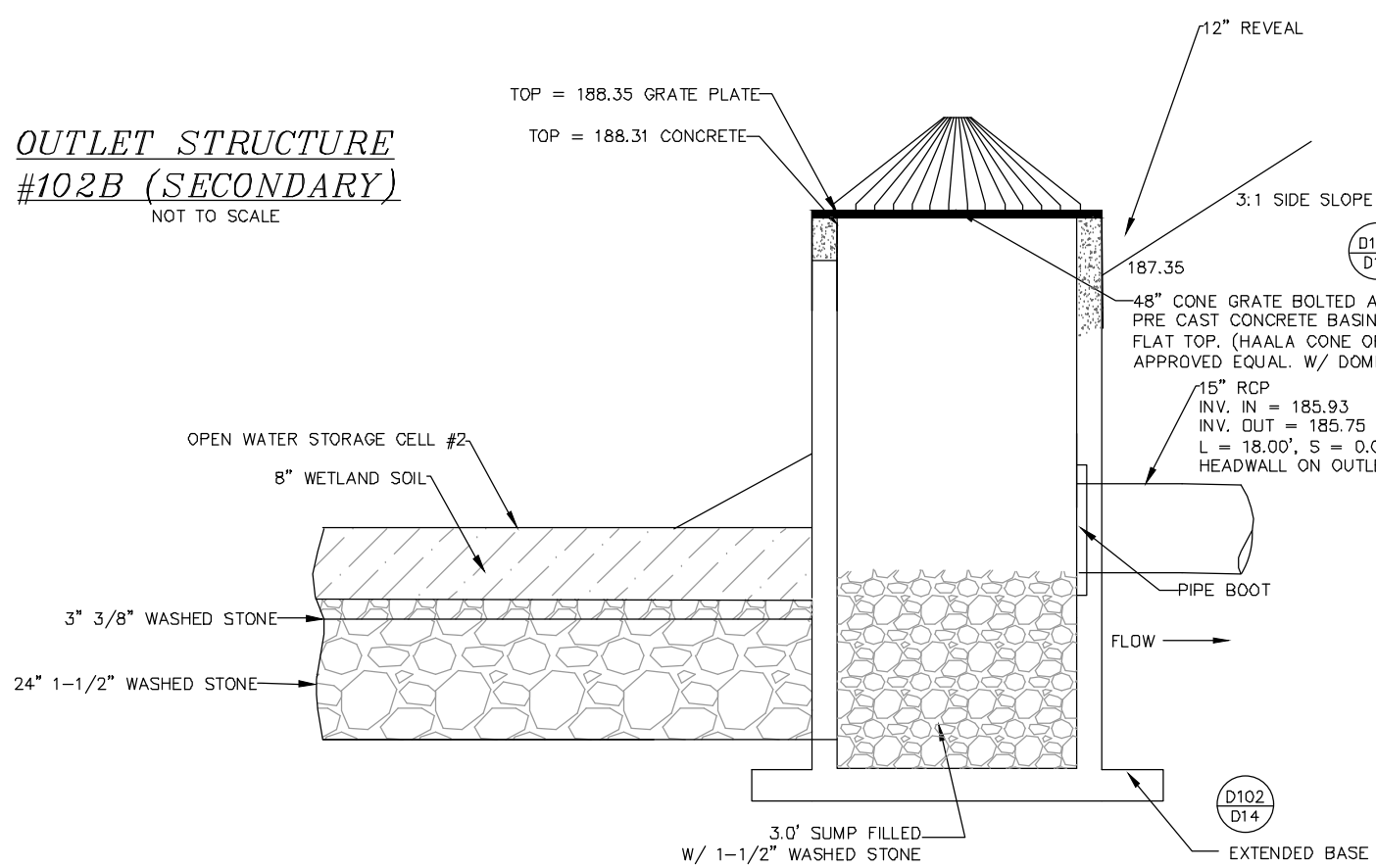
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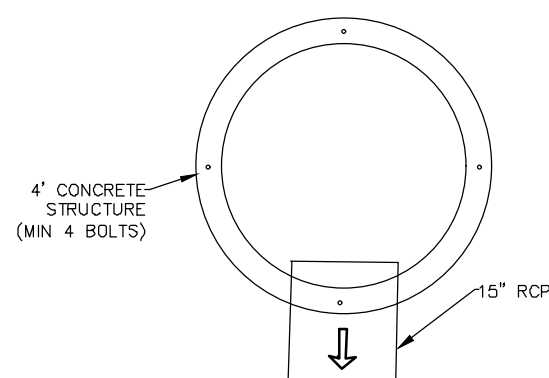
GRAVEL WETLAND INLET SYSTEM
NOT TO SCALE

P8

OUTLET STRUCTURE #102B (SECONDARY)
NOT TO SCALE

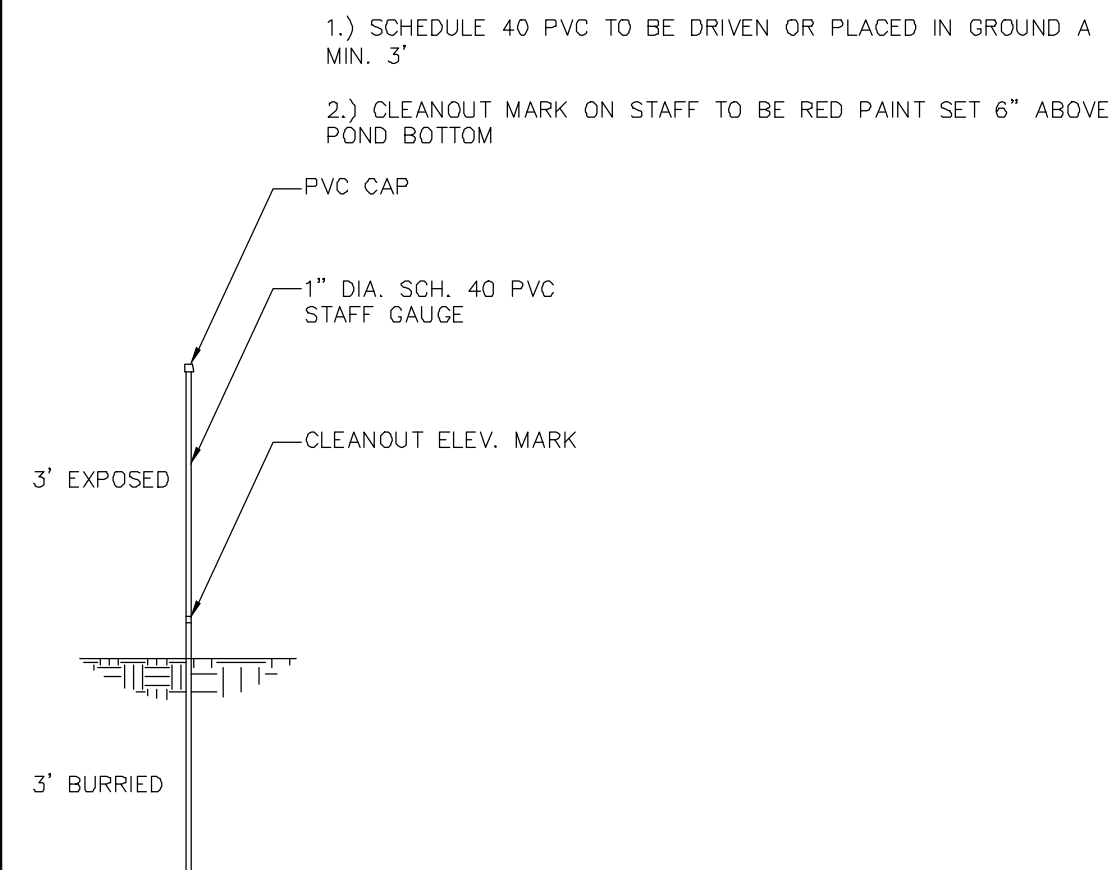


TOP VIEW (OS #102B)
NOT TO SCALE

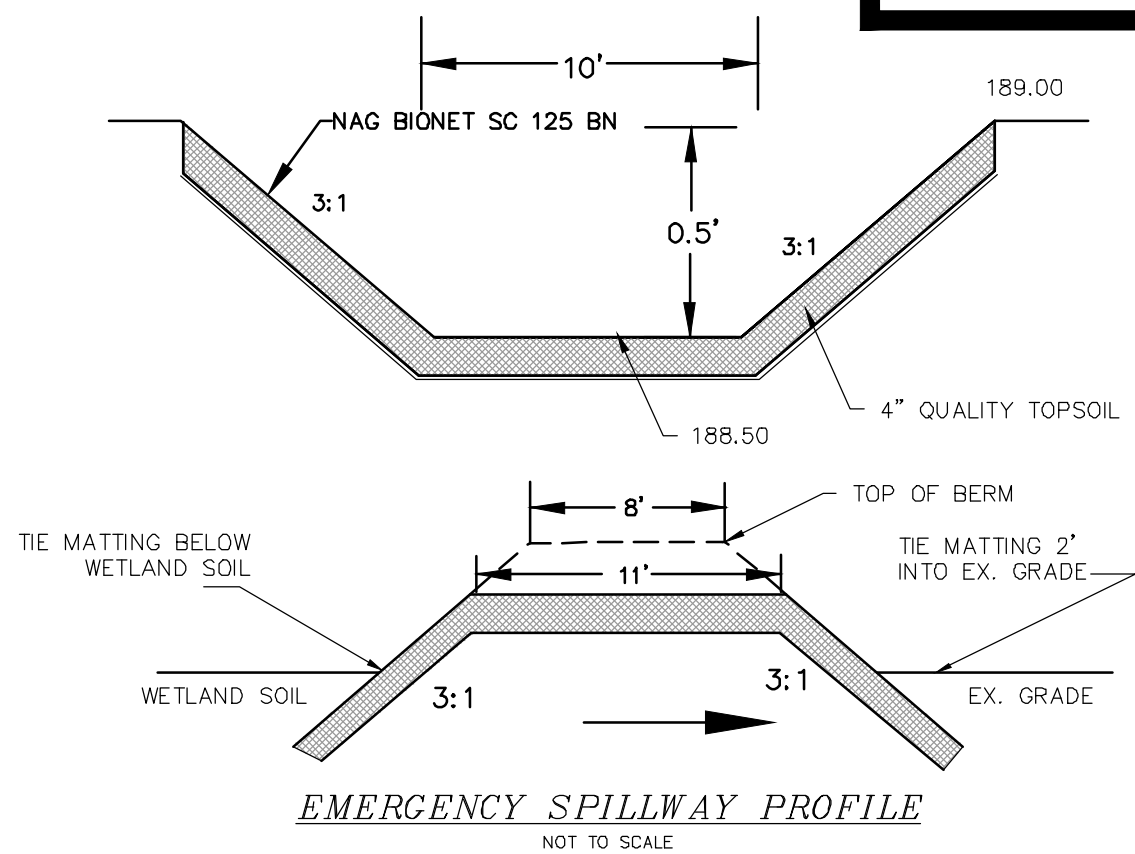


P9

SEDIMENT FORBAY GAUGE DETAIL

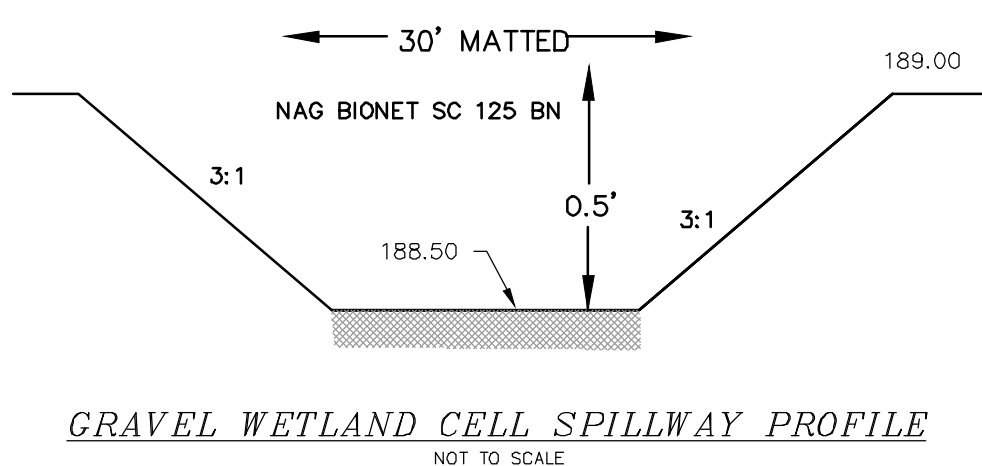


P7a



GRAVEL WETLAND SPILLWAY DETAILS
NOT TO SCALE

P7b



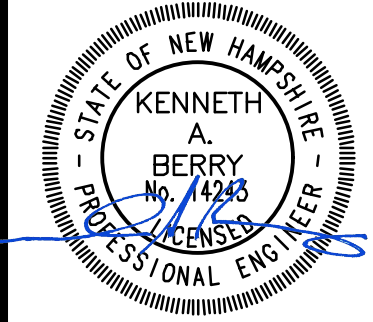
DETAILS

P-102B

SUBSURFACE GRAVEL WETLAND #102 DETAILS

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : N/A
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132



BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

1-1/2" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

NOTES

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

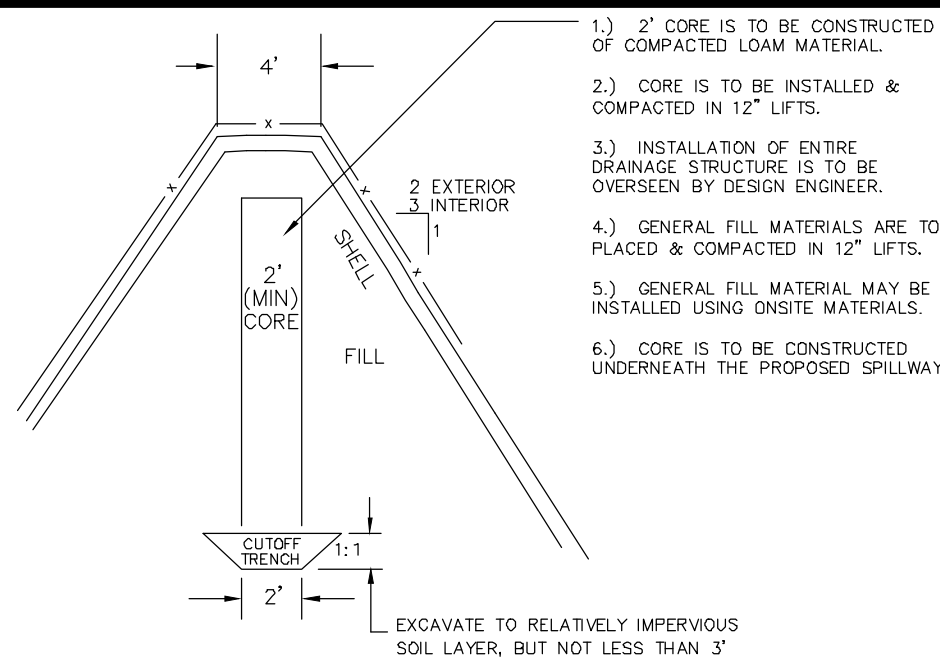
RAIN GARDEN MIX

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITTS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

P1 P2

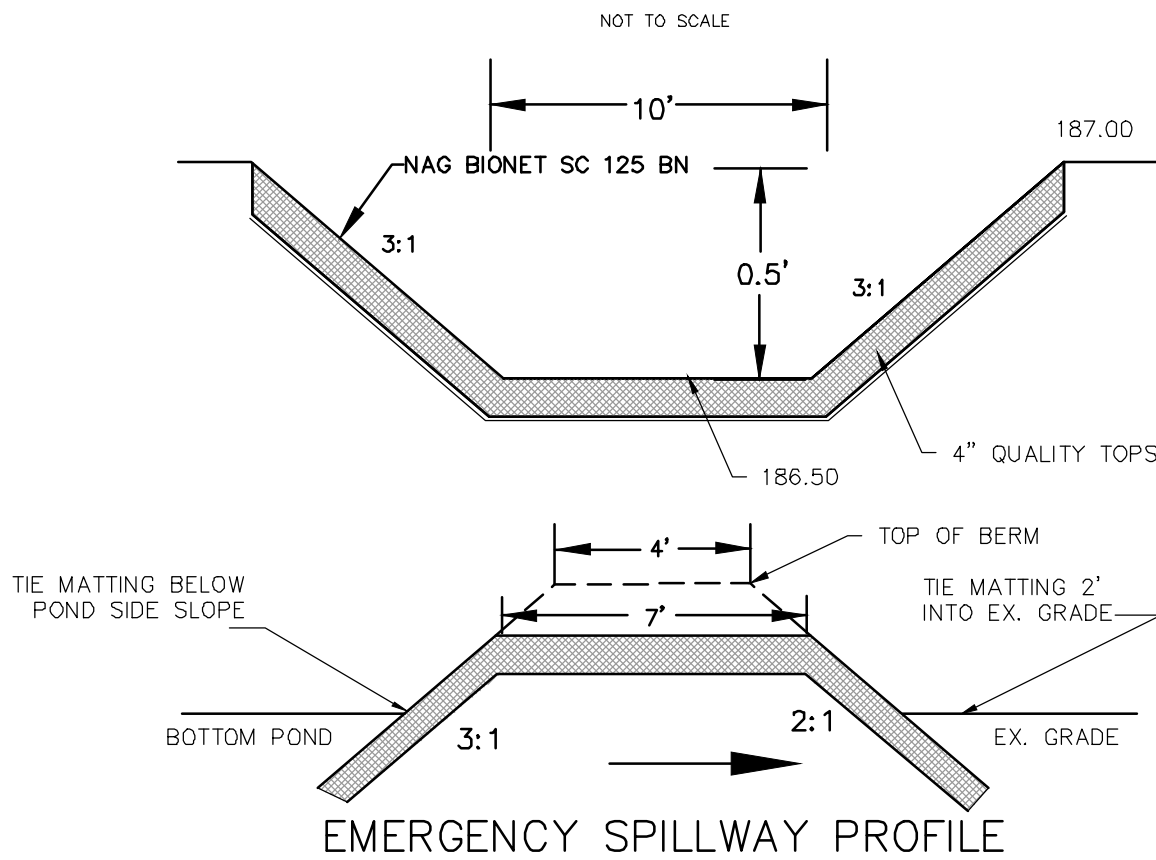
LOW PERMEABILITY MATERIAL GRADATION

SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	60 - 95
#100	40 - 60
#200	25 - 45



P3

SPILLWAY DETAILS

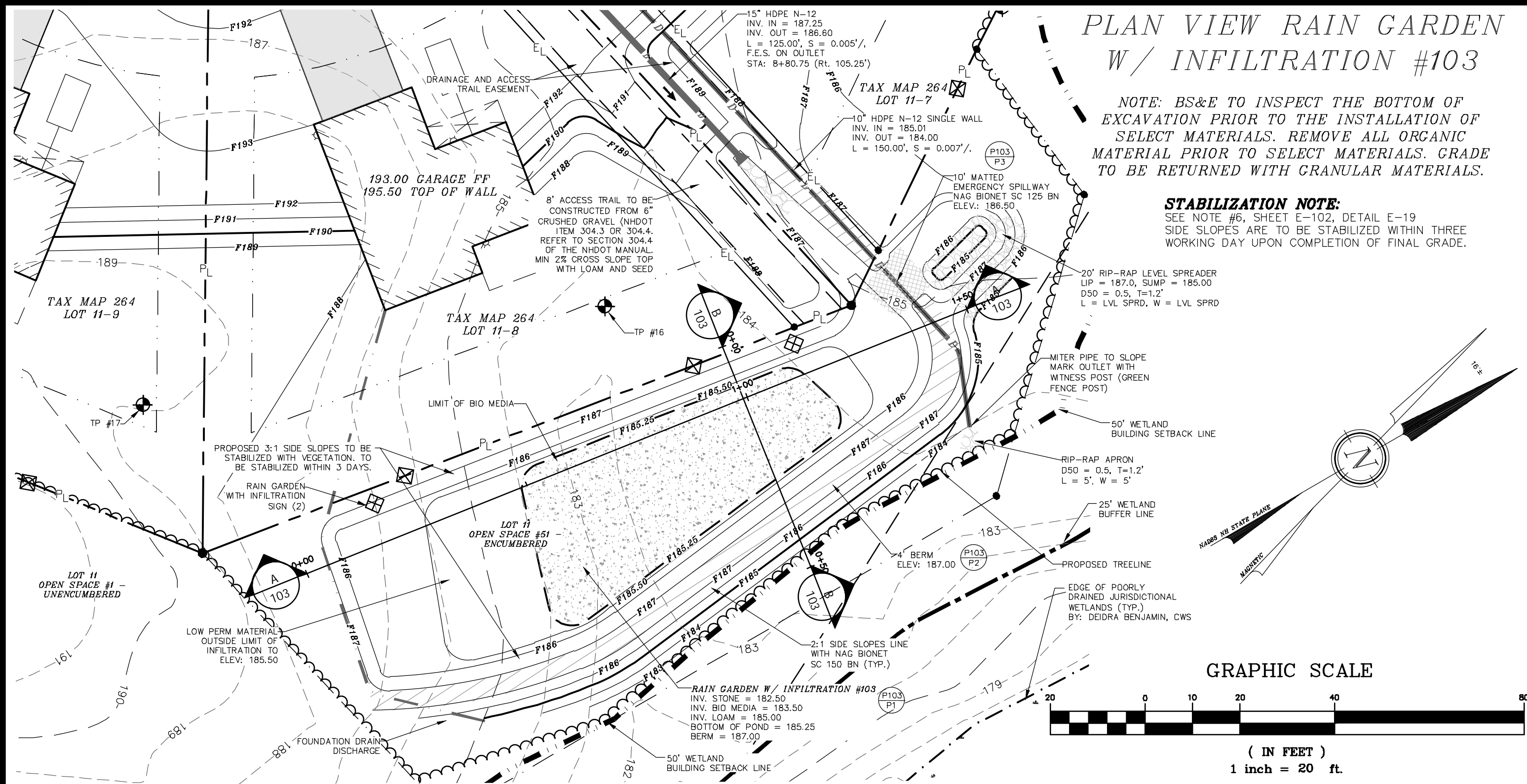


ASTM C-33 FINE AGGREGATE

SIEVE SIZE	% PASSING BY WEIGHT
3/8"	100
# 4	95 - 100
# 8	80 - 100
# 16	50 - 85
# 30	25 - 60
# 60	10 - 30
# 120	2 - 10

TABLE 7-24--RECOMMENDED RIP-RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3



NOTES

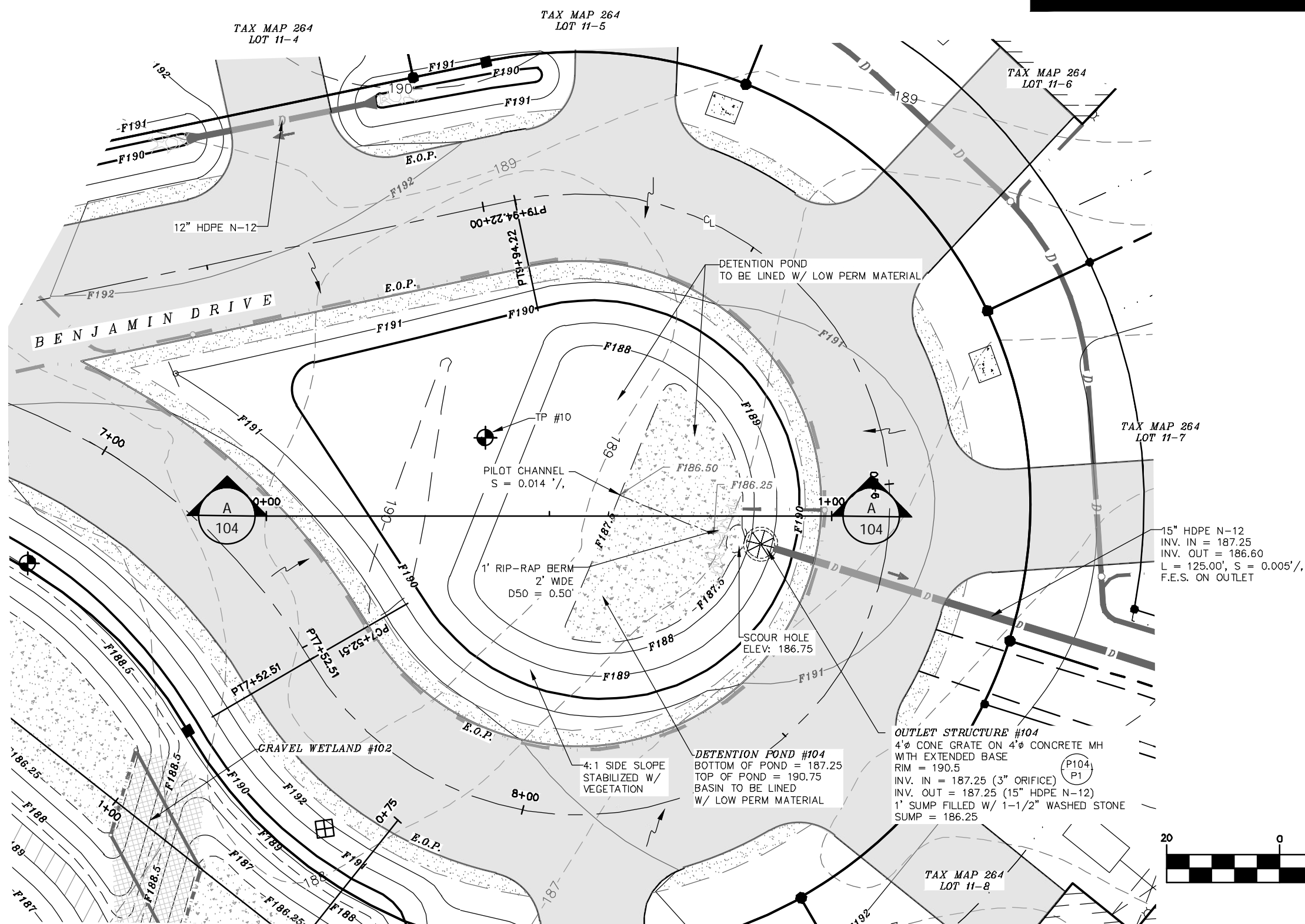
- DO NOT PLACE THE DETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE DETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

MAINTENANCE REQUIREMENTS

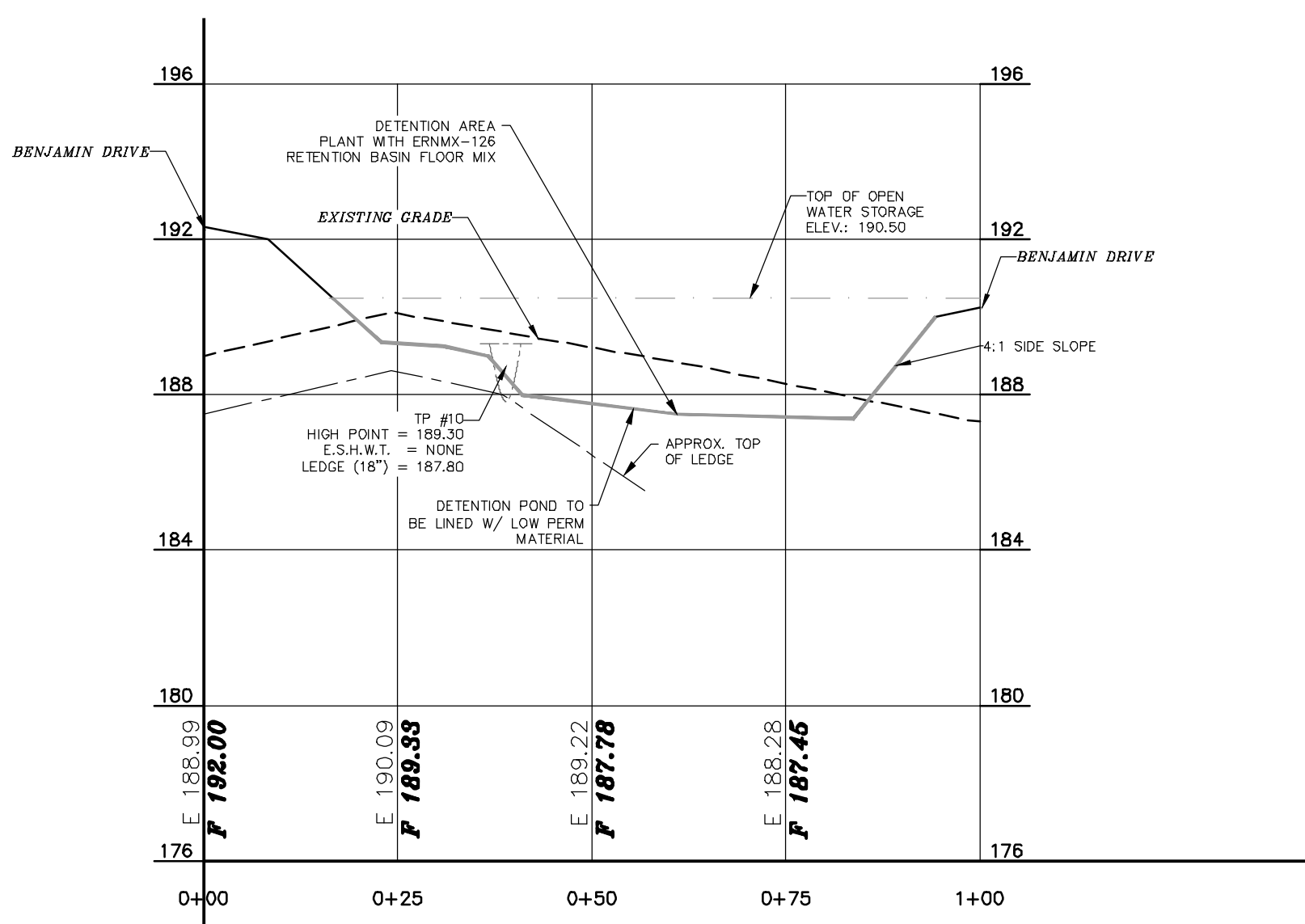
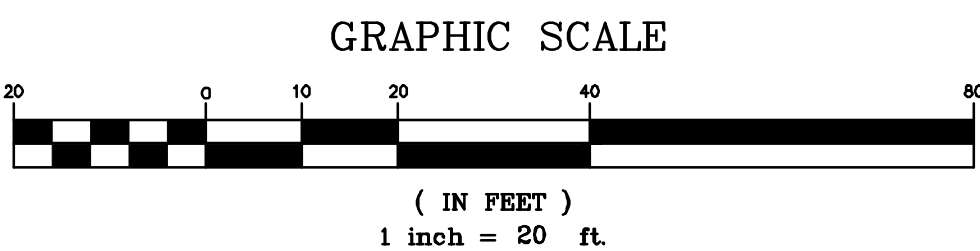
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 0.25 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

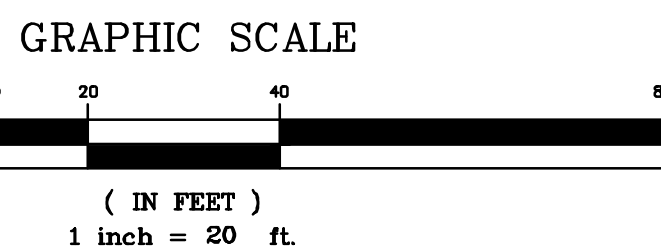
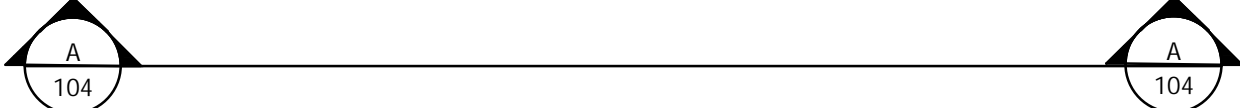
- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.



PLAN VIEW DETENTION POND #104

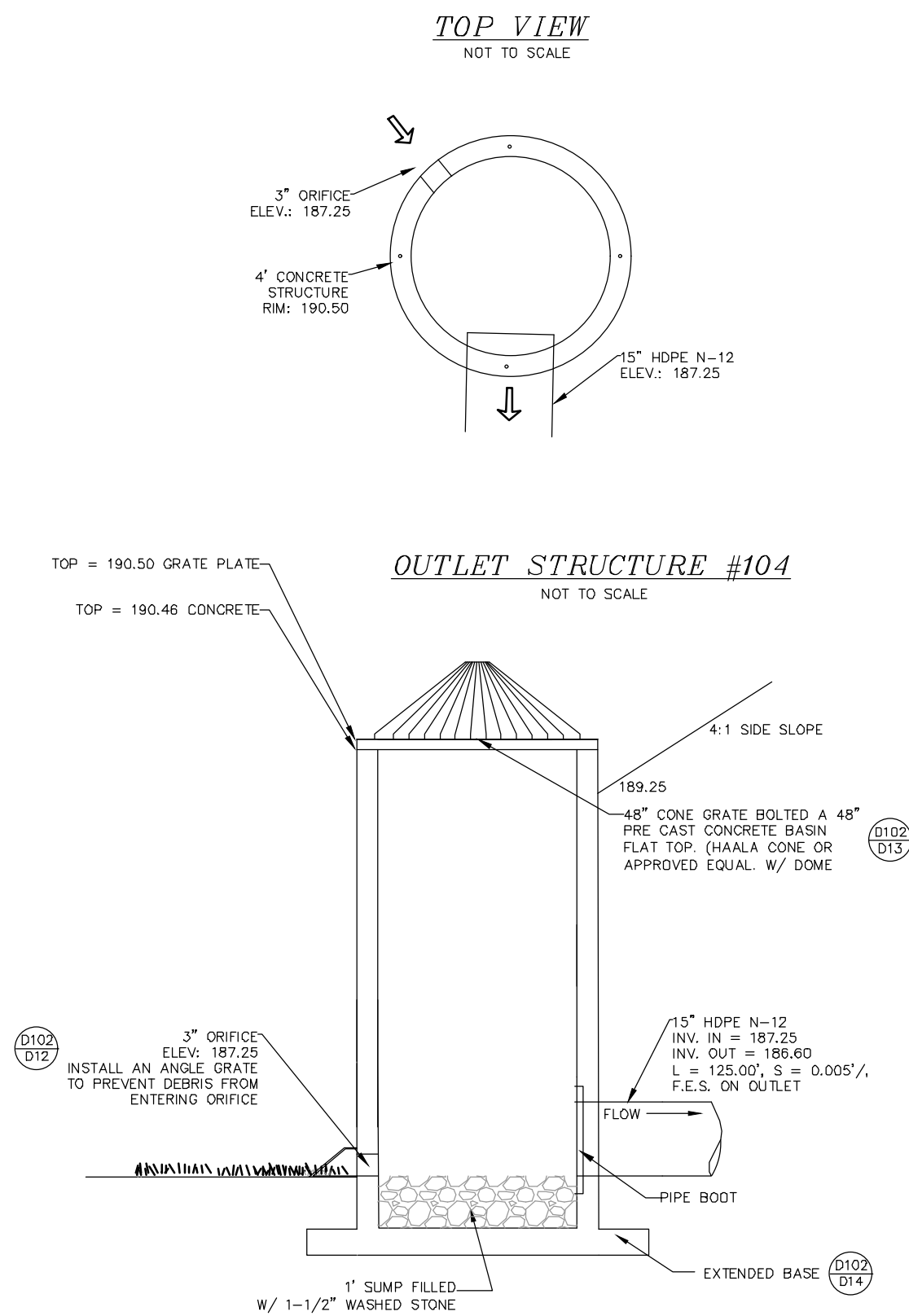


SECTION OF DETENTION POND #104



VERTICAL SCALE: 1" = 4'

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
d50 SIZE=	FEET	8	INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO	
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	



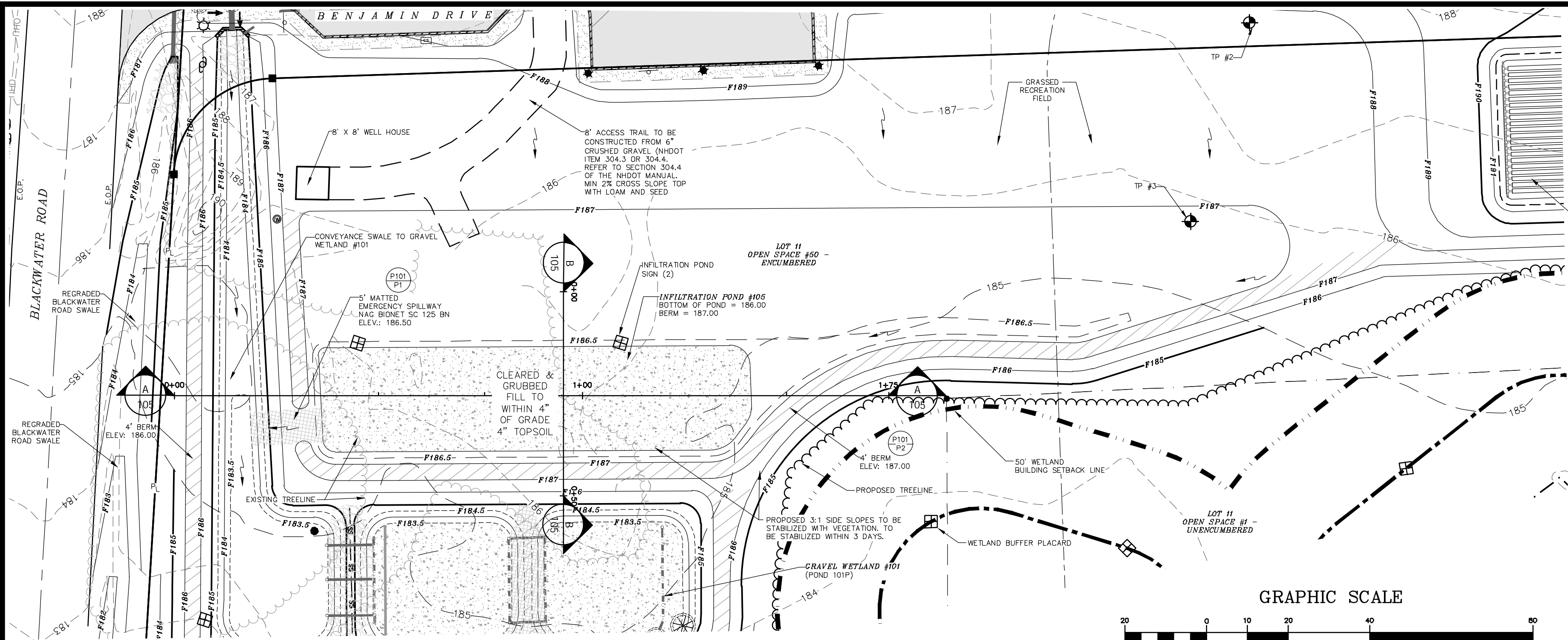
OUTLET STRUCTURE #104

REVISION		DATE	DESCRIPTION

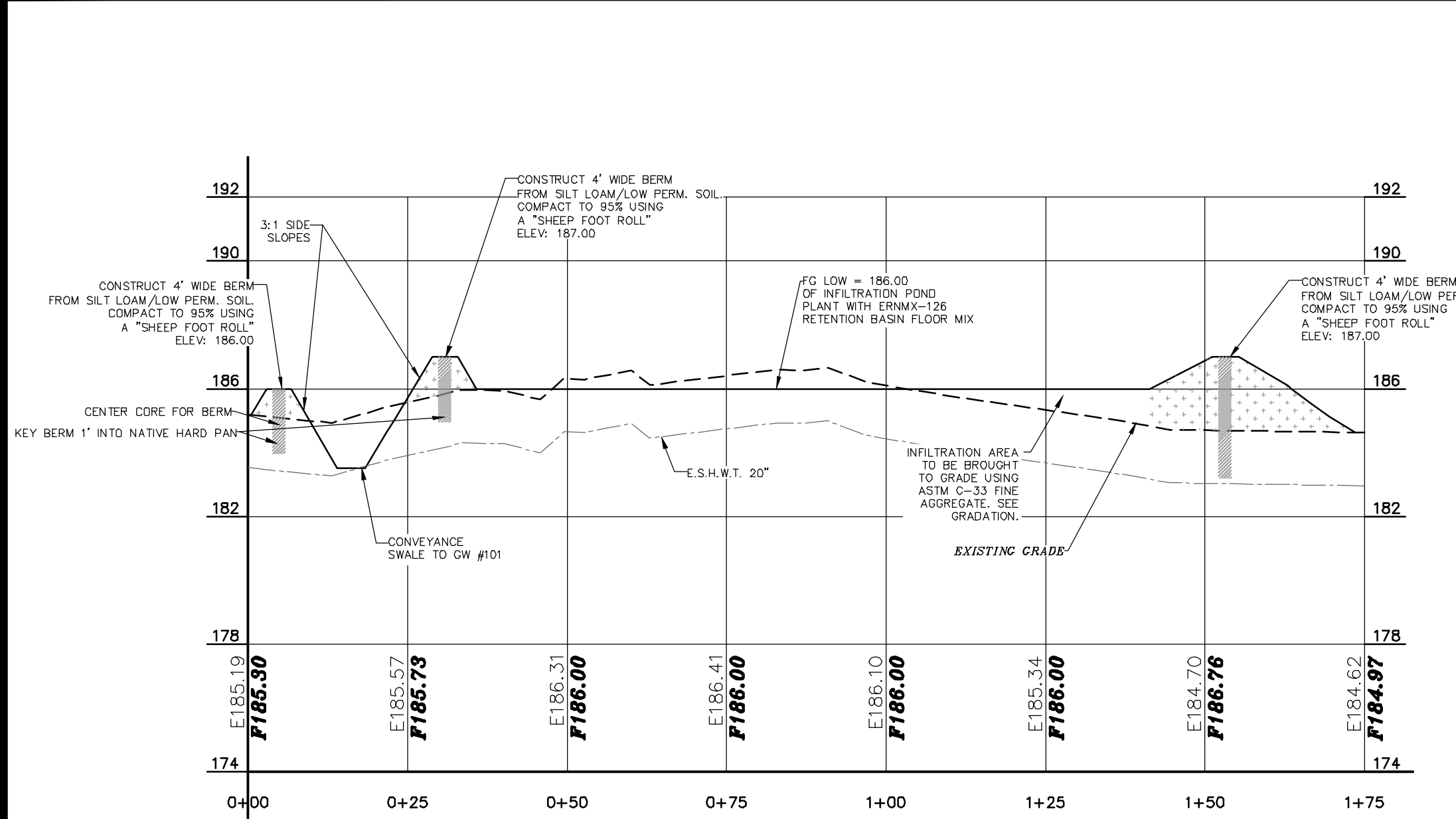
DETENTION POND #104 LAND OF RBV REALTY LLC 324 BLACKWATER RD ROCHESTER, N.H. TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

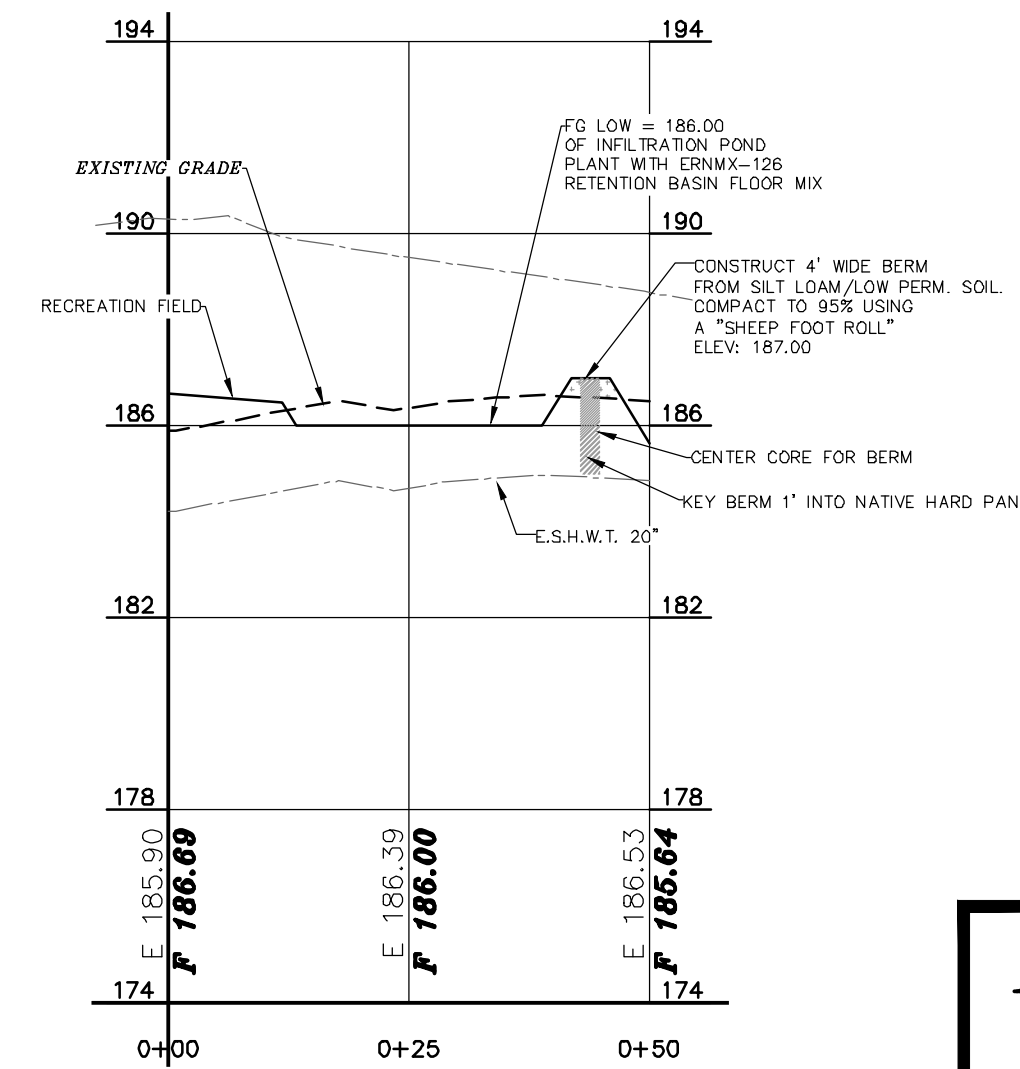
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER



PLAN VIEW INFILTRATION POND #105

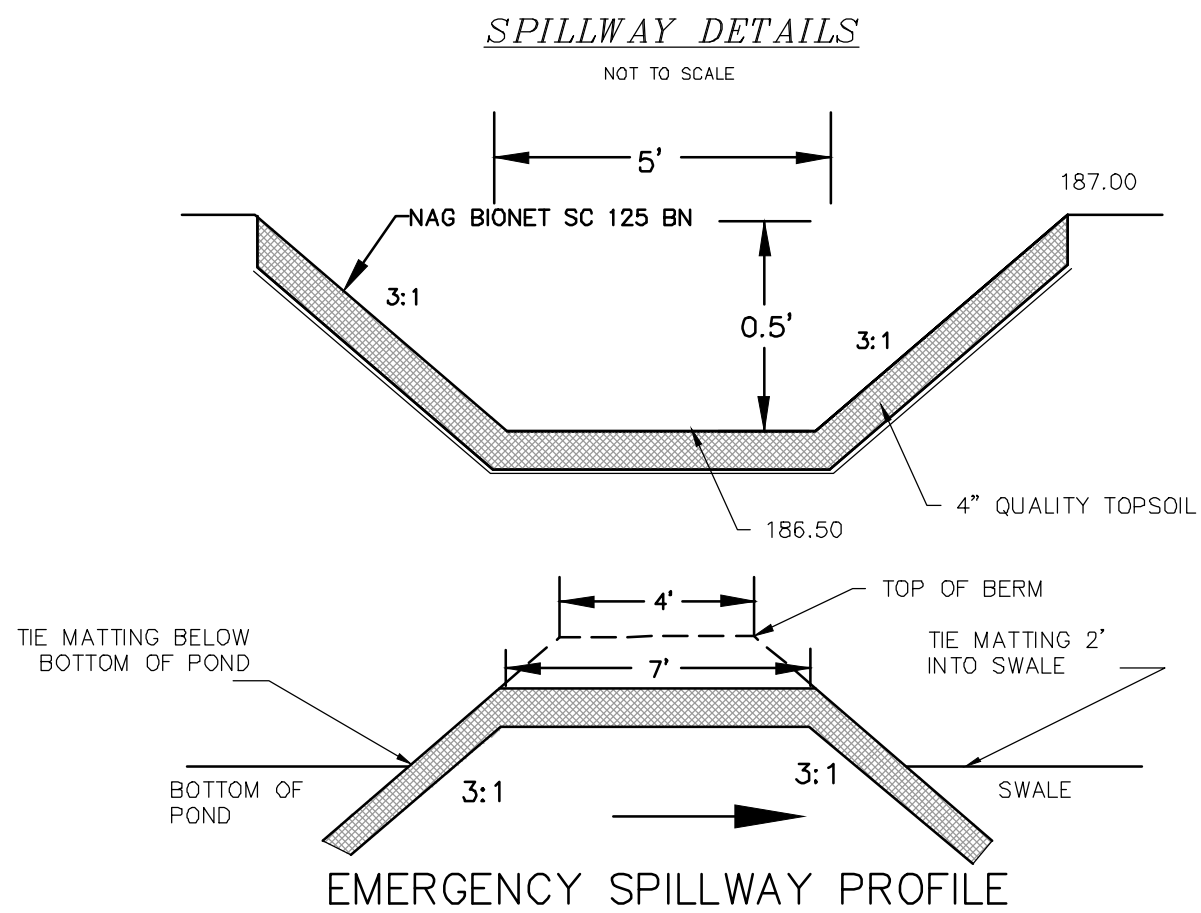


SECTION OF INFILTRATION POND #105

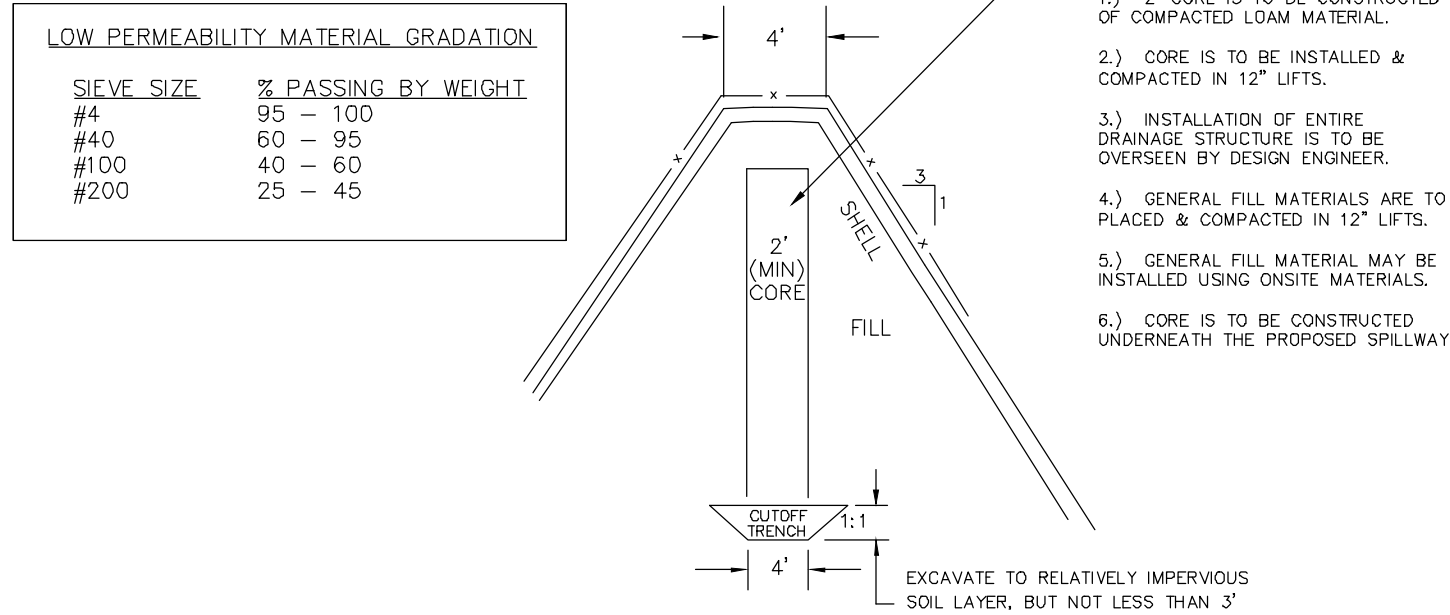


SECTION OF INFILTRATION POND #105

P1



P2



P-105

REVISION	DATE	DESCRIPTION

INFILTRATION POND #105
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
No. 1643
REGISTERED PROFESSIONAL ENGINEER

LEGEND:

IRON BOUND/REBAR ~FND~
DRILL HOLE ~FND~
IRON PIPE OR GUN BARREL ~FND~
STONE POST
UTILITY POLE
DETAIL SHEET / DETAIL
4"x4" GRANITE BOUND ~TBS~
3/4" REBAR W/ ID CAP ~TBS~
1/2" EASEMENT REBAR W/ ID CAP ~TBS~

PROPOSED SUBDIVISION LINE
PROPOSED EASEMENT LINE

STREAM
POORLY DRAINED JURISDICTIONAL WETLAND
25' WETLAND BUFFER
50' WETLAND BUILDING SETBACK LINE
CONTOUR MINOR, EXISTING
CONTOUR MAJOR, EXISTING
CONTOUR MINOR, PROPOSED
CONTOUR MAJOR, PROPOSED
BUILDING SETBACK LINE
WELL RADIUS
TREELINE
ROAD CENTERLINE
SHOULDER
DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
UNDERDRAIN

FLOW ARROW

RIP RAP

STORMWATER BEST MANAGEMENT PRACTICE (BMP)

BERM

DRAIN MANHOLE W/STRUCTURE

CATCH BASIN W/ STRUCTURE

STORMWATER BMP OUTLET STRUCTURE

WELL

SILT FENCE / EROSION MIX BERM
FILTREXX 8" ~ 12" SILT SOXX AS SPECIFIED
PERIMETER CONTROL
CONSTRUCTION FENCE

STORMWATER BMP PROTECTION
PERIMETER CONTROL
RESIDENTIAL/ROADWAY CONSTRUCTION

PROPOSED TREELINE

75' CONSTRUCTION ENTRANCE REQ.
3" ANGULAR STONE REQ.
FREQUENT REVIEW IS NEEDED
TO ENSURE TRACKING DOES NOT
OCCUR IN BLACKWATER ROAD

INLET PROTECTION

CONSTRUCTION DUMPSTER
TO BE COVER IN INCLEMENT WEATHER

SEWER PIPE & SEPTIC
LAY-DOWN AND STOCKPILE
AREA

WATER PIPE & FITTING
LAY-DOWN AND STOCKPILE
AREA

PRE-CAST CONCRETE
& ENVIRO-SEPTIC LAY-DOWN
AND STOCKPILE AREA

INLET & OUTLET
PROTECTION (TYP.)

INLET PROTECTION

OUTLET PROTECTION

OUTLET PROTECTION
& LEVEL SPREADER

OUTLET PROTECTION
& LEVEL SPREADER

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OUTLET PROTECTION
& LEVEL SPREADER

STABILIZATION NOTE:

SEE NOTE #6, SHEET E-102, DETAIL E-18
SIDE SLOPES ARE TO BE STABILIZED WITHIN THREE
WORKING DAY UPON COMPLETION OF FINAL GRADE.

SOILS & DEWATERING:

De DEERFIELD LOAMY SAND K= 0.17
350 UDIPSAMENTS LOAMY SAND K= 0.17
Wd WINDSOR LOAMY SAND K= 0.17

SEE SITE SPECIFIC SOILS MAP (SSSM)

SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, OPESC MANUAL, ENVIROCERT INTERNATIONAL INC. &
ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION
PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY
DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN
ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE
CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES
CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

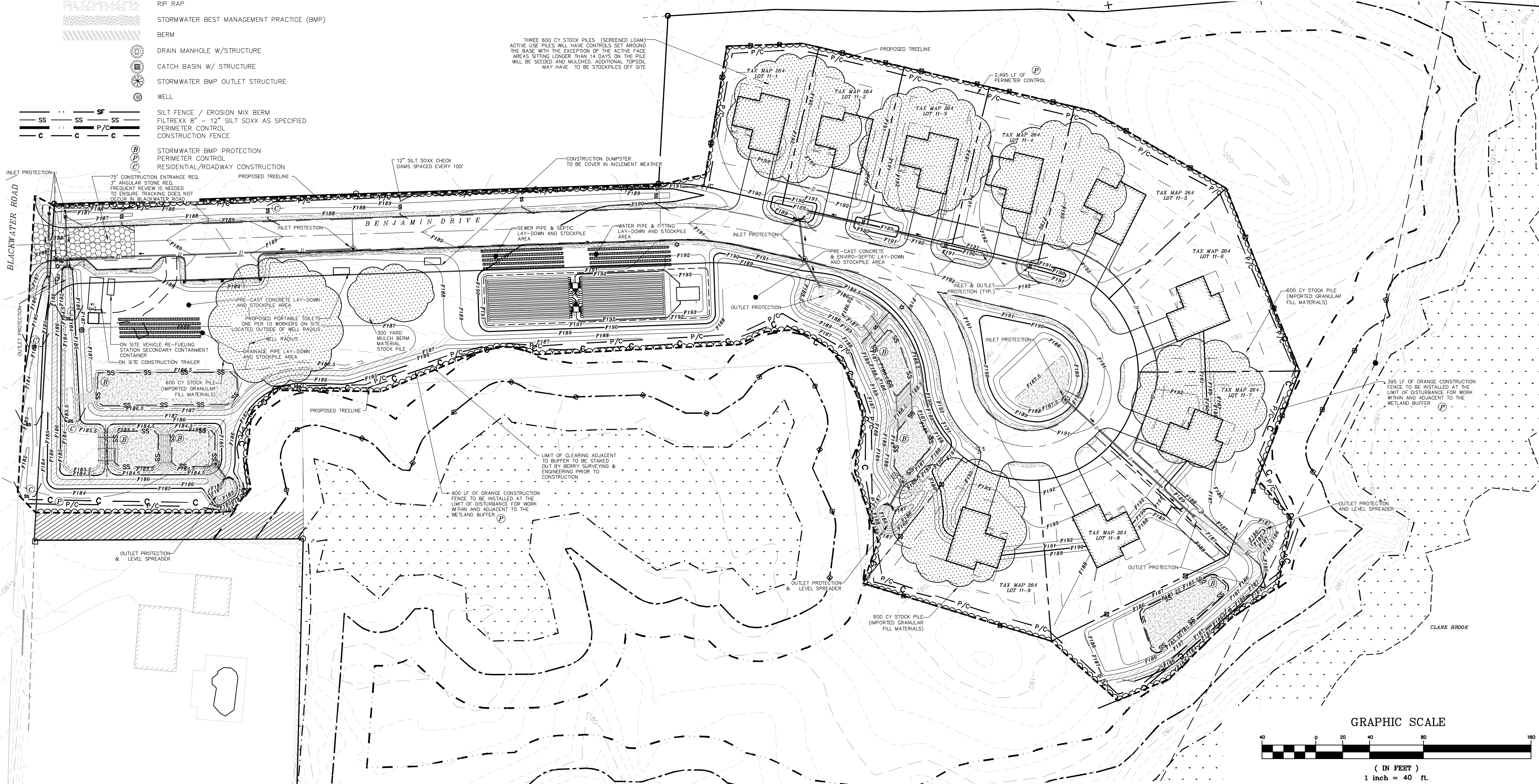
COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY /
STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL
RYE GRASS, AND PERMANENT SEEDING AT THE EARLIES OPPORTUNITY. SEE ADDITIONAL
REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL
SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER
STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER
RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING
CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

NOTES:

- 1.) OWNER: RBV REALTY LLC
40 PROVINCE RD
STRAFFORD, NH 03884
- 2.) THE PROJECT PARCEL IS TAX MAP 264, LOT 11
- 3.) LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- 4.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND
PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS
SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 5.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY
EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 6.) ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED ON GRADING AND DETAIL PLAN SHEETS, GREEN PIPE.
- 7.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED
IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 8.) UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL
PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PREFORMED ON ALL DRAINAGE PRACTICES.
- 9.) AFTER CLEARING AND GRUBBING THE STUMPAGE IS TO EITHER BE REMOVED FROM THE PROJECT SITE OR GROUND AND USED FOR THE
REQUIRED MULCH BERM FOR THE PROJECT SITE. STUMPS ARE NOT TO BE BURIED ON THE PROJECT SITE.

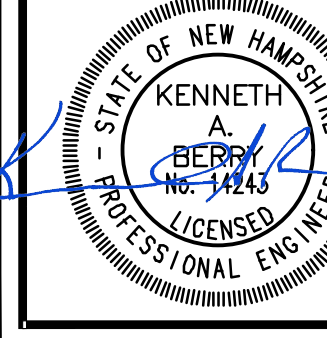
SEE SHEET 2 FOR ADDITIONAL EROSION & SEDIMENT CONTROL NOTES.



EROSION AND SEDIMENT CONTROL PLAN

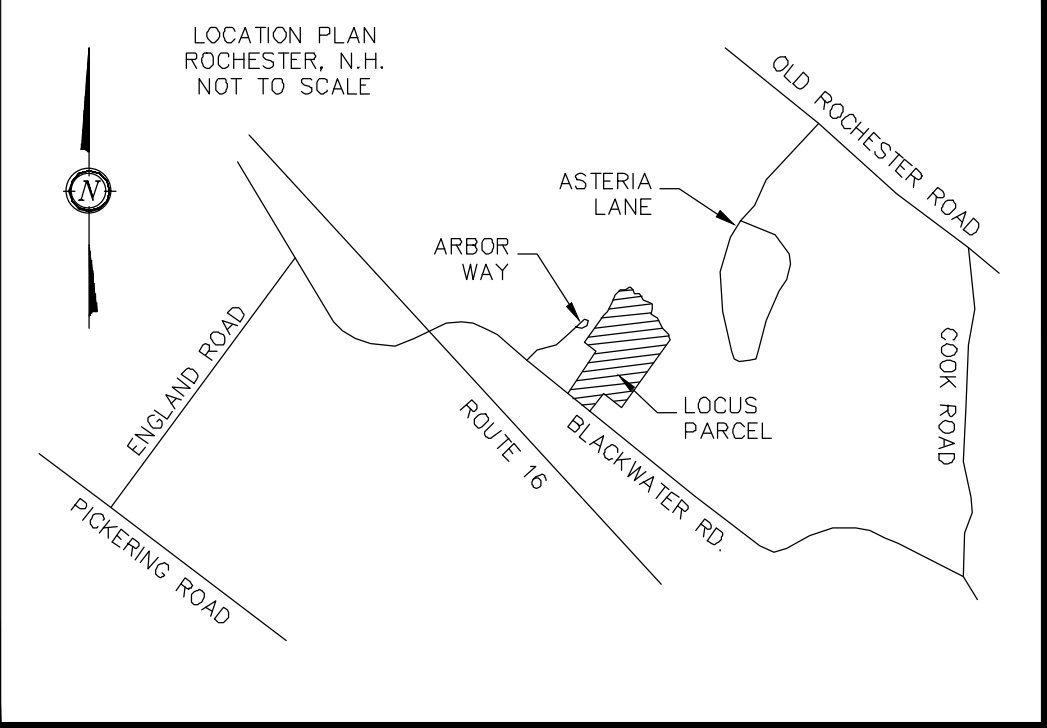
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 40 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

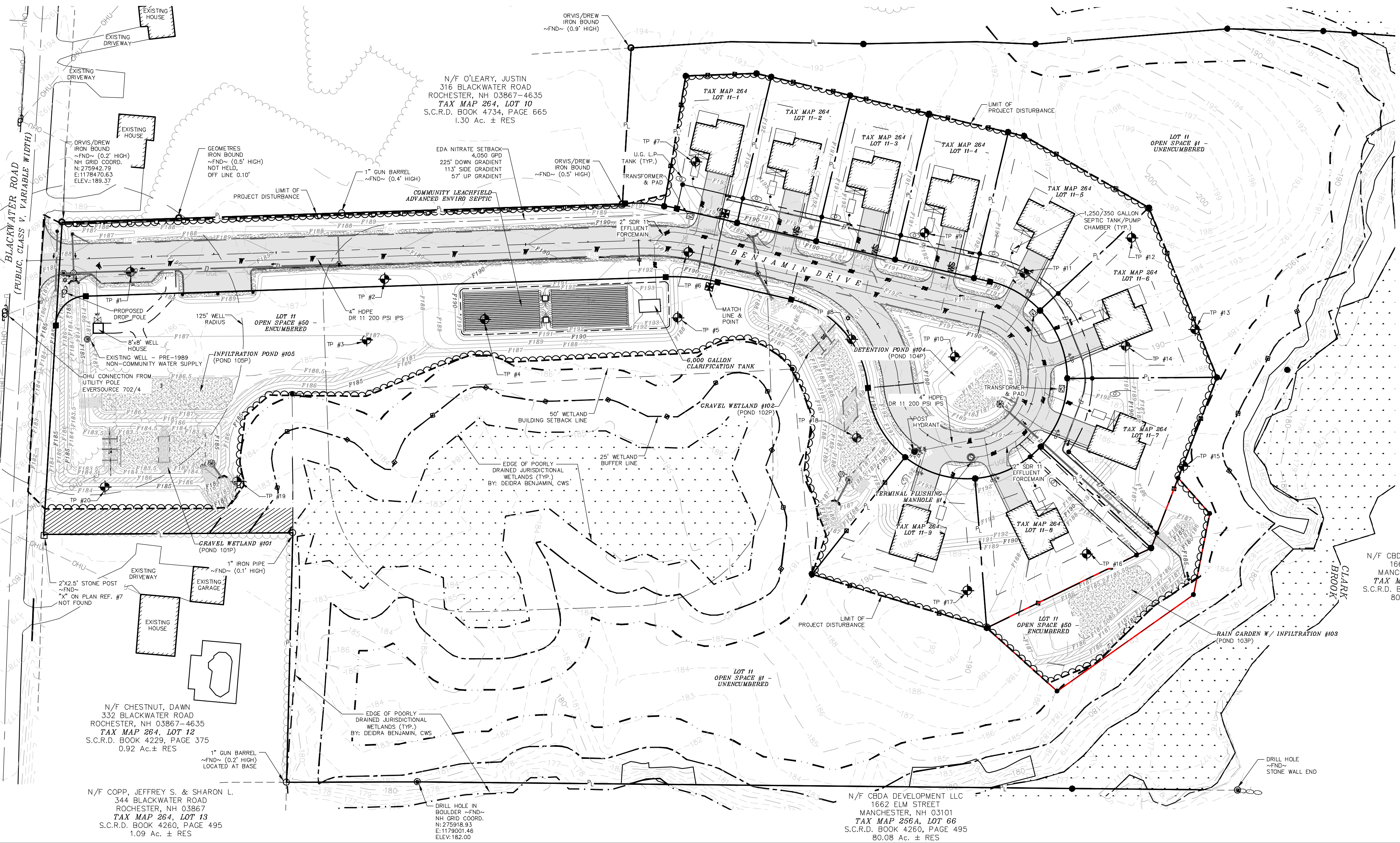


NOTES:

- 1.) OWNER & APPLICANT: RBV REALTY LLC
40 PROVIDENCE ROAD
STRAFFORD, NH 03864
- 2.) LOT OF RECORD: TAX MAP 264, LOT 11
- 3.) THE INTENT OF THIS PLAN IS TO PROVIDE AN OVERVIEW OF UTILITY AND ENGINEERING CONSTRUCTION ITEMS OF BENJAMIN DRIVE. EXISTING CONTOURS ARE PROVIDED AT 2' INTERVALS AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 4.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOX). BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 5.) SEE PROJECT NOTES, SHEET #2, FOR REMAINING UTILITY & CONSTRUCTION NOTES.



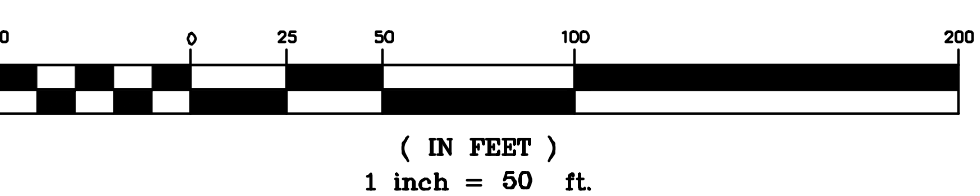
N/F SHIRLEY AVENUE COOPERATIVE
10 ARBOR WAY
ROCHESTER, NH 03867-4641
TAX MAP 264, LOT 7
S.C.R.D. BOOK 1405, PAGE 254
6.87 AC. ± RES



LEGEND:

- IRON BOUND/REBAR ~FND~
DRILL HOLE ~FND~
IRON PIPE ~FND~
STONE POST
UTILITY POLE
TEST PIT
TEMPORARY BENCHMARK
DETAIL SHEET / DETAIL
4"x4" GRANITE BOUND ~TBS~
3/4" REBAR W/ ID CAP ~TBS~
1/2" EASEMENT REBAR W/ ID CAP ~TBS~
PROPOSED SUBDIVISION LINE
PROPOSED EASEMENT LINE
STREAM
POORLY DRAINED JURISDICTIONAL WETLAND
25' WETLAND BUFFER
50' WETLAND BUILDING SETBACK LINE
CONTOUR MINOR, EXISTING
CONTOUR MINOR, PROPOSED
CONTOUR MAJOR, PROPOSED
BUILDING SETBACK LINE
WELL RADIUS
NITRATE SETBACK
TREETLINE
ROAD CENTERLINE
SHOULDER
DRAIN CULVERT W/ FLARED END SECTION (F.E.S.)
UNDERDRAIN
MATCH POINT
MATCH LINE
RIP RAP
STORMWATER BEST MANAGEMENT PRACTICE (BMP)
BERM
DRAIN MANHOLE W/ STRUCTURE
CATCH BASIN W/ STRUCTURE
STORMWATER BMP OUTLET STRUCTURE
WELL
TRANSFORMER / J.BOX
UNDERGROUND UTILITY
GATE VALVE
CURB STOP
FIRE HYDRANT
THRUST BLOCKS
LIGHT TYPE "A" MOUNTED ON UNIT
TERMINAL FLUSHING MANHOLE W/ STRUCTURE
PROPOSED WATER MAIN LINE
PROPOSED WATER SERVICE
PROPOSED EFFLUENT FORCEMAIN
UG LP TANK

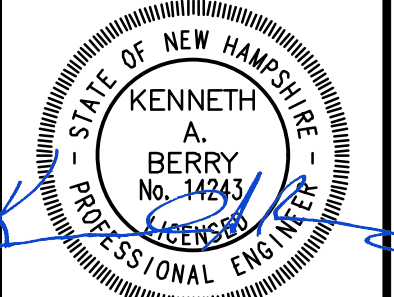
GRAPHIC SCALE

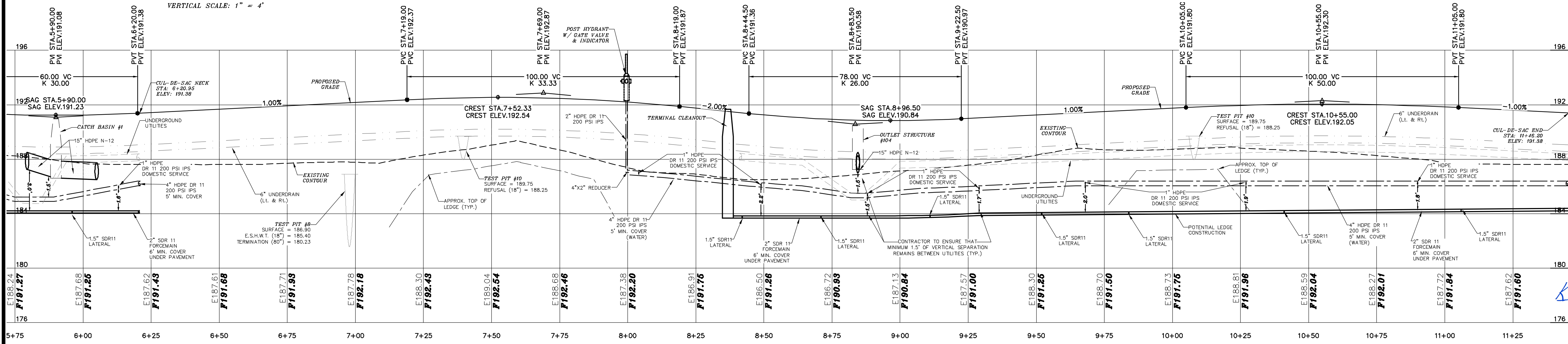
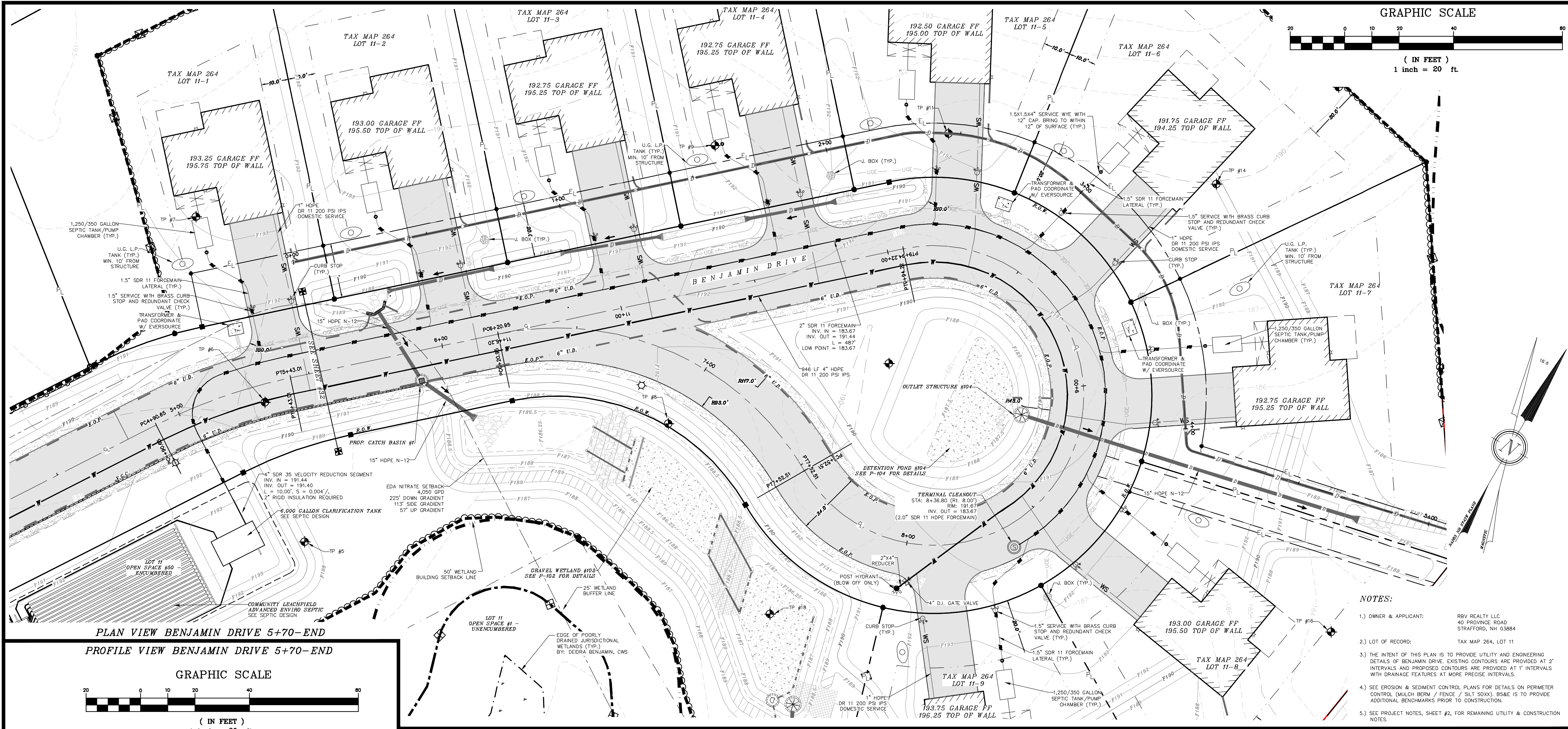


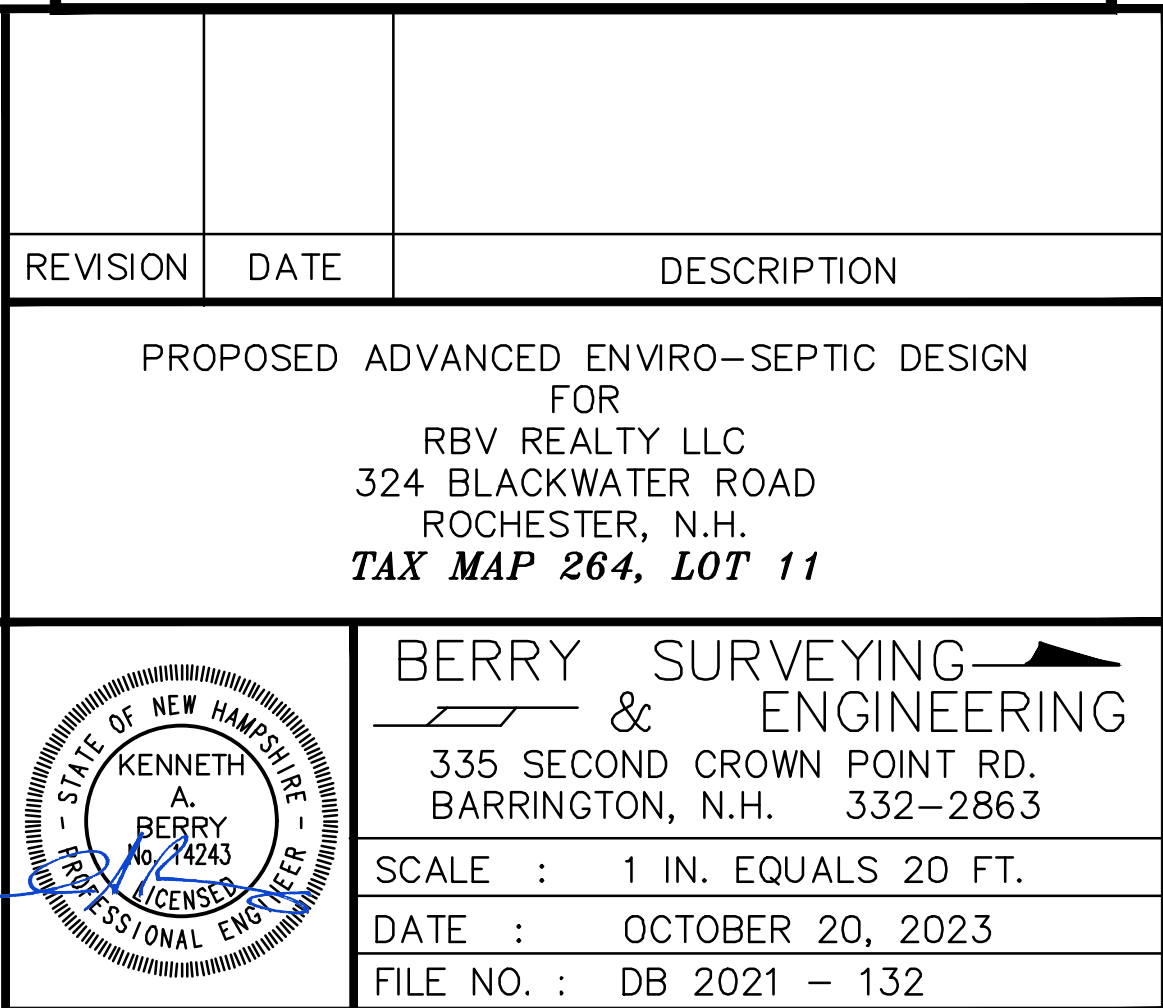
REVISION	DATE	DESCRIPTION

OVERVIEW UTILITY PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132







PLANTING SCHEDULE

Benjamin Drive 21-132

Botanical Name/ Common Name

Trees	Size	Qty	Label
<i>Acer Ginnala</i> / Amur Maple	3.5" Cal.	MIX	
<i>Quercus rubra</i> / Red Oak	3.5" Cal.	16 TOTAL	
<i>Betula alleghaniensis</i> / Yellow Birch	3.5" Cal.	MIX	
<i>Picea glauca</i> / White Spruce	6"	17	WS
Shrubs			
<i>Cornus alba</i> 'Ivory Halo' / Ivory Halo Dogwood	3 Gal.	45	CI
<i>Ilex glabra</i> 'Shamrock' / Shamrock Inkberry	3 Gal.	10	IG
<i>Syringa meyeri</i> 'Palibin' / Dwarf Korean Lilac	3 Gal.	36	SM
<i>Vaccinium corymbosum</i> / High Bush Blueberry	3 Gal.	20	VC
Grasses			
<i>Calamagrostis acutifolia</i> 'Karl Foerster' / Feather Reed Grass	#2	109	KF
Perennials			
<i>Geranium sanguineum</i> 'New Hampshire Purple' / Cransebill	#1	73	CB
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1	60	SD
<i>Astilbe x arendsii</i> 'Bridal Veil' / Bridal Veil Astilbe	#1	47	AF
<i>Hosta</i> 'Big Daddy' / Big daddy Plantain Lily	#1	52	MH

PLANTING NOTES

- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
- CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
- LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
- CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
- ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

TEMPORARY WATERING NOTES

- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
- THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
- TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

EXISTING LEGEND:

- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- ⊠ ANGLE IRON ~FND~
- STONE POST BOUND ~FND~
- UTILITY POLE/GUY WIRE

- POORLY DRAINED JURISDICTIONAL WETLAND LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- WETLAND BUFFER 25' TO POORLY DRAINED
- WETLAND SETBACK 50' TO POORLY DRAINED
- STONE WALL

S.C.R.D. TYP. STRAFFORD COUNTY REGISTRY OF DEEDS
FND FOUND



General Plant Maintenance Guide

General Plant Bed Maintenance:

- All plant maintenance should be performed by a qualified horticulturalist or licensed arborist. Cleaning the dead material out of the planting bed in the fall helps keep litter from building up around the plants and in some cases killing the plants. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. Raking the old mulch and turning it over is all that is needed. When necessary only install one inch of mulch and do not place the mulch closer than 3" to the trunks or stems of woody plants.

Trees

- The first year watering during dry periods will be necessary.
- 3" inches of mulch maybe used. The mulch should be kept 3 inches from the trunk.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to Mat 31st or after trees have dropped their leaves for the year.
- Prune dead wood once a year.
- Depending on the amount of compaction the bed area receives, deep root aeration may be needed over time.

Woody Shrubs

- The first year watering during dry periods will be necessary.
- 3" inches of mulch maybe used. The mulch should be kept 3 inches from the stems.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to Mat 31st or after shrubs have dropped their leaves or gone dormant for the year.
- Prune dead wood once a year.

Grasses

- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
- Do not over mulch. Too much mulch will prohibit the grass from developing into a strong clump.

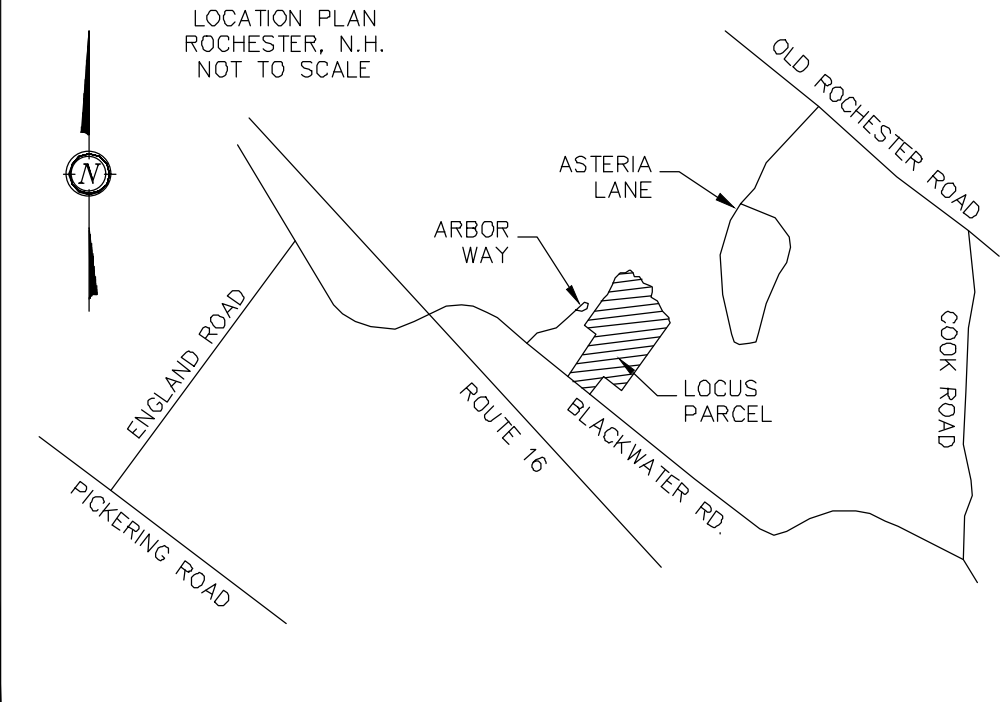
Perennials

- All perennials need to be pruned back after the first or second hard frost. A two-step method: first dead head all the flower heads and let drop to the ground for re-seeding. Second cut the stems back to 3" above the ground and remove the stem and leaf litter and place in compost. Do not over mulch. Too much mulch will prohibit the growth and development.
- Fertilizing perennials once in the spring with a low phosphate fertilizer will help the plants to get started in the spring.

www.terrainplanning.com

311 last hill road hopkinton nh 03229

T:603-491-2322



NOTES:

- OWNER: REV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- TAX MAP 264, LOT 11
- S.C.R.D. BOOK 4904, PAGE 469
- LOT AREA: 538,838 Sq. Ft. ±, 12.37 Ac. ±
- THE INTENT OF THIS PLAN IS TO SHOW THE LANDSCAPING PLAN OF THE MAJOR RESIDENTIAL SUBDIVISION OF TAX MAP 264, LOT 11 USING THE CONSERVATION SUBDIVISION ORDINANCE

NOTES:

- CALL DIO SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
- PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SHADBLUUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWN SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- TREES ARE TO BE 6" TALL AT PLANTING.
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TYP- PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON PLANS.
- TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
- ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
- ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ONGOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
- PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
- ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NO LESS THAN ONE FULL YEAR FROM THE TIME OF INSTALLATION. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE OWNER IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
- BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, THAT HAS LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESS PRUNING OR INADEQUATE OR IMPROPER CARE, OR IS, IN THE OPINION OF THE OWNER, IN UNHEALTHY OR UNSUITABLE CONDITION.
- THE CONTRACTOR IS TO USE TEMPORARY MEASURES FOR WATERING PLANTS DURING THE ESTABLISHMENT PERIOD. INCLUDING CONNECTING TEMPORARY HOSES TO THE STRUCTURE WATER SUPPLY LINE AND UTILIZING SPRINKLERS UNTIL 85% GROWTH OCCURS.

GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

DESCRIPTION

DATE

REVISION

OVERVIEW LANDSCAPING PLAN

LAND OF

REV REALTY LLC

324 BLACKWATER RD

ROCHESTER, N.H.

TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING

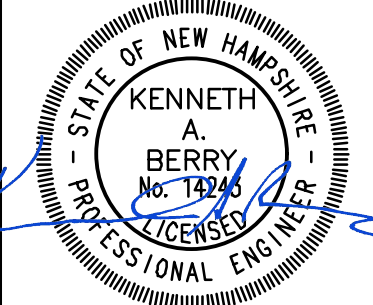
335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 60 FT.

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132



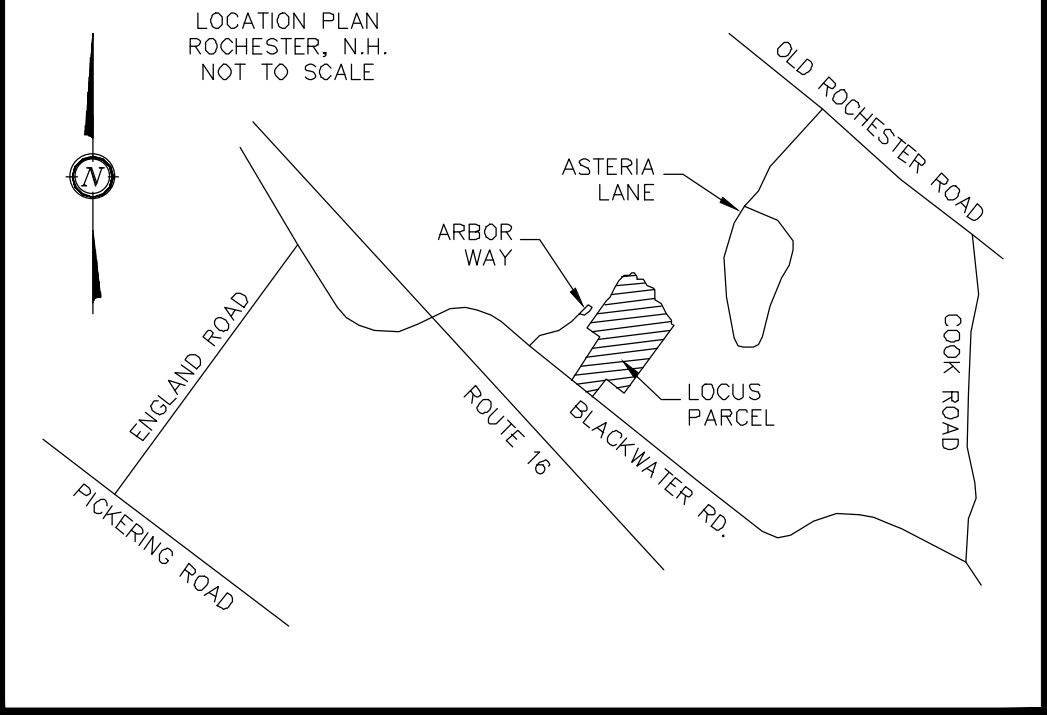
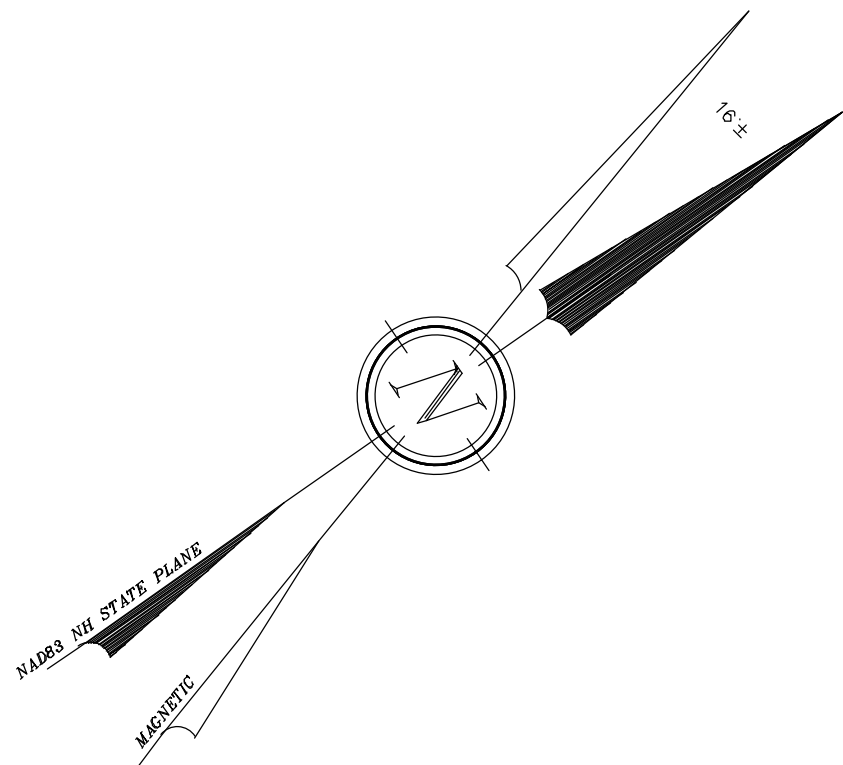
SHEET 35 OF 54

PLANTING LEGEND:

- PERENNIAL : CRANESBILL, HAPPY RETURNS DAYLILY,
BRIDAL VEIL ASTILBE, BIG DADDY PLANTAIN LILY
* GRASSES: FEATHER REED GRASS
SHRUBS: IVORY HALO DOGWOOD
DWARF KOREAN LILAC
SHAMROCK INKBERRY
TREES: WHITE SPRUCE
STREET TREE (SEE DESCRIPTION BELOW)

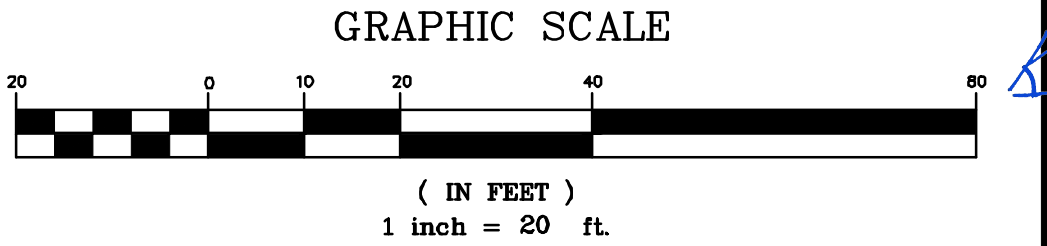
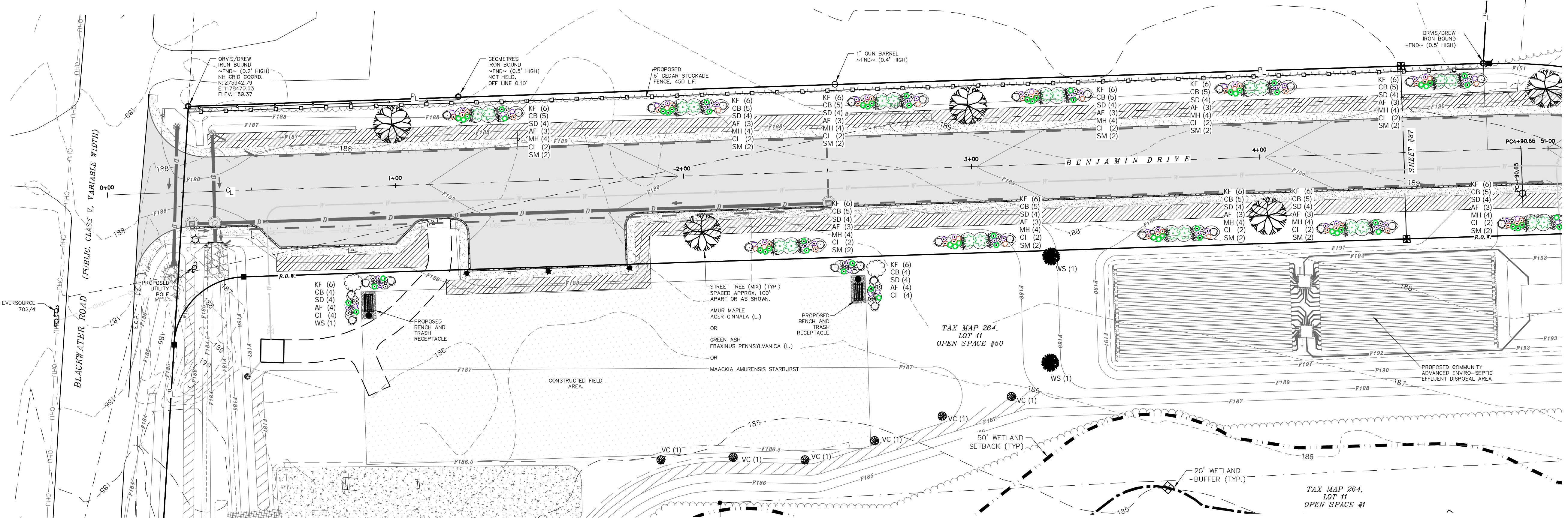
EXISTING LEGEND:

- DRILL HOLE ~FND~
IRON PIPE ~FND~
IRON BOUND ~FND~
ANGLE IRON ~FND~
STONE POST BOUND ~FND~
UTILITY POLE/GUY WIRE
POORLY DRAINED JURISDICTIONAL WETLAND LINE
BUILDING SETBACK LINE
EASEMENT LINE
WETLAND BUFFER 25' TO POORLY DRAINED
WETLAND SETBACK 50' TO POORLY DRAINED
STONE WALL
S.C.R.D. TYP. FOUND
STRAFFORD COUNTY REGISTRY OF DEEDS



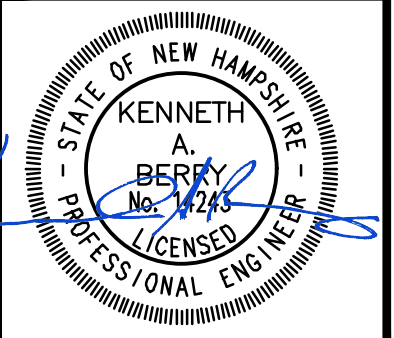
NOTES:

- 1.) OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
2.) TAX MAP 264, LOT 11
3.) S.C.R.D. BOOK 4904, PAGE 469
4.) LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
5.) THE INTENT OF THIS PLAN IS TO SHOW THE
MAJOR RESIDENTIAL SUBDIVISION PLAN OF
TAX MAP 264, LOT 11.



DETAIL LANDSCAPING PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

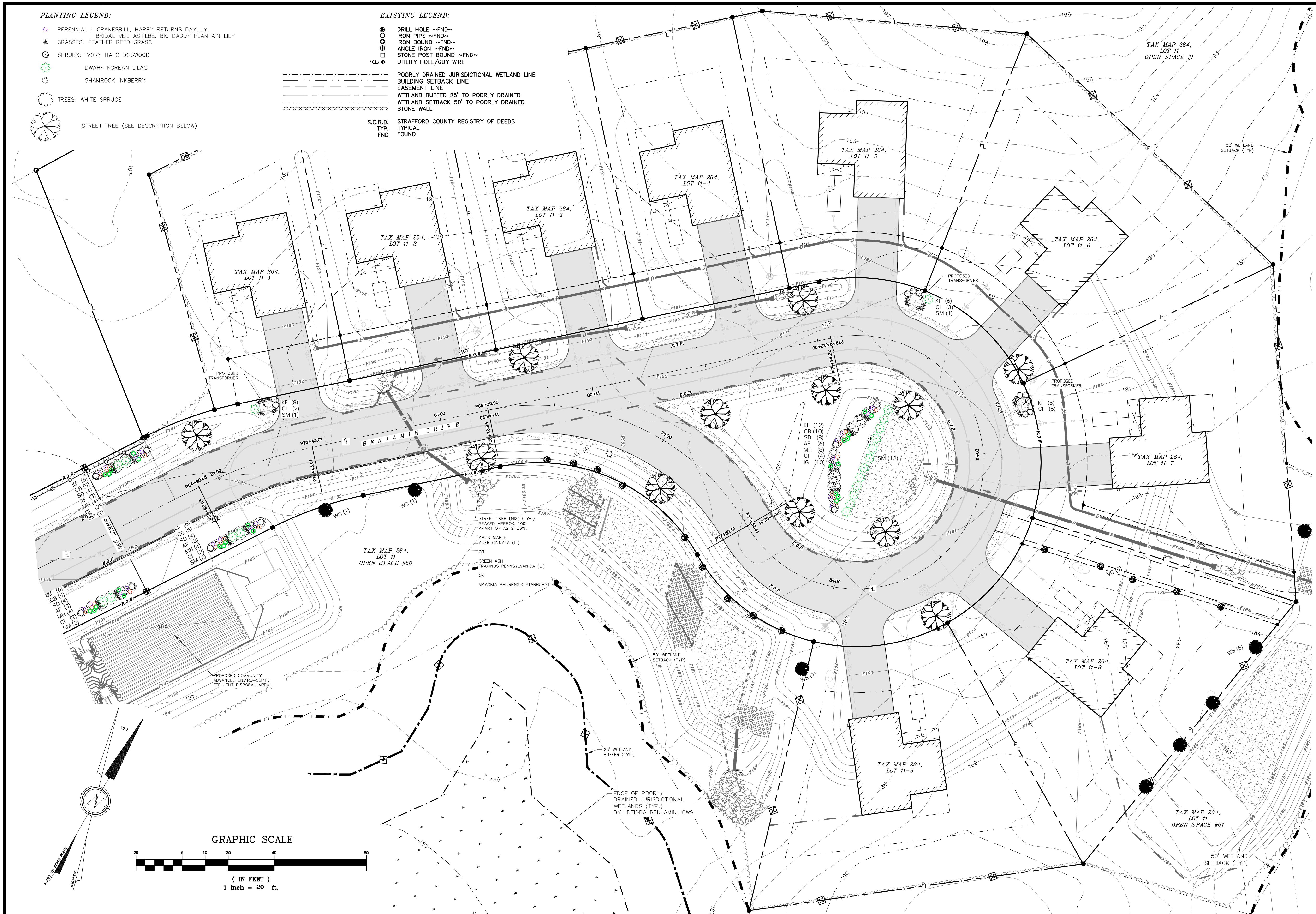


PLANTING LEGEND:

- PERENNIAL : CRANESBILL, HAPPY RETURNS DAYLILY,
BRIDAL VEIL ASTILBE, BIG DADDY PLANTAIN LILY
GRASSES: FEATHER REED GRASS
SHRUBS: IVORY HALO DOGWOOD
DWARF KOREAN LILAC
SHAMROCK INKBERRY
TREES: WHITE SPRUCE
STREET TREE (SEE DESCRIPTION BELOW)

EXISTING LEGEND:

- DRILL HOLE ~FND~
IRON PIPE ~FND~
IRON BOUND ~FND~
ANGLE IRON ~FND~
STONE POST BOUND ~FND~
UTILITY POLE/GUY WIRE
POORLY DRAINED JURISDICTIONAL WETLAND LINE
BUILDING SETBACK LINE
EASEMENT LINE
WETLAND BUFFER 25' TO POORLY DRAINED
WETLAND SETBACK 50' TO POORLY DRAINED
STONE WALL
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FND FOUND



DETAIL LANDSCAPING PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

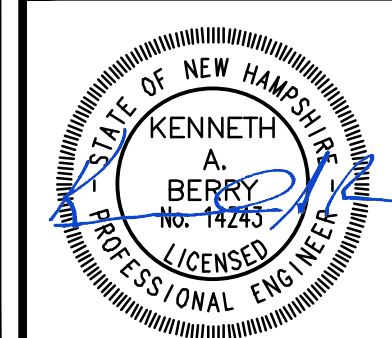


Diagram illustrating the mapping of symbols to categories:

- Triangle A points to a triangle symbol.
- Triangle B points to a square symbol.
- Triangle C points to a star symbol.

1.) OWNER: RBV REALTY LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884

3.) S.C.R.D. BOOK 4904, PAGE 469

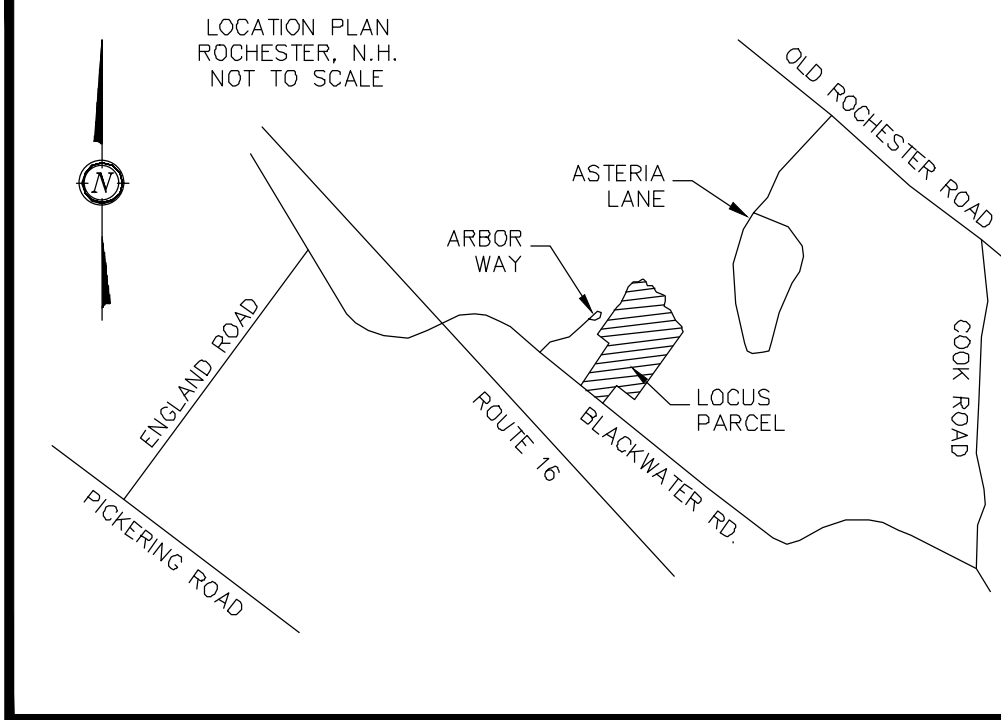
5.) THE INTENT OF THIS PLAN IS TO SHOW TH

6.) SEE CONSTRUCTION DETAILS FOR LIGHT PRODUCT CUT SHEETS.

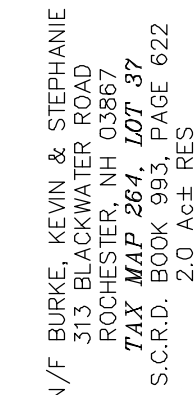
7.) LAMP A IS A TYPICAL RESIDENTIAL LAMP MOUNTED ON THE HOUSES THAT IS MOUNTED APPROXIMATELY 8' OFF THE GROUND.

8.) LAMP "B" IS A TYPICAL POLE MOUNTED RESIDENTIAL LAMP THAT IS MOUNTED APPROXIMATELY 12' OFF THE GROUND.

9.) LAMP "C" IS A BOLLARD TOP TYPE LIGHT THAT IS MOUNTED APPROXIMATELY 3.5' OFF THE GROUND.



(IN FEET)
1 inch = 40 ft.



N/F BURKE, BRANDON M. & AMY L.
321 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 37-1
S.C.R.D. BOOK 4525, PAGE 233
2.0 AC± RES

N/F JENNESS, GEORGE B. & ELIZABETH M.
333 BLACKWATER ROAD
ROCHESTER, NH 03867-4638
TAX MAP 264, LOT 36
S.C.R.D. BOOK 2364, PAGE 469
5.10 Ac.± RES

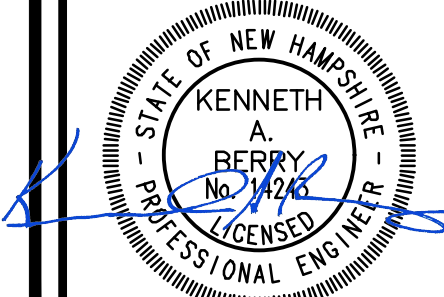
LIGHTING PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 INCH EQUALS 40 FEET

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132

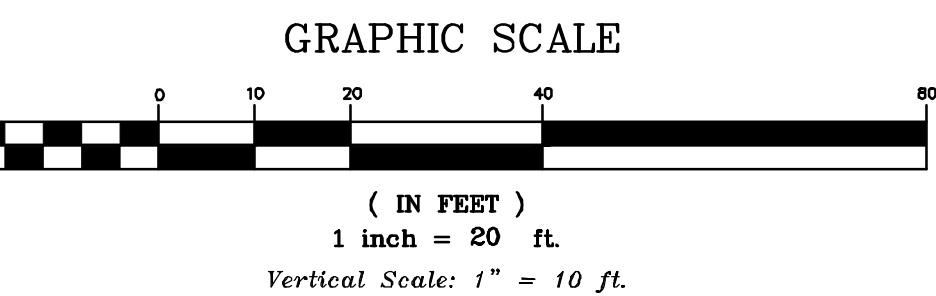
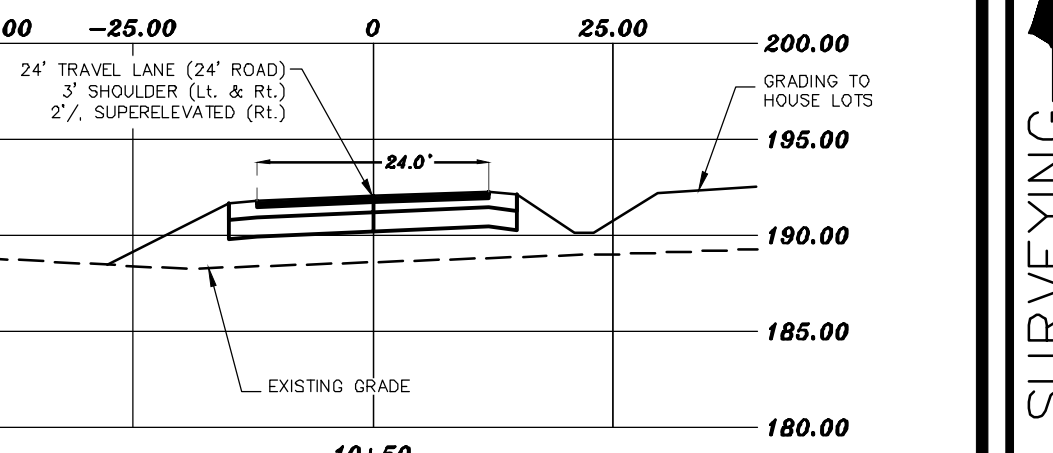
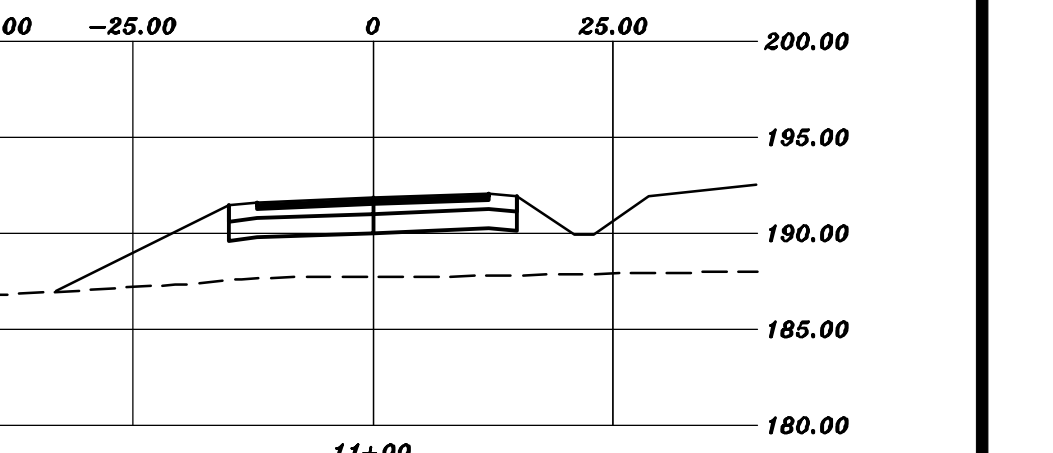
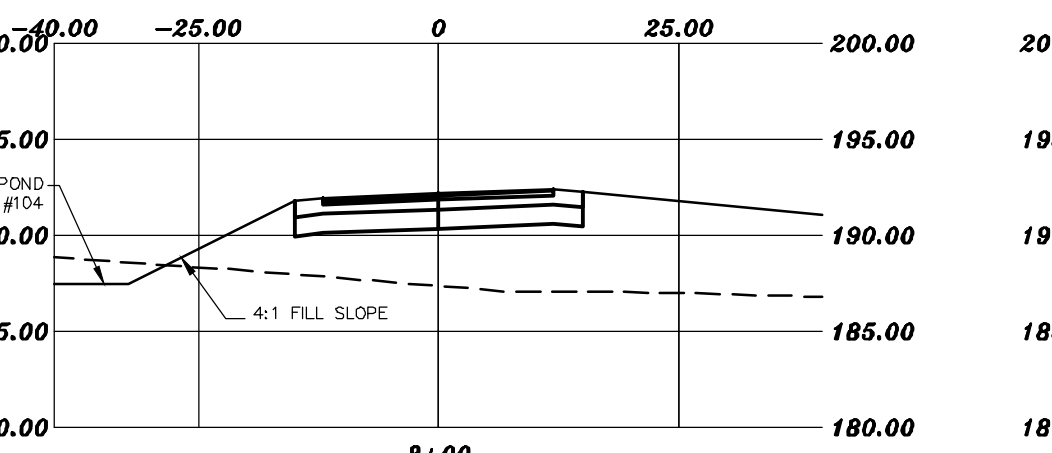
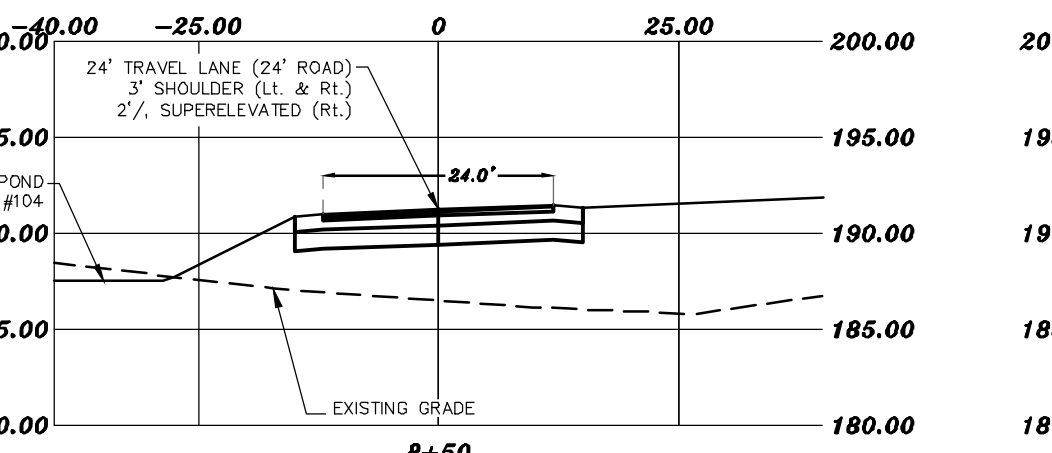
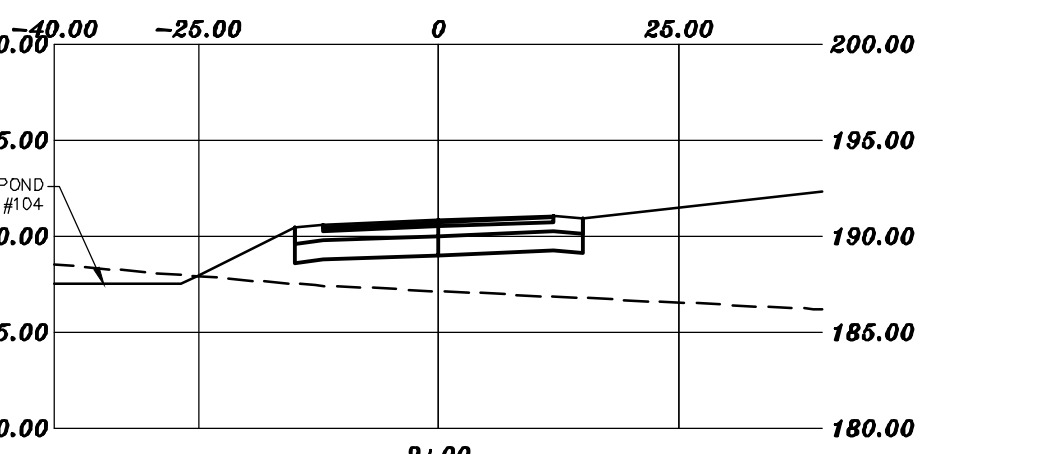
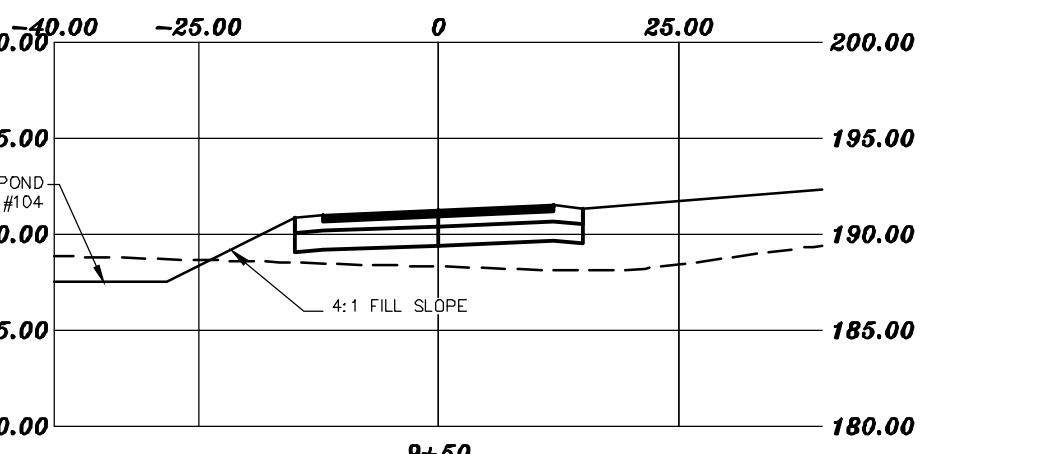
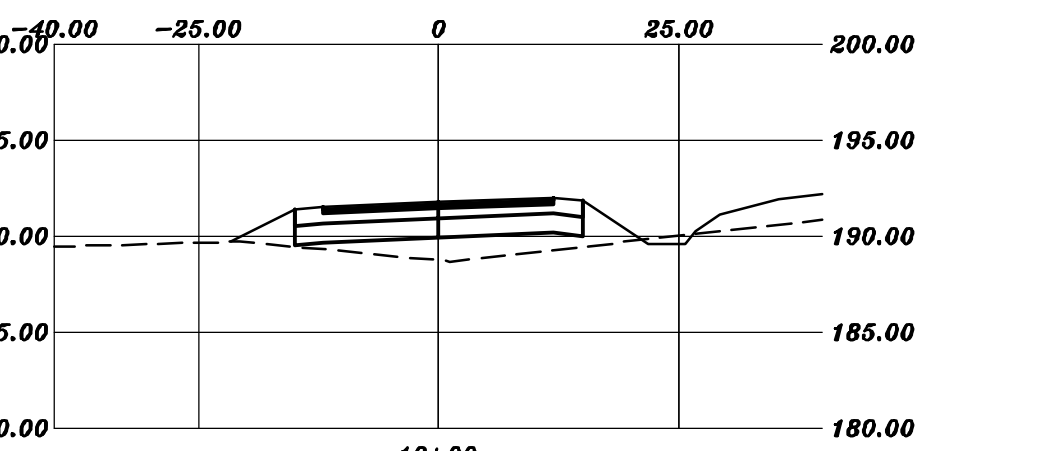
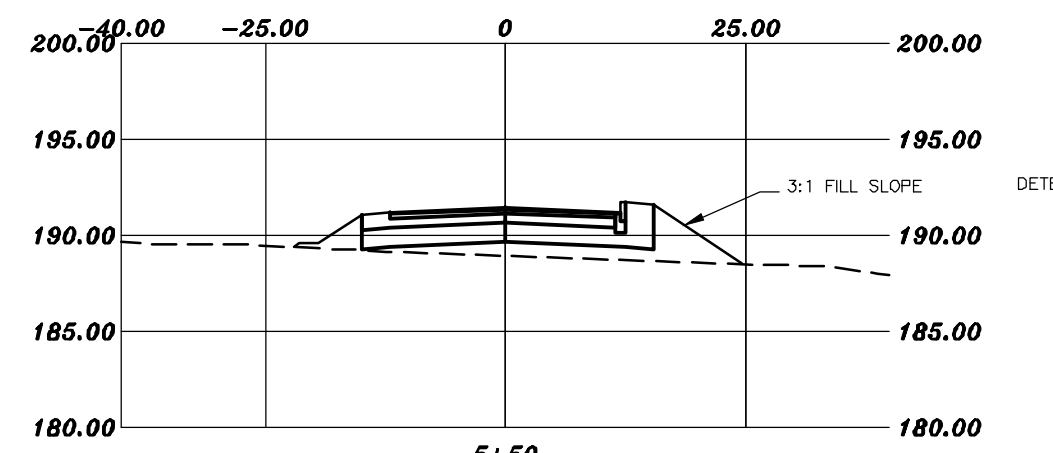
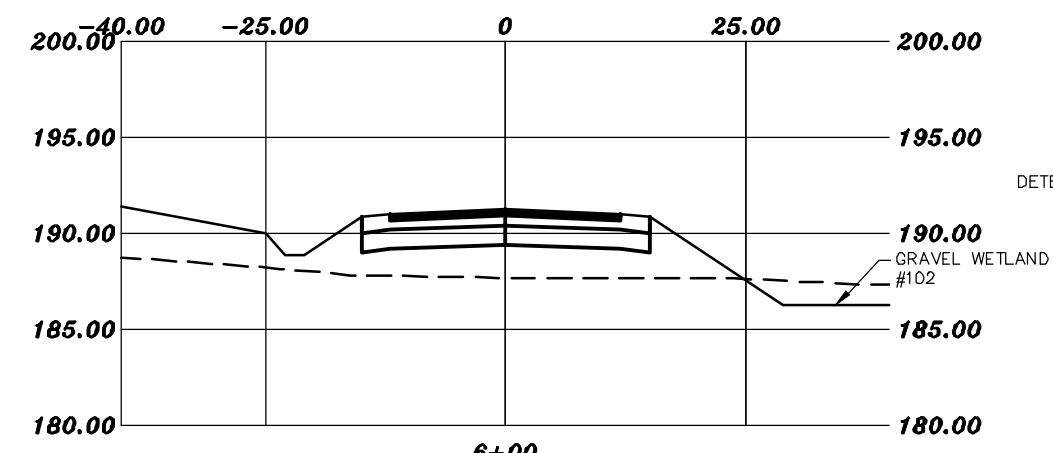
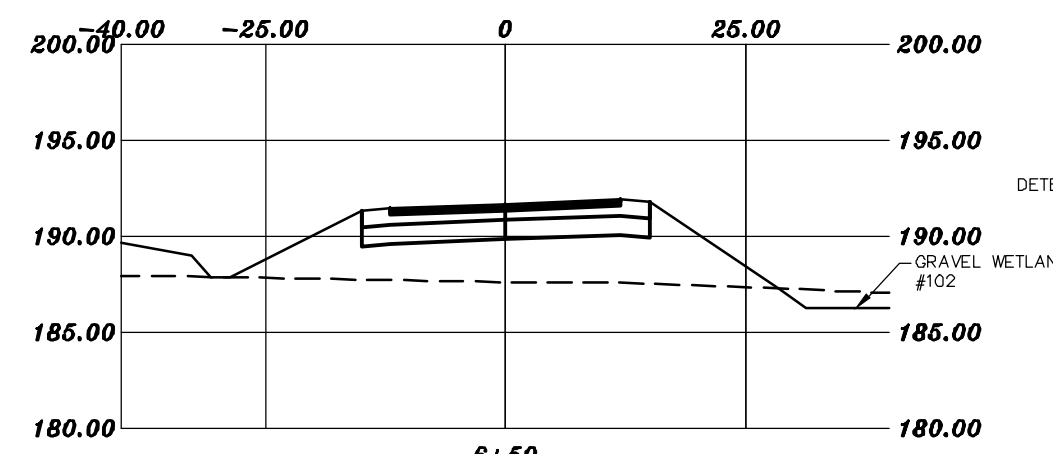
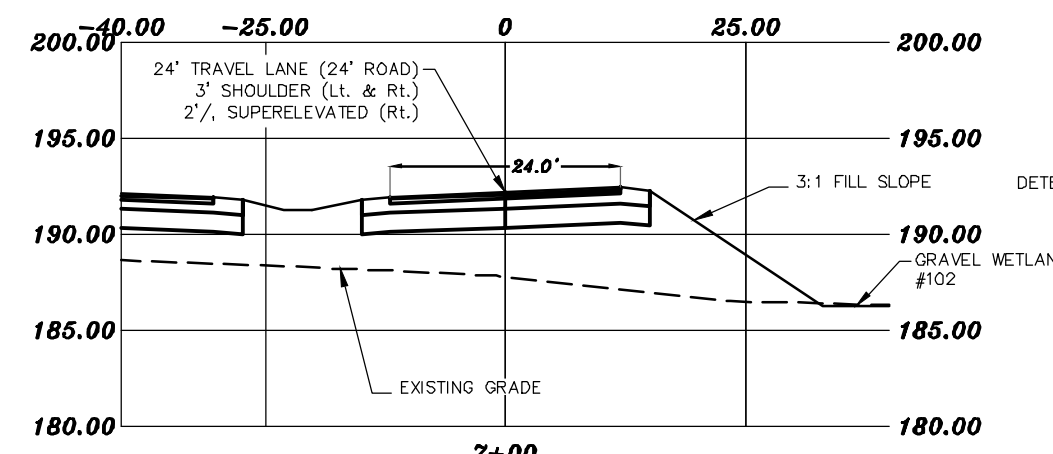
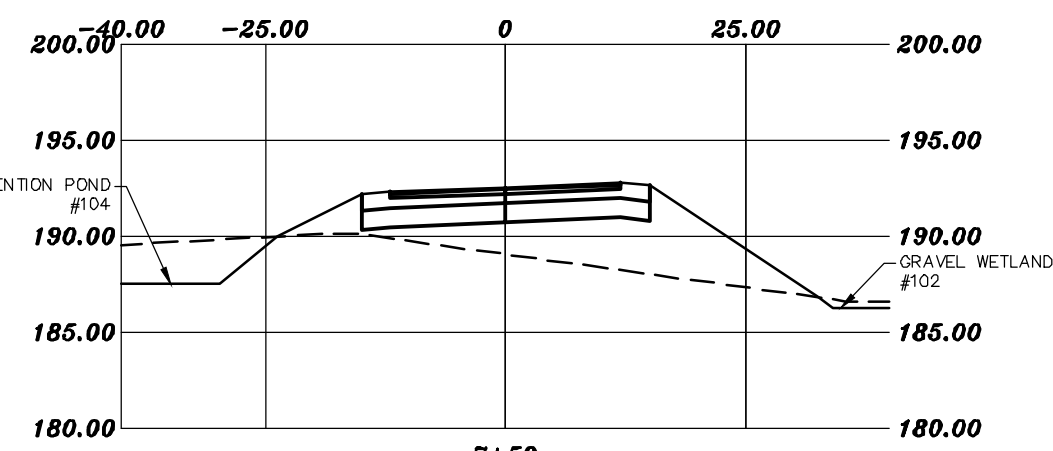
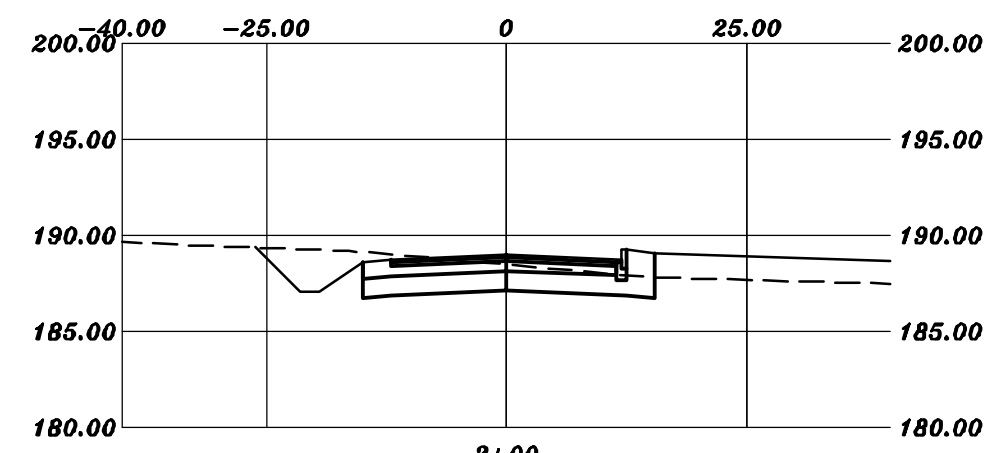
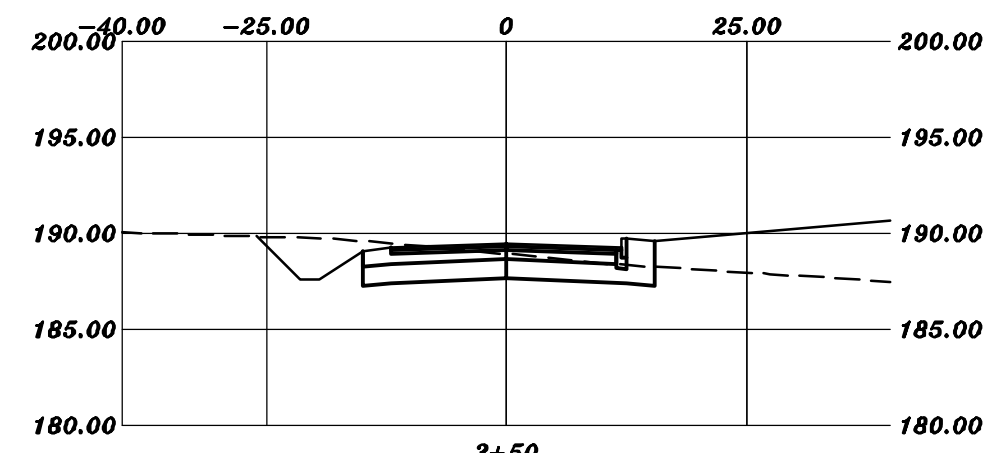
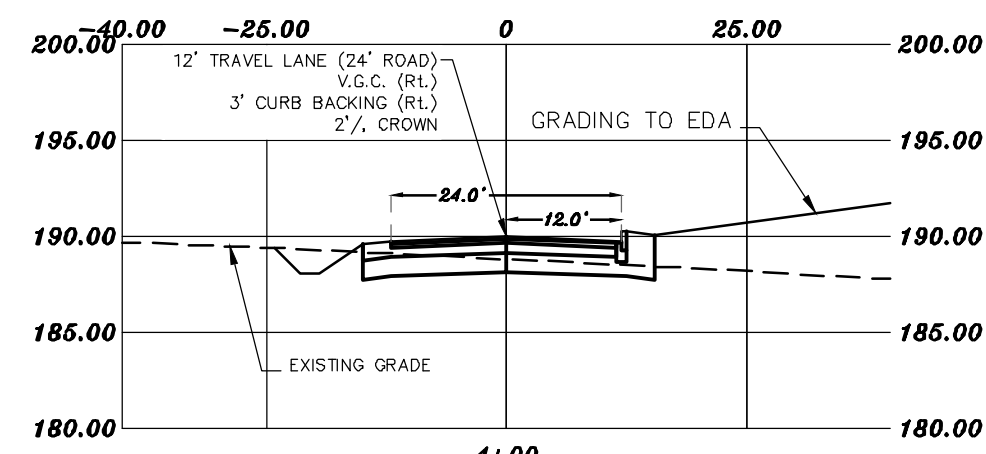
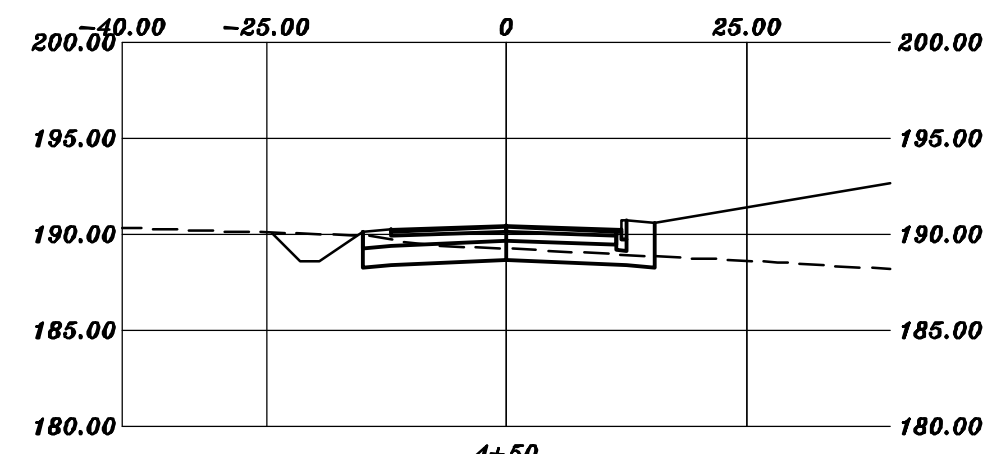
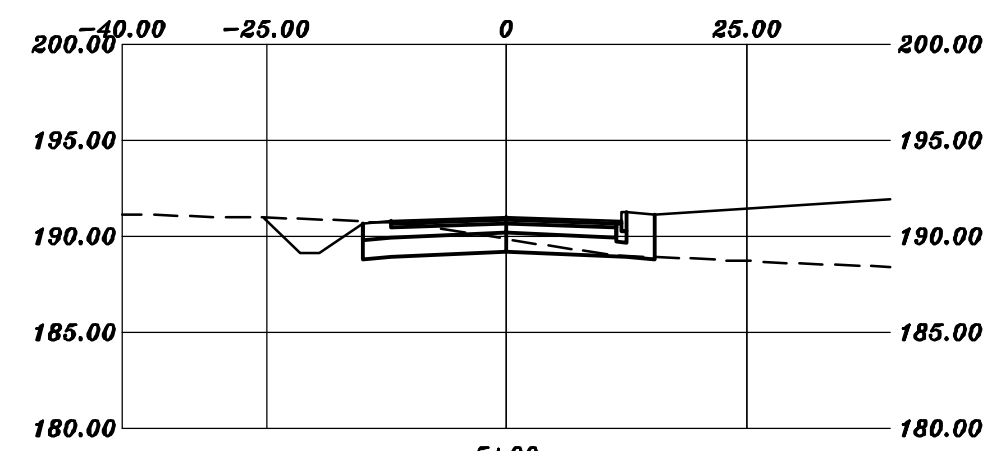
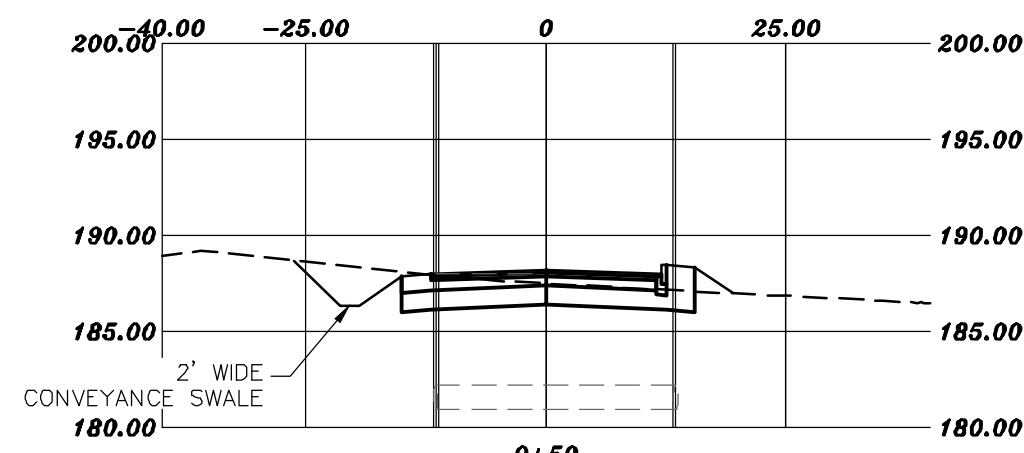
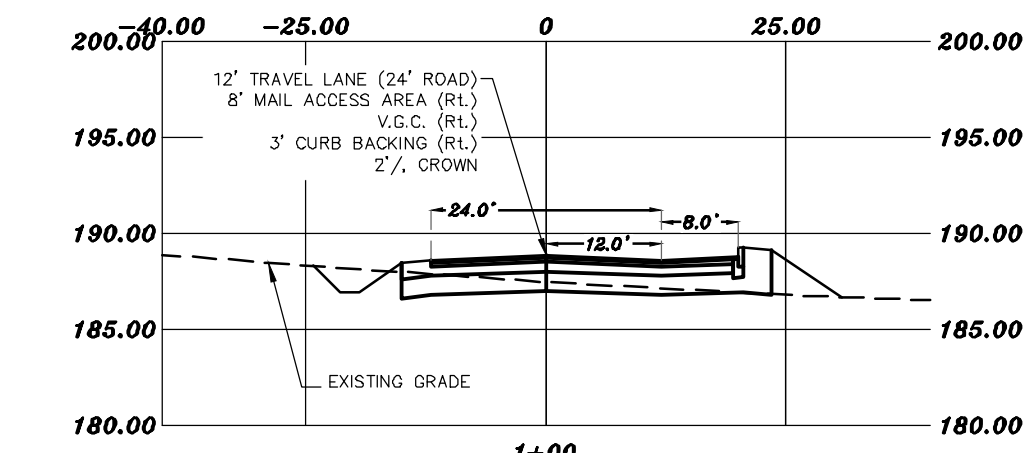
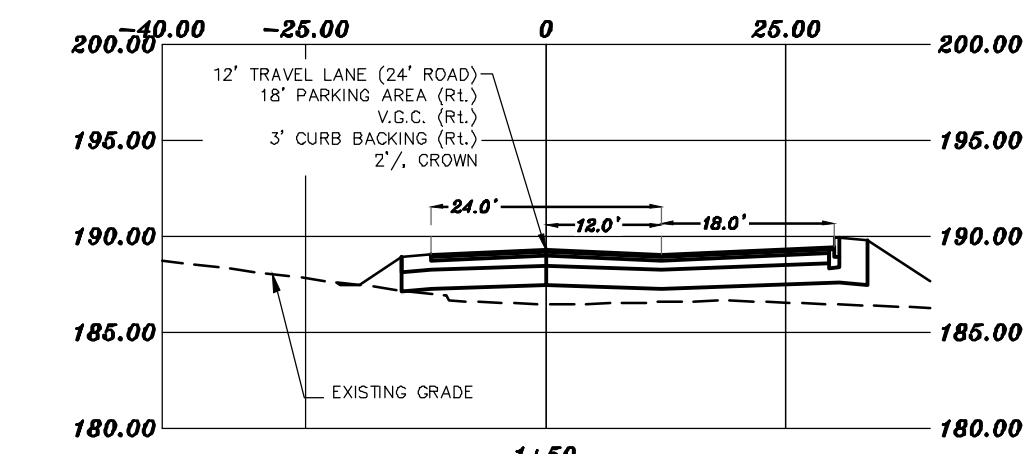
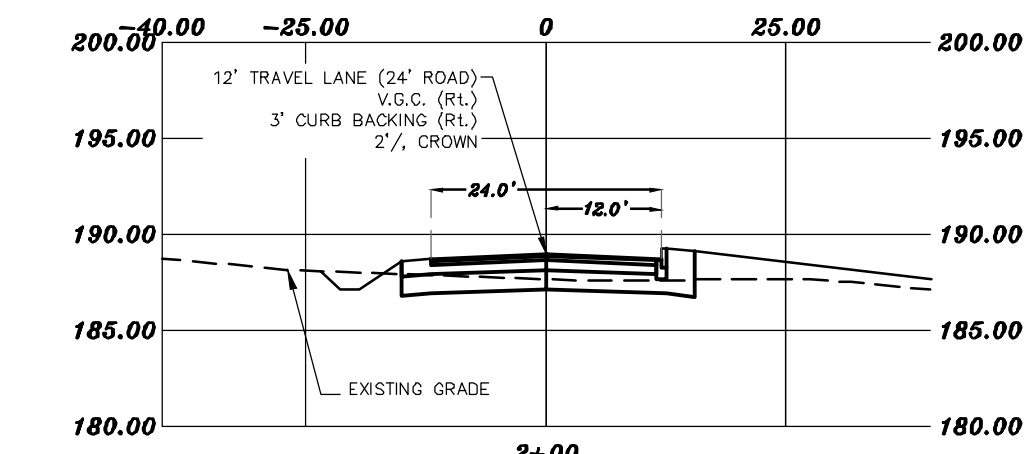
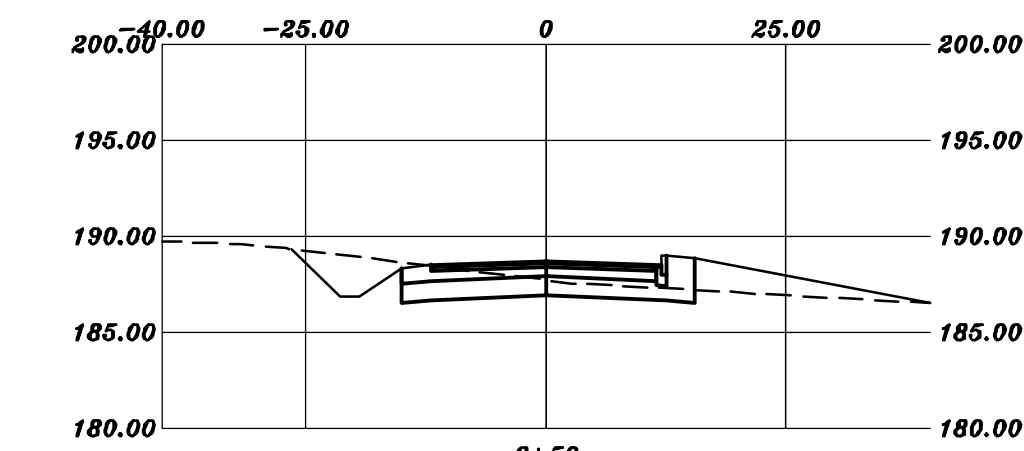


SHEET 38 OF 54

DESCRIPTION

ATE

REVISION



REVISION	DATE	DESCRIPTION

CROSS SECTIONS BENJAMIN DRIVE 0+00 - END
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

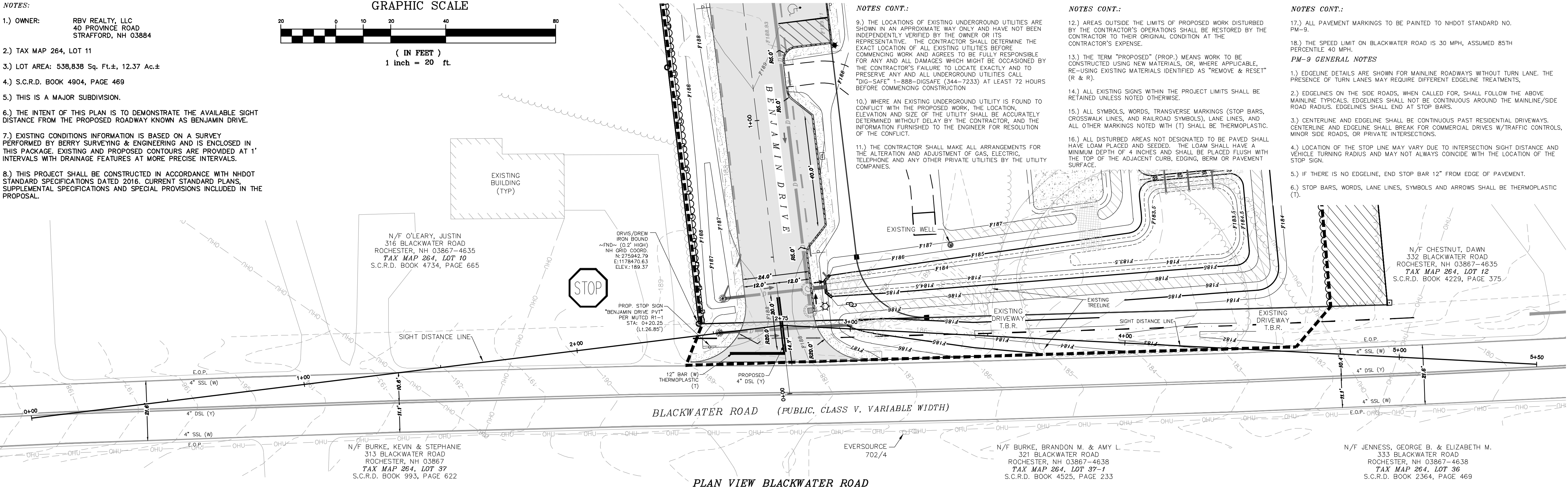
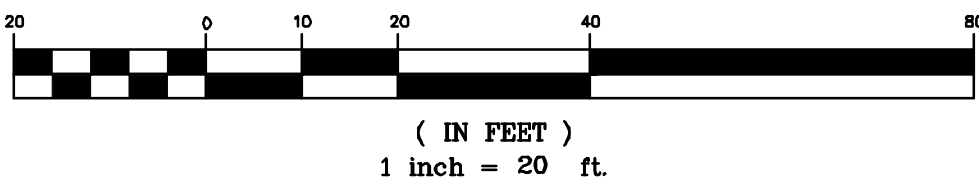
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

NOTES:

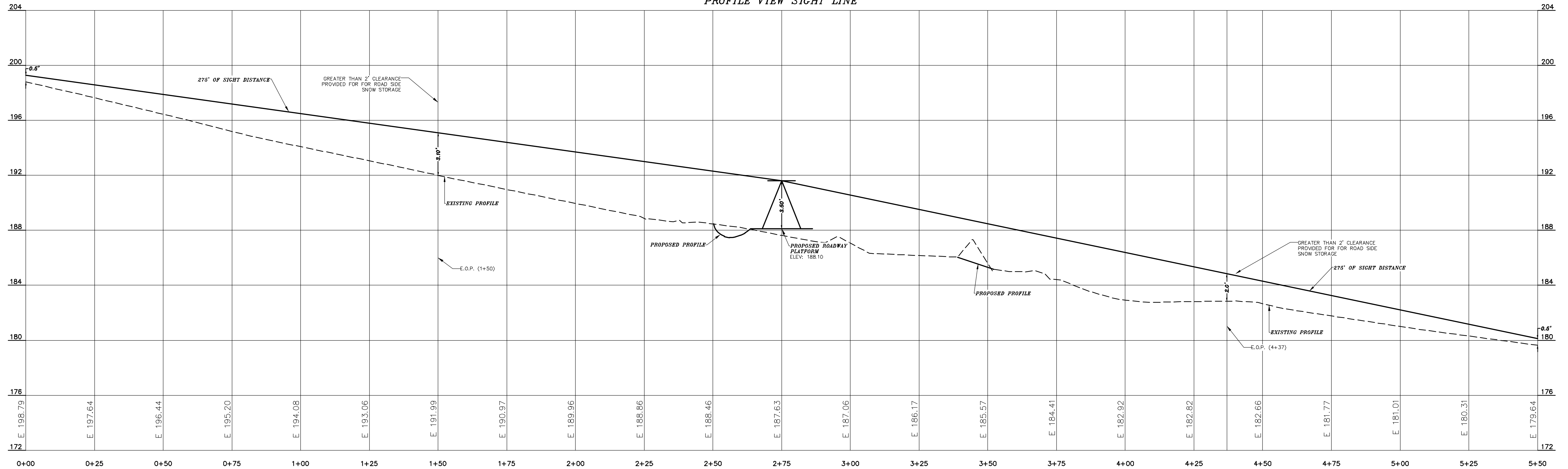
- 1.) OWNER: RBV REALTY, LLC
40 PROVINCE ROAD
STRAFFORD, NH 03884
- 2.) TAX MAP 264, LOT 11
- 3.) LOT AREA: 538,838 Sq. Ft.±, 12.37 Ac.±
- 4.) S.C.R.D. BOOK 4904, PAGE 469
- 5.) THIS IS A MAJOR SUBDIVISION.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED ROADWAY KNOWN AS BENJAMIN DRIVE.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.

GRAPHIC SCALE



PLAN VIEW BLACKWATER ROAD

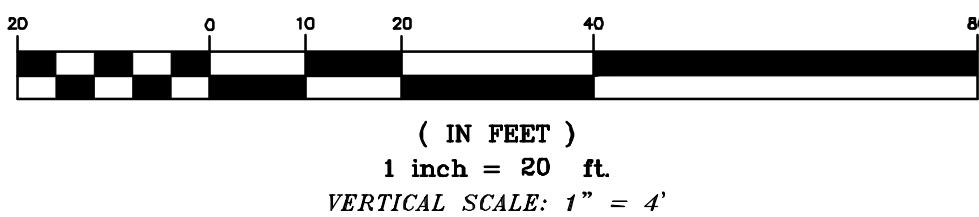
PROFILE VIEW SIGHT LINE



SIGHT DISTANCE CALCULATION:

DESIGN SPEED: 30 MPH
ASSUMED 85TH PERCENTILE SPEED: 40 MPH

GRAPHIC SCALE



SD-1

NOTES CONT.:

- 9.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION
- 10.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- 11.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.

NOTES CONT.:

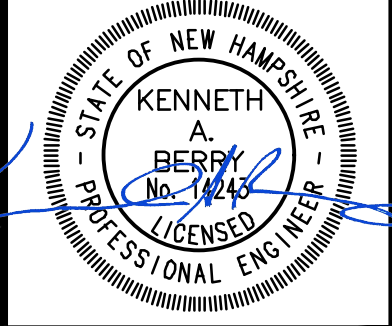
- 12.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 13.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
- 14.) ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS NOTED OTHERWISE.
- 15.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
- 16.) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.

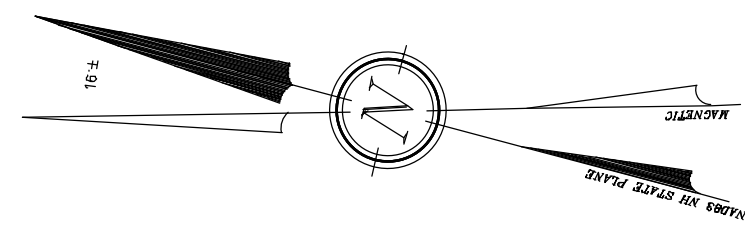
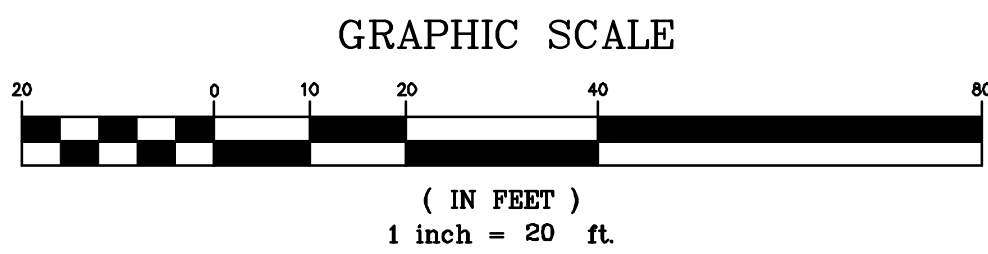
NOTES CONT.:

- 17.) ALL PAVEMENT MARKINGS TO BE PAINTED TO NHDOT STANDARD NO. PM-9.
- 18.) THE SPEED LIMIT ON BLACKWATER ROAD IS 30 MPH, ASSUMED 85TH PERCENTILE 40 MPH.
- PM-9 GENERAL NOTES**
- 1.) EDGE LINE DETAILS ARE SHOWN FOR MAINLINE ROADWAYS WITHOUT TURN LANE. THE PRESENCE OF TURN LANES MAY REQUIRE DIFFERENT EDGE LINE TREATMENTS.
- 2.) EDGE LINES ON THE SIDE ROADS, WHEN CALLED FOR, SHALL FOLLOW THE ABOVE MAINLINE TYPICALS. EDGE LINES SHALL NOT BE CONTINUOUS AROUND THE MAINLINE/SIDE ROAD RADIUS. EDGE LINES SHALL END AT STOP BARS.
- 3.) CENTERLINE AND EDGE LINE SHALL BE CONTINUOUS PAST RESIDENTIAL DRIVEWAYS. CENTERLINE AND EDGE LINE SHALL BREAK FOR COMMERCIAL DRIVES W/TRAFFIC CONTROLS, MINOR SIDE ROADS, OR PRIVATE INTERSECTIONS.
- 4.) LOCATION OF THE STOP LINE MAY VARY DUE TO INTERSECTION SIGHT DISTANCE AND VEHICLE TURNING RADIUS AND MAY NOT ALWAYS CONCOIDE WITH THE LOCATION OF THE STOP SIGN.
- 5.) IF THERE IS NO EDGE LINE, END STOP BAR 12" FROM EDGE OF PAVEMENT.
- 6.) STOP BARS, WORDS, LANE LINES, SYMBOLS AND ARROWS SHALL BE THERMOPLASTIC (T).

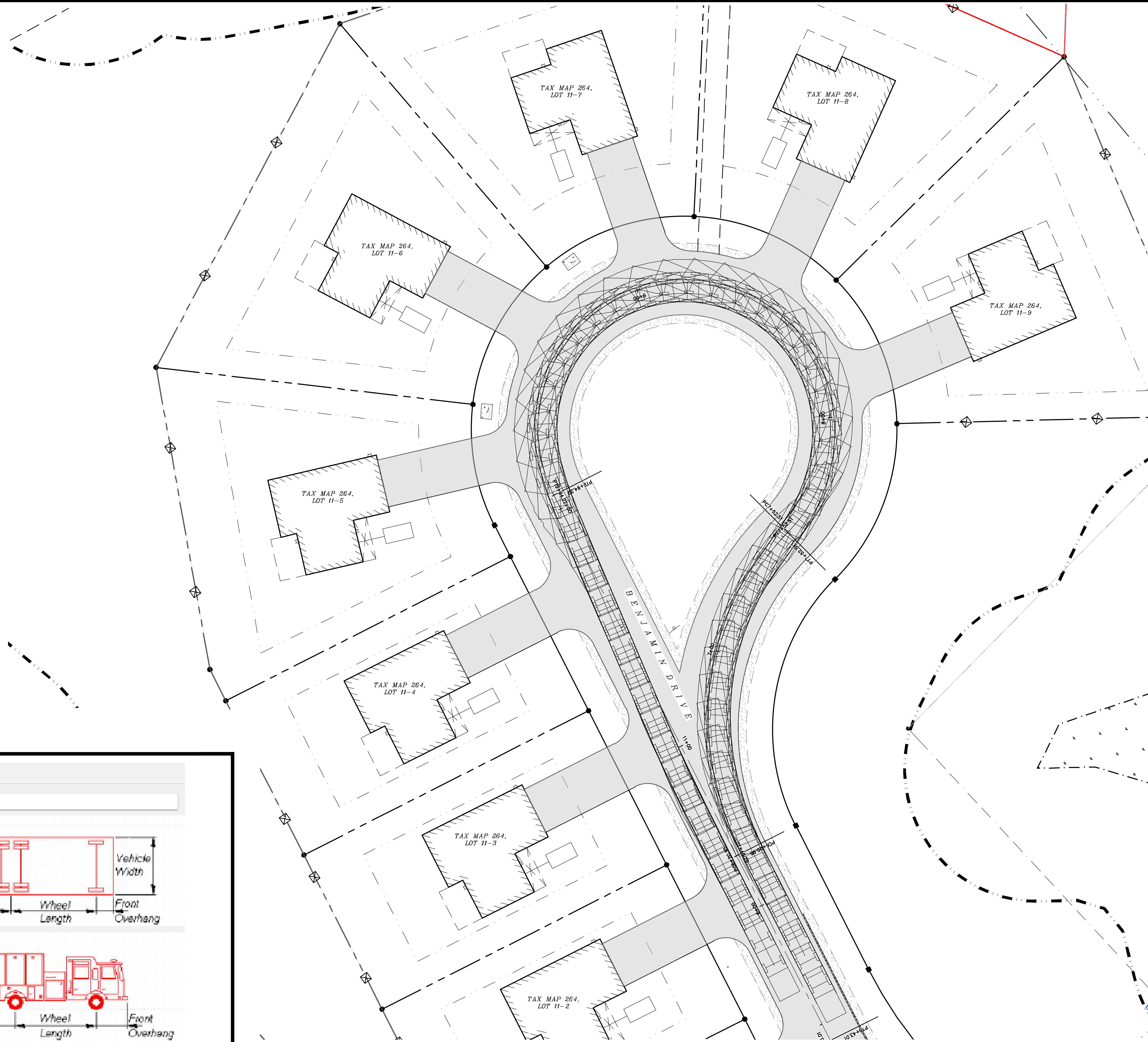
SIGHT DISTANCE PLAN
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132





FIRE TRUCK
HAMMERHEAD



Vehicle Trailer Path

Description Fire Engine

Wheel Width 8.330

Wheel Length 20.000

Vehicle Width 8.330

Front Overhang 13.580

Rear Overhang 16.000

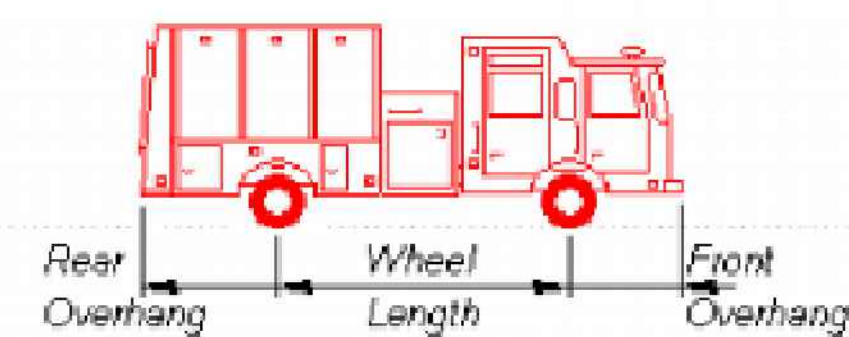
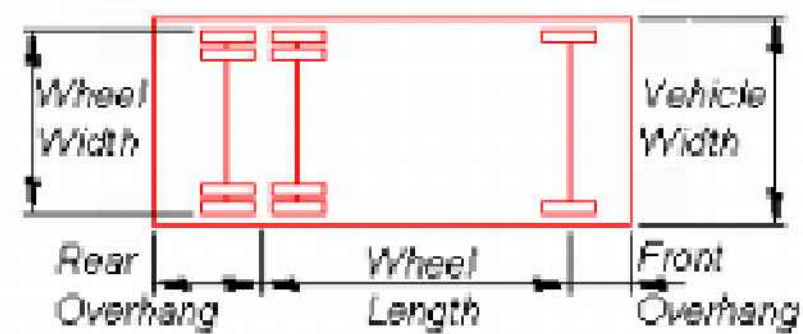
Tire Diameter 3.330

Rear Axle Count 2

Rear Axle Offset 4.200

Section Type Fire Truck

Section Symbol Set



REVISION	DATE	DESCRIPTION

FIRE TRUCK TURN TEMPLATE

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

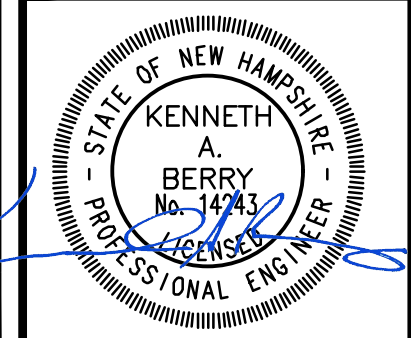
BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

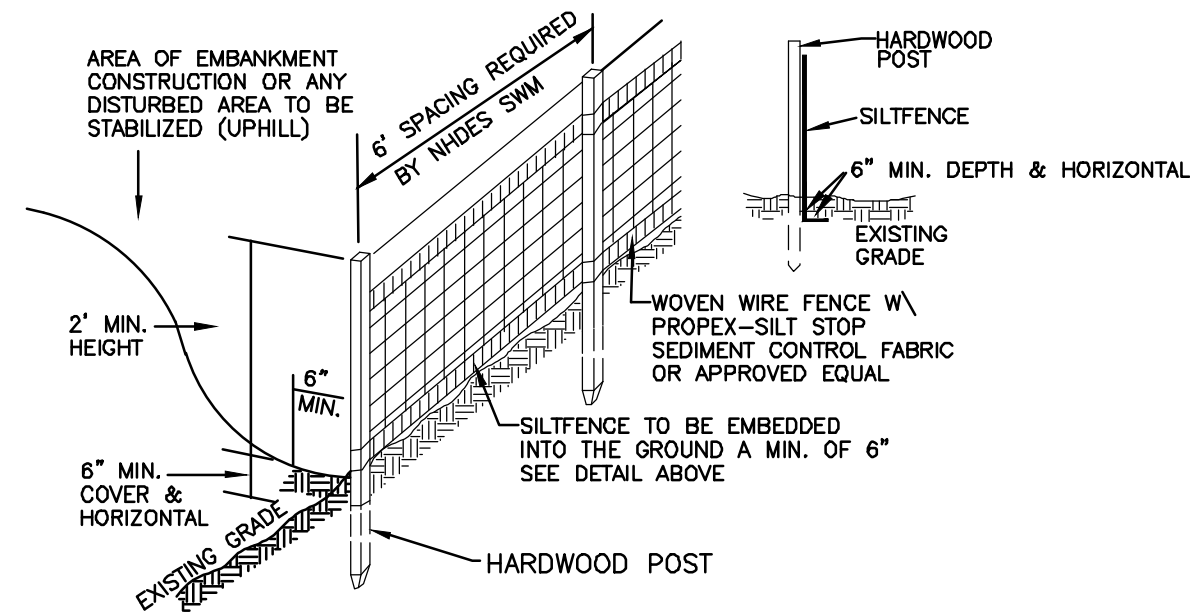
SCALE : 1 IN. EQUALS 20 FT.

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132



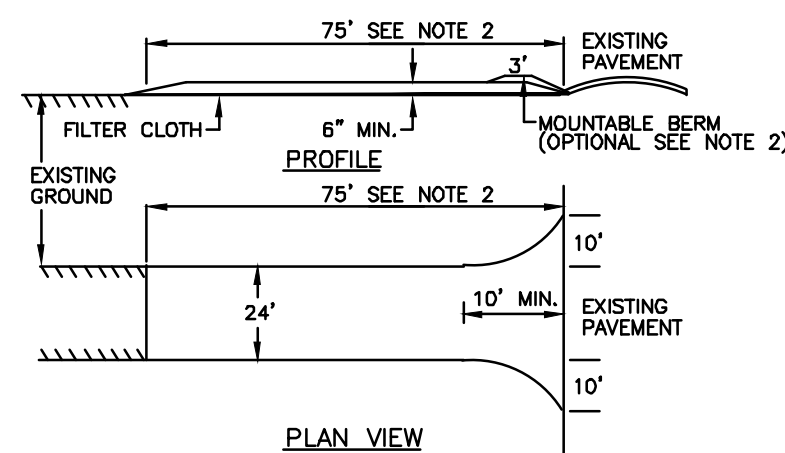
E 1



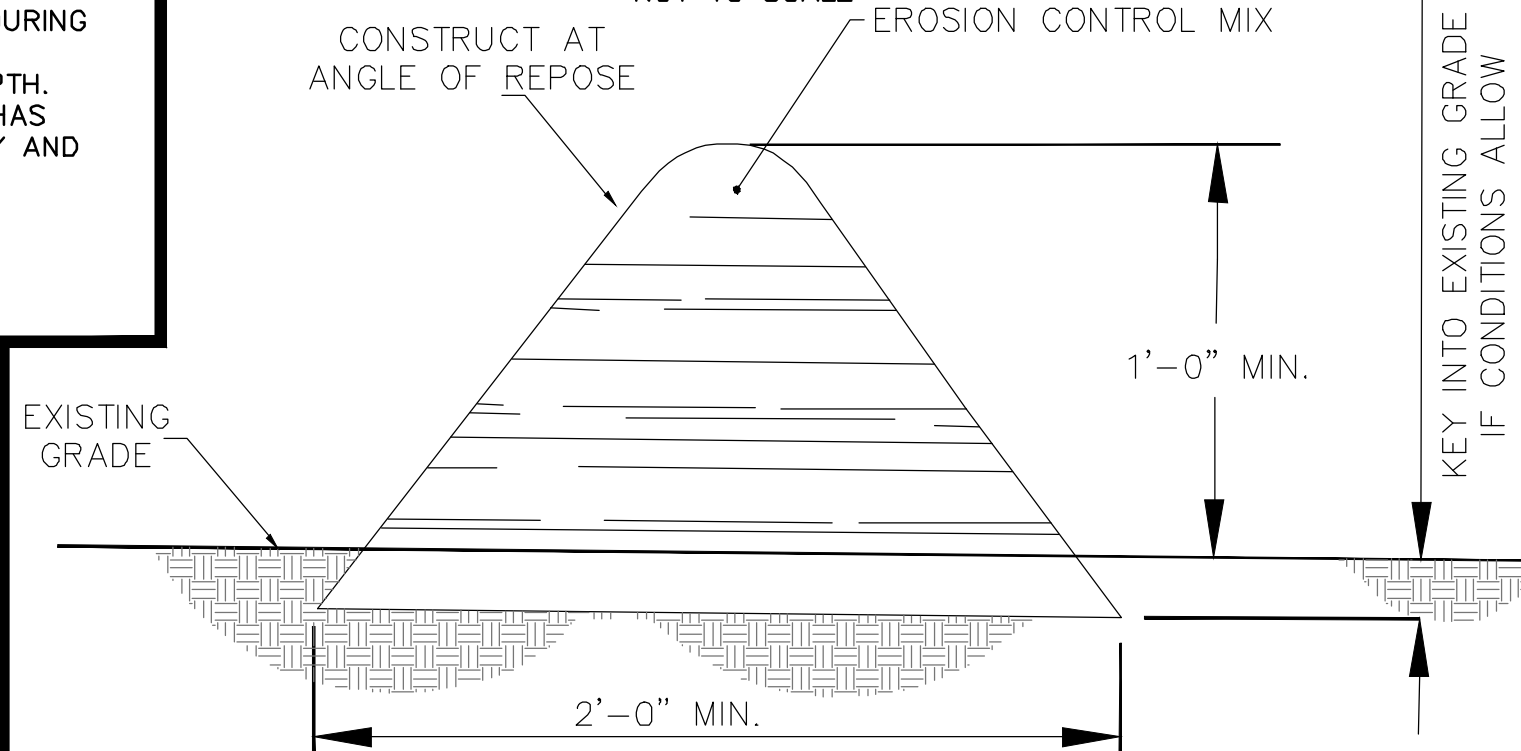
- SILT FENCE CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
 2. ALL JOINT SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
 4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
 5. SEDIMENT SHALL BE REMOVED AS NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
 6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
 7. TO BE CONSTRUCTED IAW NH SWM §3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE DETAIL
NOT TO SCALE

E5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 ANGULAR INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE WIDTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PLACED BENEATH THE ENTRANCE. DIVERSION IS IMPRACTICAL. A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY A SUBSTITUTED FOOT OR PAVED DRIVEWAY SHALL BE USED.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE CLEANED PROMPTLY.
8. TO BE CONSTRUCTED IAW NW SMM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.



MAINTENANCE

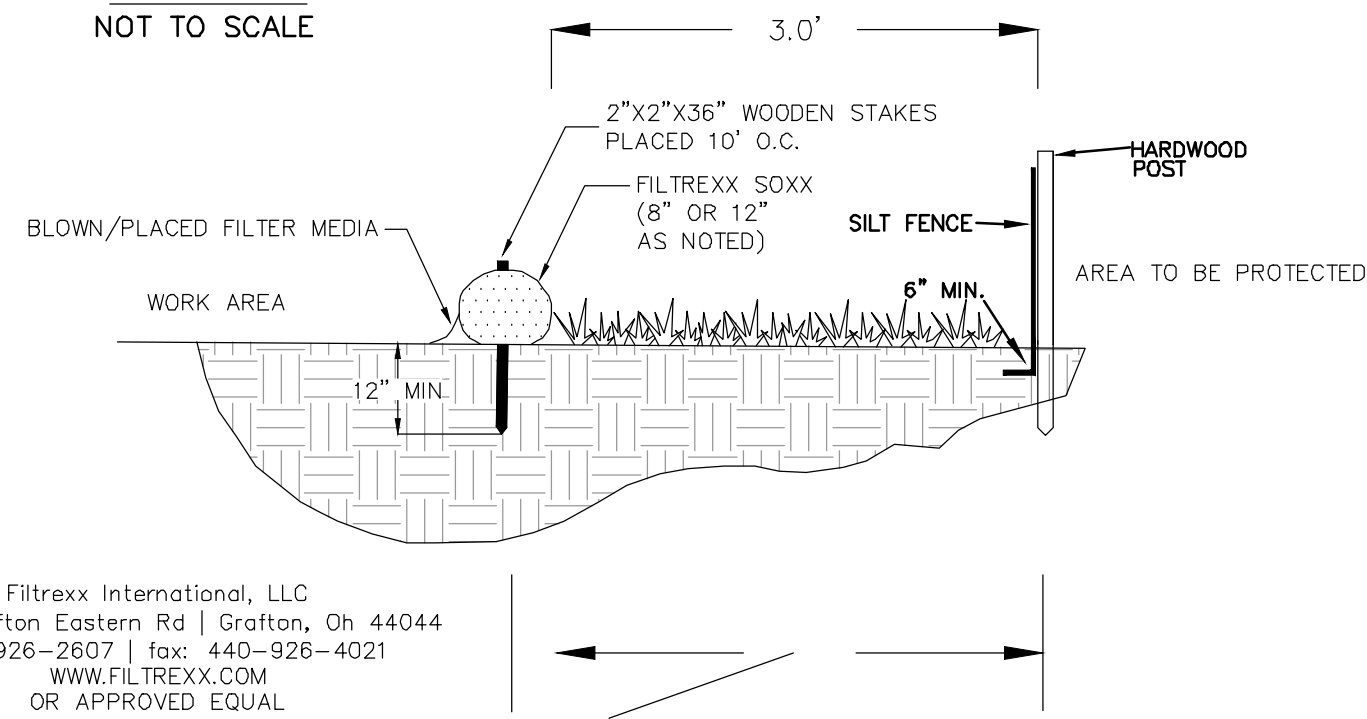
ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

BLOCK & GRAVEL DROP
INLET SEDIMENT FILTER

TO BE USED IN ALL
AREAS WHERE THERE WILL
BE NO TRAFFIC.

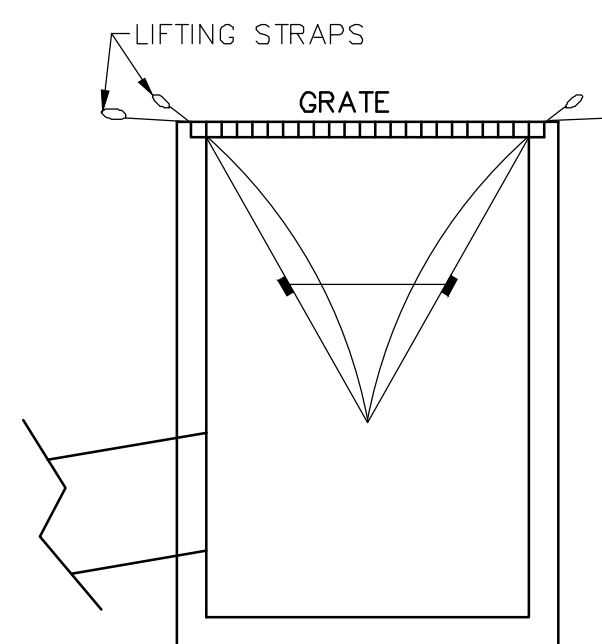
TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT
CONTROL PRACTICES, TEMPORARY STORM DRAIN INLET
PROTECTION, PAGE 118.

FILTREXX SEDIMENT
CONTROL
NOT TO SCALE



SECTION NOT TO SCALE

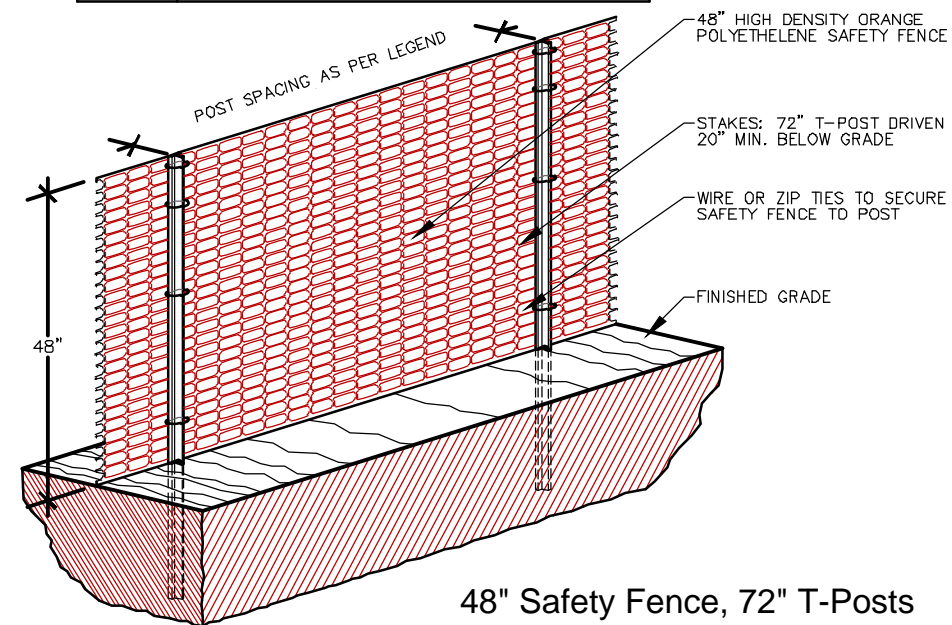
E11



SILTSACK DETAIL
NOT TO SCALE

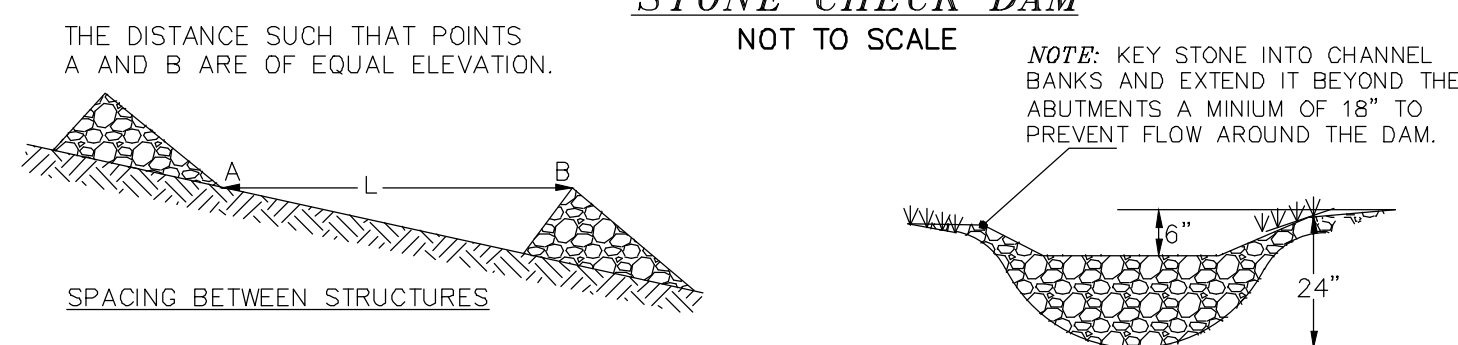
E4 CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C..
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C..
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.

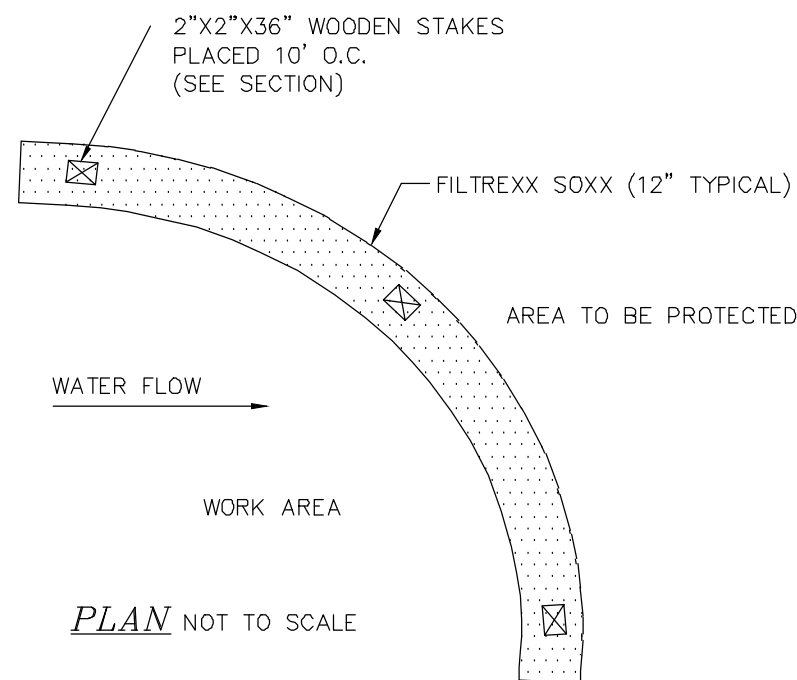


1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE REVEGETALIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 sq. ft.) WILL BE DISTURBED.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA CGP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
10. ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
 - 11.1. A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - 11.2. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
 - 11.3. EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
12. THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN (NH SWM).



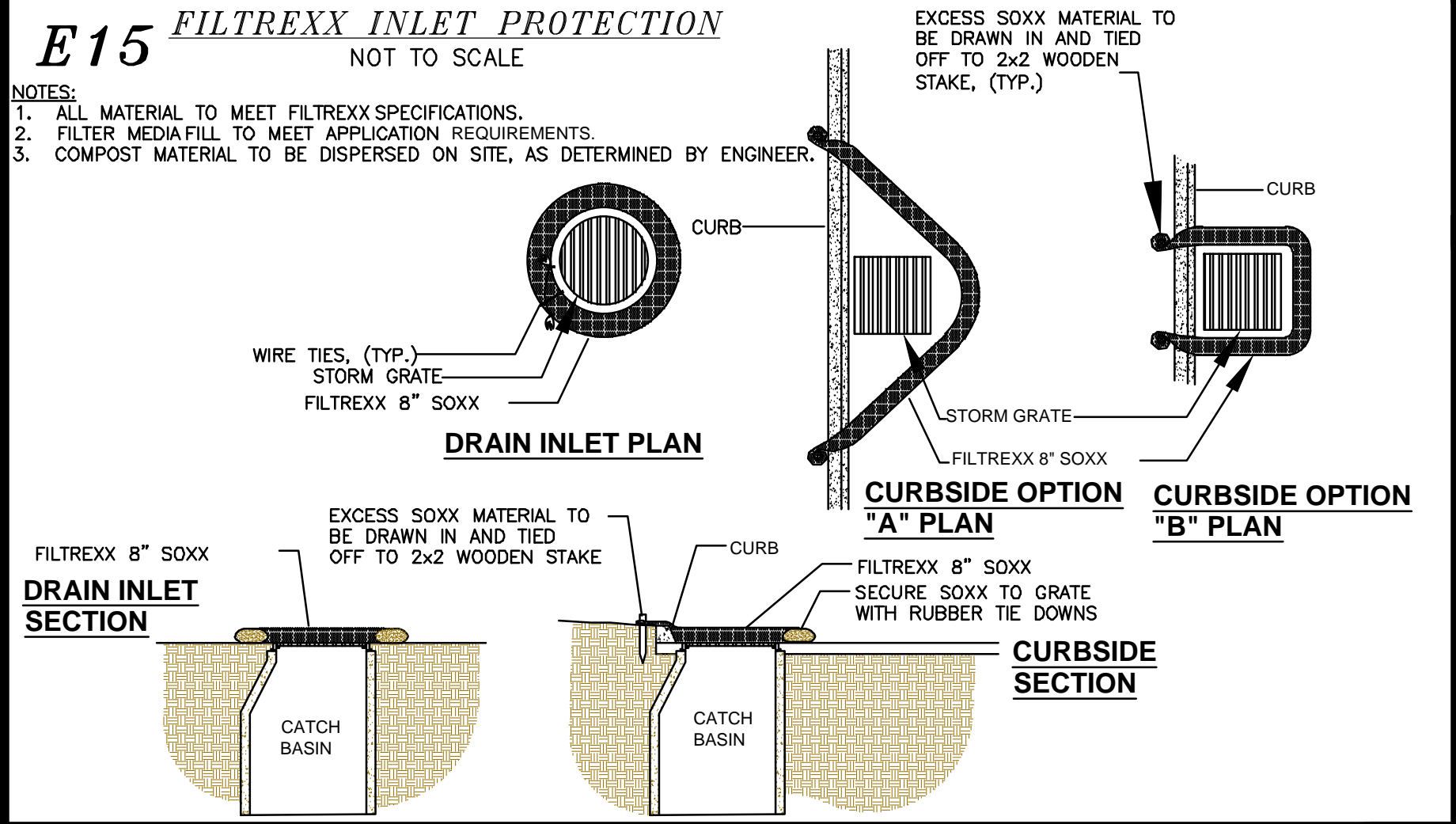
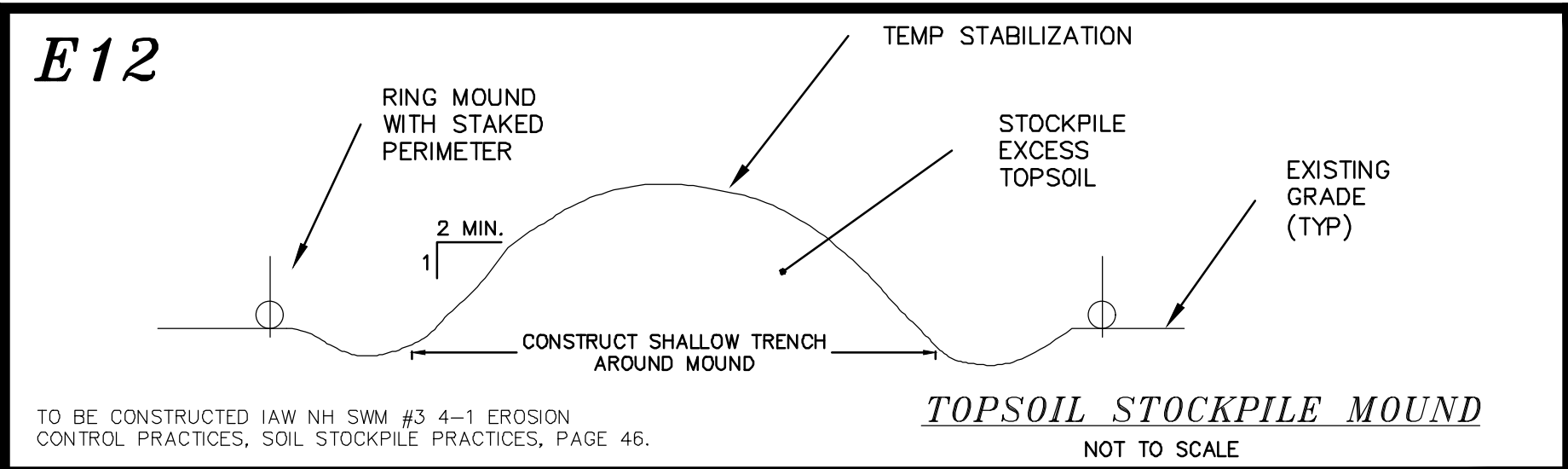
- 1.) CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- 2.) THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THEN ONE ACRE.
- 3.) THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
- 4.) THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGE.
- 5.) THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
- 6.) CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
- 7.) TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
- 8.) TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.



- NOTES**
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DETERMINED BASED ON SITE, AS DETERMINED BY ENGINEER.
 4. SILT/SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
 5. SILT/COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
 7. SILT/COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 8. SUBSTITUTION TO BE APPROVED.
 9. TO BE CONSTRUCTED IAW FILTREXX, SECTION 1: EROSION & SEDIMENT CONTROL (PAGE 323)
 10. FOR CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL

E-101

SHEET 43 OF 54



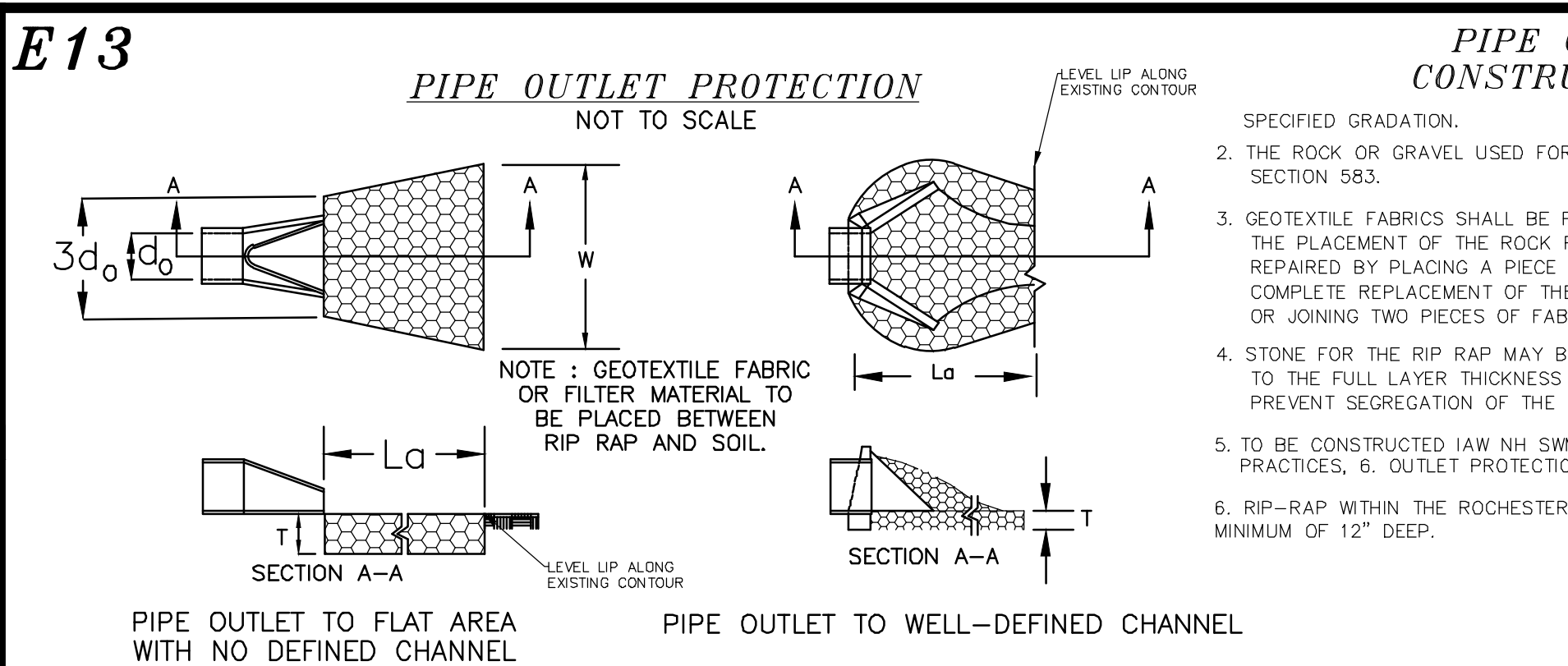
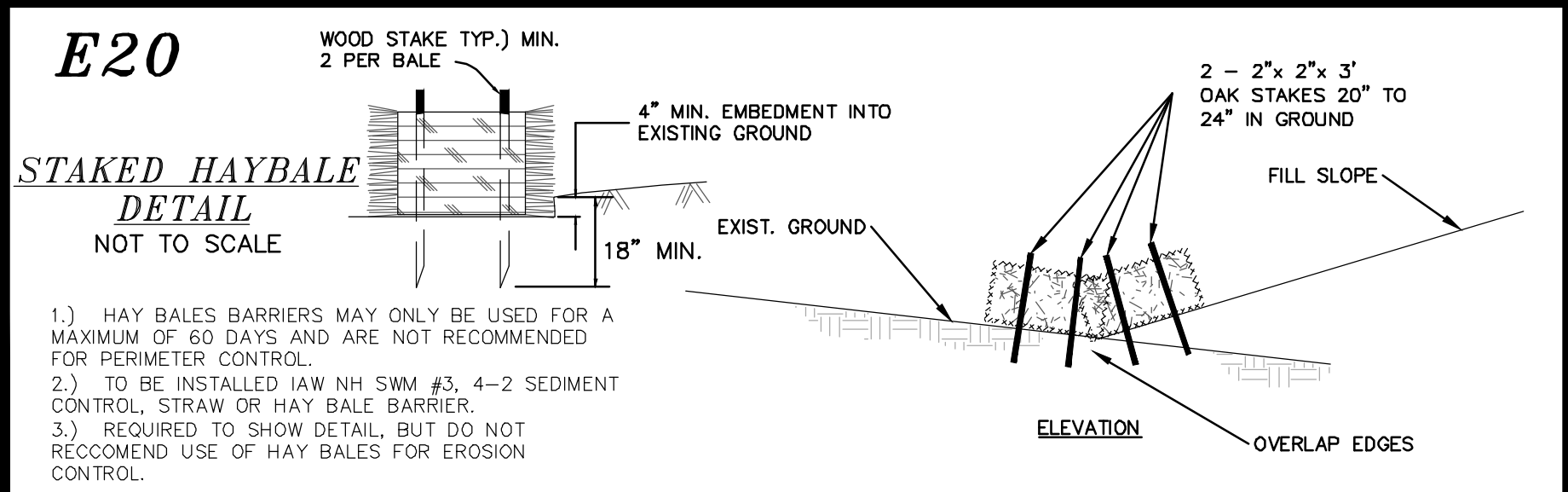
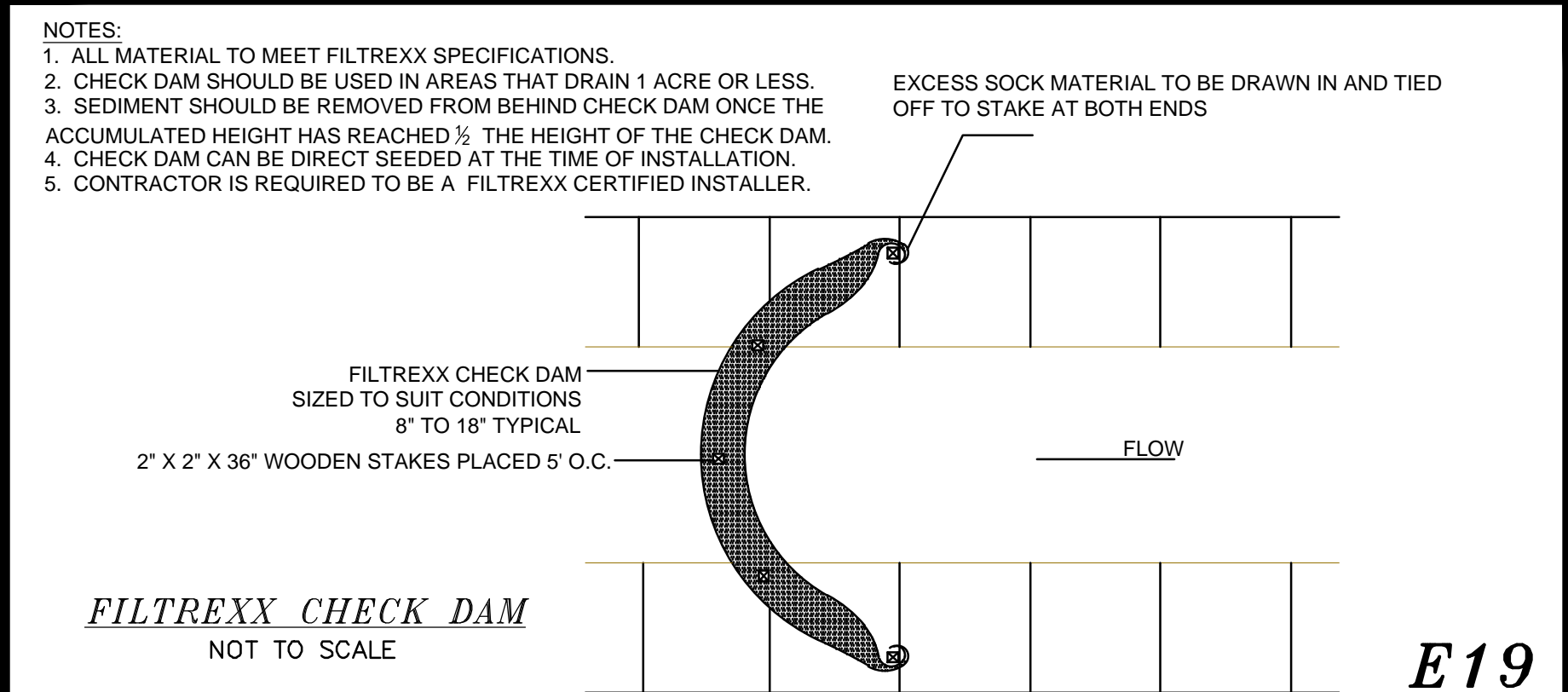
New England Conservation/Wildlife Mix

Botanical Name	Common Name	Indicator
<i>Elymus virginicus</i>	Virginia Wild Rye	FACW
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Andropogon gerardi</i>	Big Bluestem	FAC
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Sorghastrum nutans</i>	Indian Grass	UPL
<i>Panicum virginicum</i>	Switch Grass	FAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Desmodium canadense</i>	Showy Tick Trefoil	FAC
<i>Asclepias tuberosa</i>	Butterfly Milkweed	NI
<i>Rudus frondosa</i>	Beggar Ticks	FACW
<i>Equisetum purpureum (Heterostichum maculatum)</i>	Purple Joe Pye Weed	FAC
<i>Rudbeckia hirta</i>	Black Eyed Susan	FACU
<i>Aster pilosus (Symphyotrichum pilosum)</i>	Heath (or Hairy) Aster	UPL
<i>Solidago juncea</i>	Early Goldenrod	

PRICE PER LB. \$39.50 MIN. QUANTITY 2 LBS. TOTAL: \$79.00 APPLY: 25 LBS./ACRE (1750 sq ft/lb)

CONSERVATION MIX TO BE PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.

NOTE: CONSERVATION MIX TO BE USED ON ALL 2:1 SLOPES LINED WITH RECB.



E16

NOTE: Temporary seed mix for stabilization of turf shall be winter type or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
FLAT PEA TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	24	0.55
CREeping RED FESCUE	24	0.55
BIRD'S FOOT TREFOIL	24	0.55
TOTAL	48	1.65
D. TALL FESCUE	20	0.45
FLAT PEA	20	0.45
TOTAL	40	0.90
E. CREeping RED FESCUE 1/2	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	POOR	GOOD	GOOD	FAIR
	D	FAIR	FAIR	GOOD	EXCELLENT
	E	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, GOLF COURSES, UNIMPROVED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	F	FAIR	EXCELLENT	EXCELLENT	2/2
	G	FAIR	EXCELLENT	EXCELLENT	2/2

GRAVEL (TYP. SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/2 REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.

2/2 POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
2. SEEDBED PREPARATION
3. ESTABLISHING A STAND
4. MULCH
5. MAINTENANCE TO ESTABLISH A STAND

A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED.

WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.

B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING

AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE,

THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:

AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT.

NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT.

PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.

POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT.

(NOTE: THIS IS THE EQUIVALENT OF 500LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)

B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING, WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

C. REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT TREFOIL, AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.

D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.

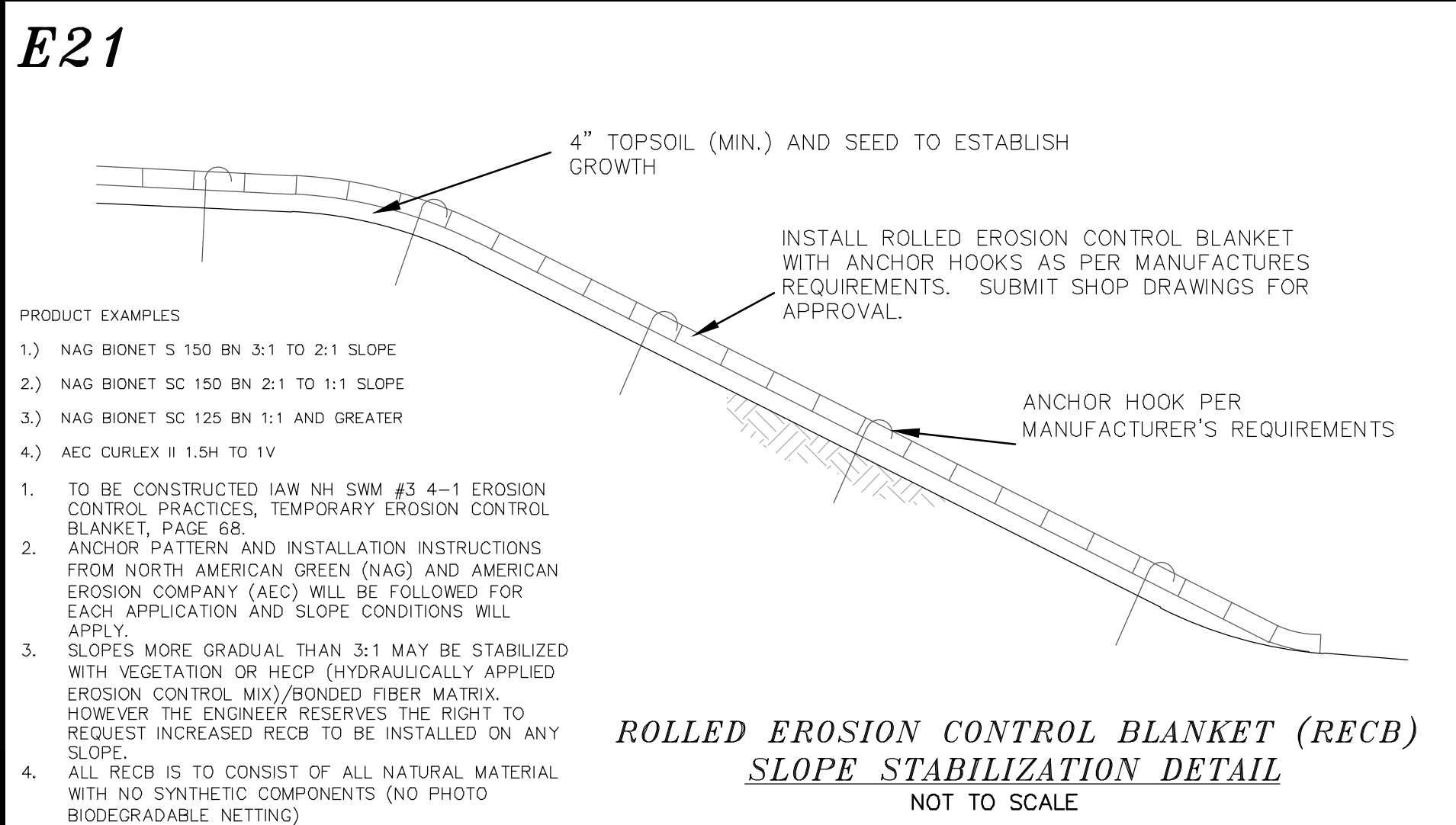
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90LBS PER 1000 S.F.

FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.

C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

D. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.

E. SEE RAIN GARDEN AND INFILTRATION DETAIL SHEETS FOR SPECIFIC PLANTING INSTRUCTIONS AND SEEDING.



PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

SPECIFIED GRADATION.

1. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 583.
2. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
3. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
4. TO BE CONSTRUCTED IAW NH SWM #2 4-6 CONVEYANCE PRACTICES, 6. OUTLET PROTECTION, PAGE 172.
5. RIP-RAP WITHIN THE ROCHESTER ROW IS TO BE PLACED A MINIMUM OF 12" DEEP.

CONSTRUCTION SEQUENCE:

- 1.) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- 2.) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
- 4.) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- 5.) CONSTRUCT TEMPORARY WATER DIVERSIONS (SWALES, BASINS, ETC.) AS NEEDED UNTIL SITE IS STABILIZED.
- 6.) ALL SWALES ARE TO BE INSTALLED PRIOR TO ROUGH GRADING OF THE SITE. TEMPORARY WATER DIVERSION (SWALES, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS ARE STABILIZED.
- 7.) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY.
- 8.) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. ANY AREA DISTURBED BY CONSTRUCTION WILL BE RE-STABILIZED WITHIN 45 DAYS (ENV-WQ 1504.16) AND ADJUTING PROPERTIES WILL NOT BE ADVERSELY AFFECTED BY THIS DEVELOPMENT. ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM. IAW EPA 2022 CGP 2.2.14, SITE STABILIZATION WILL BE INITIATED IMMEDIATELY IN ANY AREAS OF EXPOSED SOIL WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WILL BE TEMPORARILY INACTIVE FOR 14 OR MORE CALENDAR DAYS. THE INSTALLATION OF STABILIZATION WILL BE COMPLETED AS SOON AS PRACTICABLE BUT NO LATER THAN 14 CALENDAR DAYS. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES.
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- 12.) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 13.) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- 14.) SMOOTH AND REVEGETATE ALL DISTURBED AREAS. STABILIZATION SHOULD OCCUR WITHIN 14 DAYS OF REMOVING TEMPORARY MEASURES.
- 15.) FINISH PAVING ALL ROADWAYS.

E17

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- 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
- 4.) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- 5.) CONSTRUCT TEMPORARY WATER DIVERSIONS (SWALES, BASINS, ETC.) AS NEEDED UNTIL SITE IS STABILIZED.
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- 15.) FINISH PAVING ALL ROADWAYS.

E18 DEFINITION OF STABLE:

PER ENV-WQ 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED..
3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E22

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL.). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.
5. ENV-WQ 1505.06 COLD WEATHER SITE STABILIZATION (B)(1) LIMITS AREA OF EXPOSURE TO ONE ACRE OF UNSTABILIZED SOIL WITHOUT OBTAINING A WAIVER AND WINTER CONSTRUCTION PLAN.

E14

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

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E19

FILTREXX CHECK DAM

NOT TO SCALE

E20

STAKED HAYBALE DETAIL

NOT TO SCALE

E21

ROLLED EROSION CONTROL BLANKET (RECB) SLOPE STABILIZATION DETAIL

NOT TO SCALE

E22

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E-102

SHEET 44 OF 54

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : AS NOTED

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

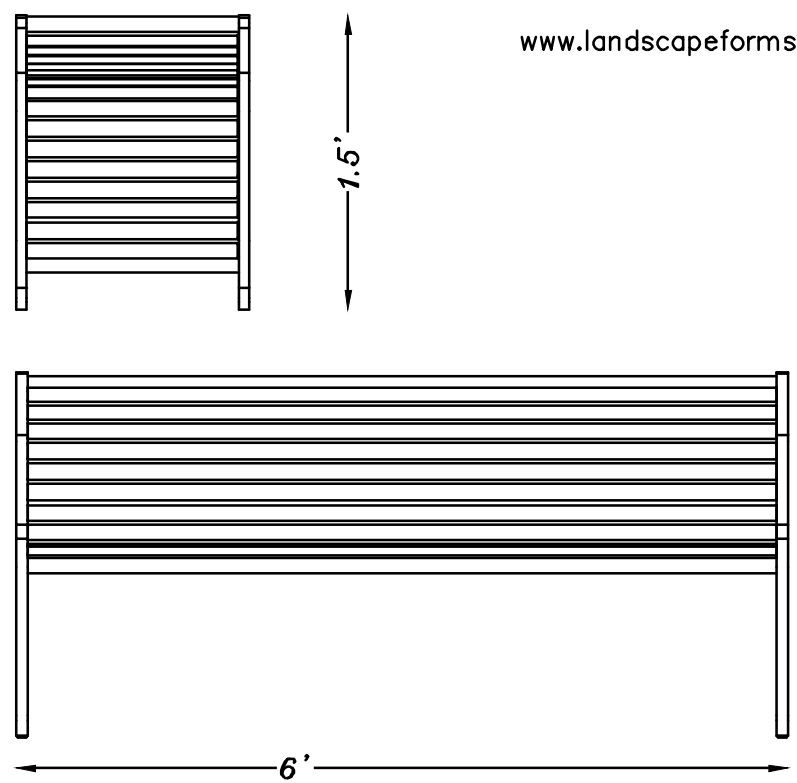
REGISTERED PROFESSIONAL ENGINEER

ScarboroughTM Bench, 24" Backed, with Horizontal Strap Seat
Product Drawing

ScarboroughTM Bench, 24" Backed, with Horizontal Strap Seat

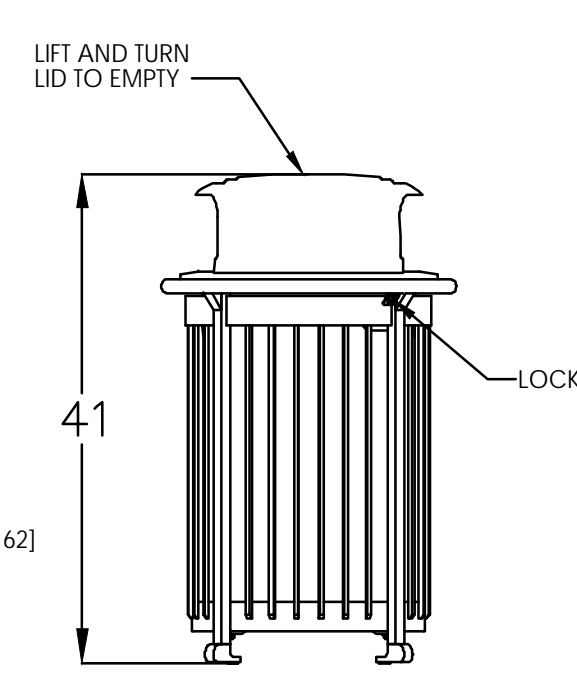
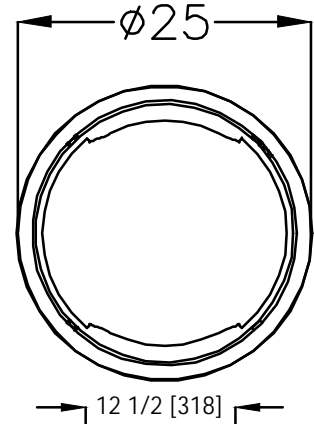
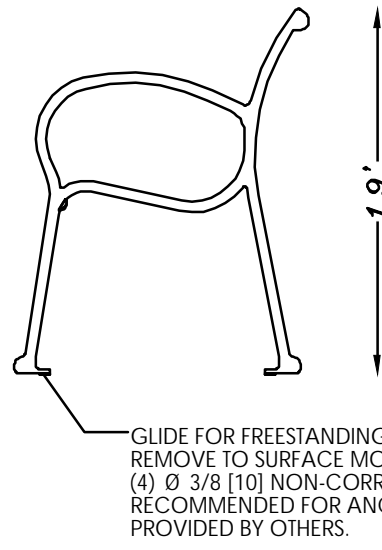
www.landscapeforms.com

Date: 5/19/2010
Ph: 800.521.2546

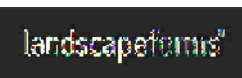


ScarboroughTM Bench, 24" Backed, with Horizontal Strap Seat

BENCH DETAIL
(NOT TO SCALE)



BIN DETAIL
(NOT TO SCALE)



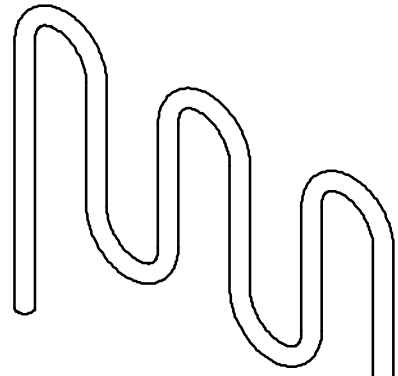
Drawing: SC173-02
Dimensions are in inches [mm]

C10

C11

MATERIALS LIST

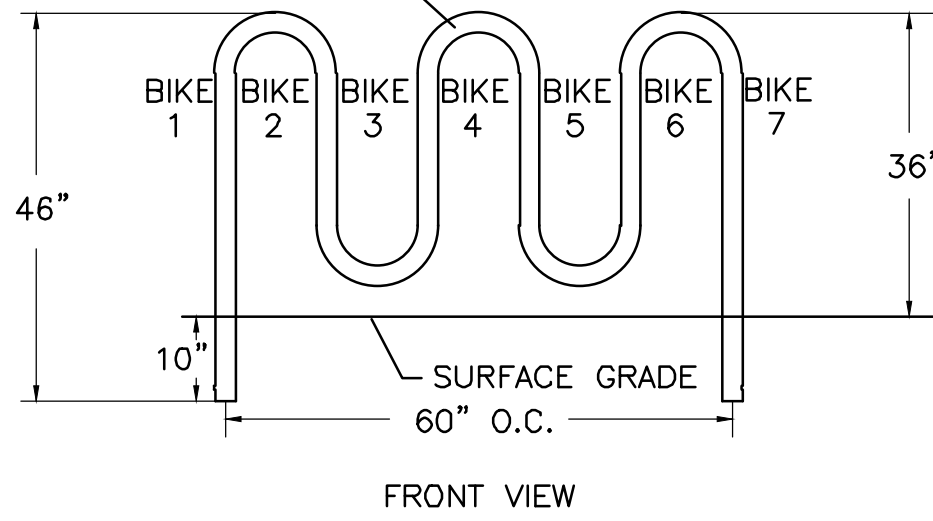
(1) TUBING – ϕ 2 3/8" x .154" Wall Steel Tubing



BIKE RACK
(NOT TO SCALE)

RIGHT SIDE VIEW

TOP VIEW



3/4" X 8' DRIVEN
GROUND ROD WITH
#8 CU. GROUND

C12

REQUIRED BLASTING AND EXCAVATION NOTES:

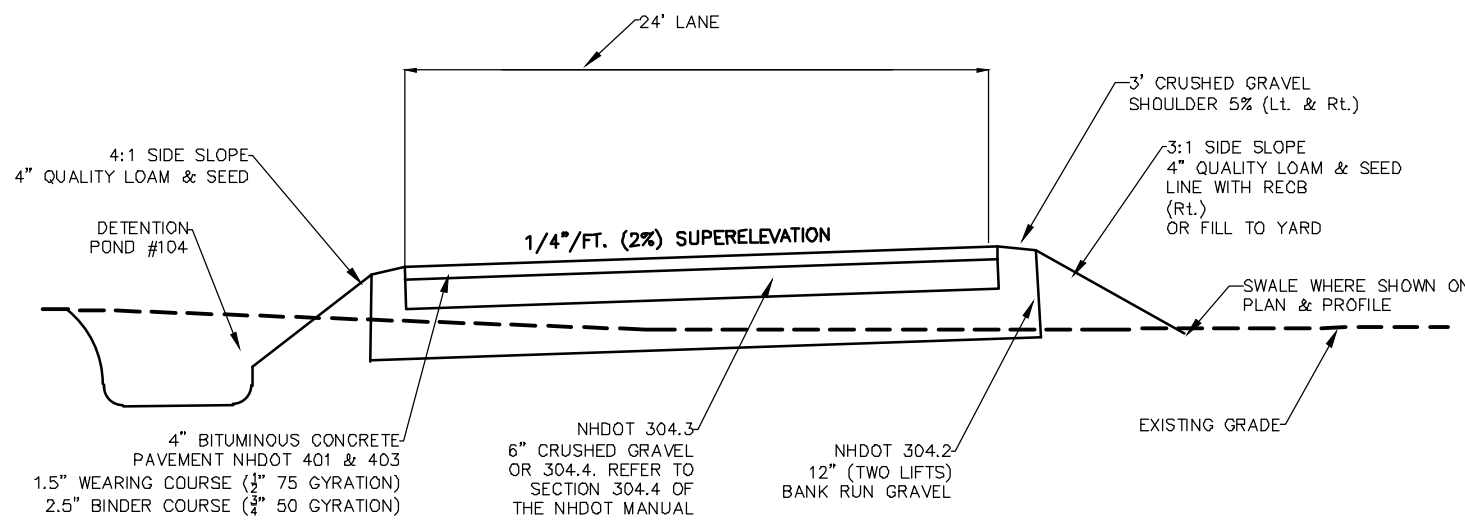
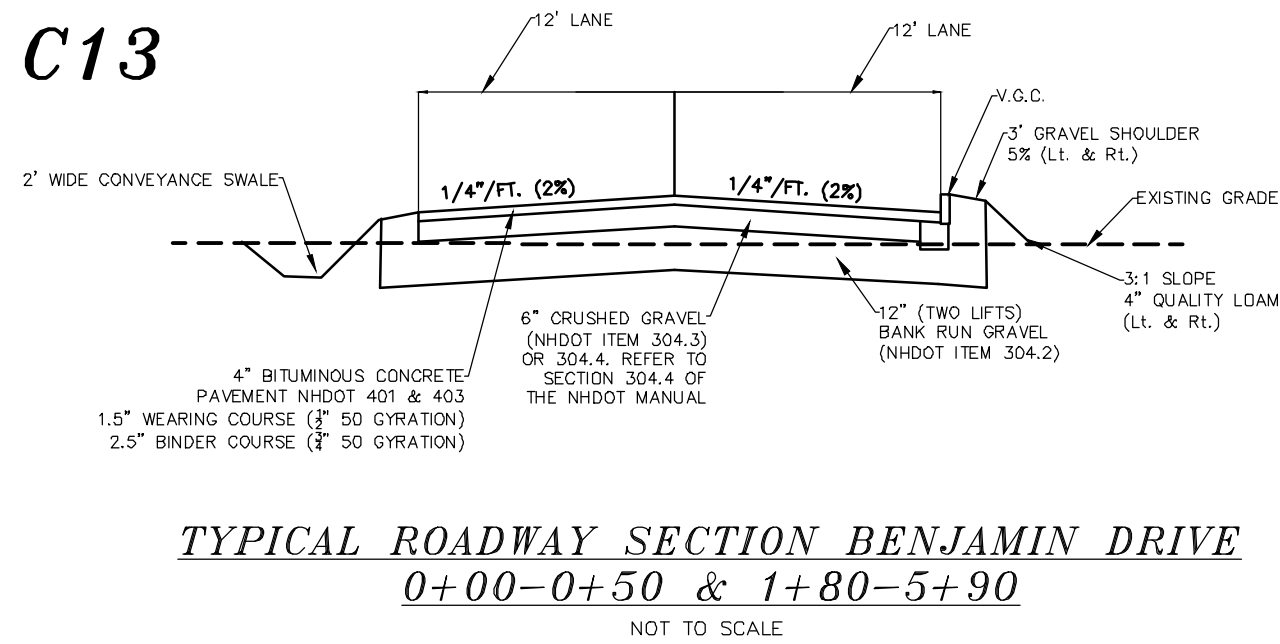
BEST MANAGEMENT PRACTICES FOR BLASTING. ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.

- LOADING PRACTICES. THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
 - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFFSITE DISPOSAL.
 - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF SITE DISPOSAL.
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
 - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
- EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
- PREVENTION OF MISFIRES: APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
- MUCK PILE MANAGEMENT: MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
 - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
- SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
 - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
 - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
 - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
 - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
 - INSPECT STORAGE AREAS WEEKLY.
 - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
 - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
 - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
 - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
 - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
 - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
 - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
- THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
- FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF NHDES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6: "BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT" OR ITS SUCCESSOR DOCUMENT.

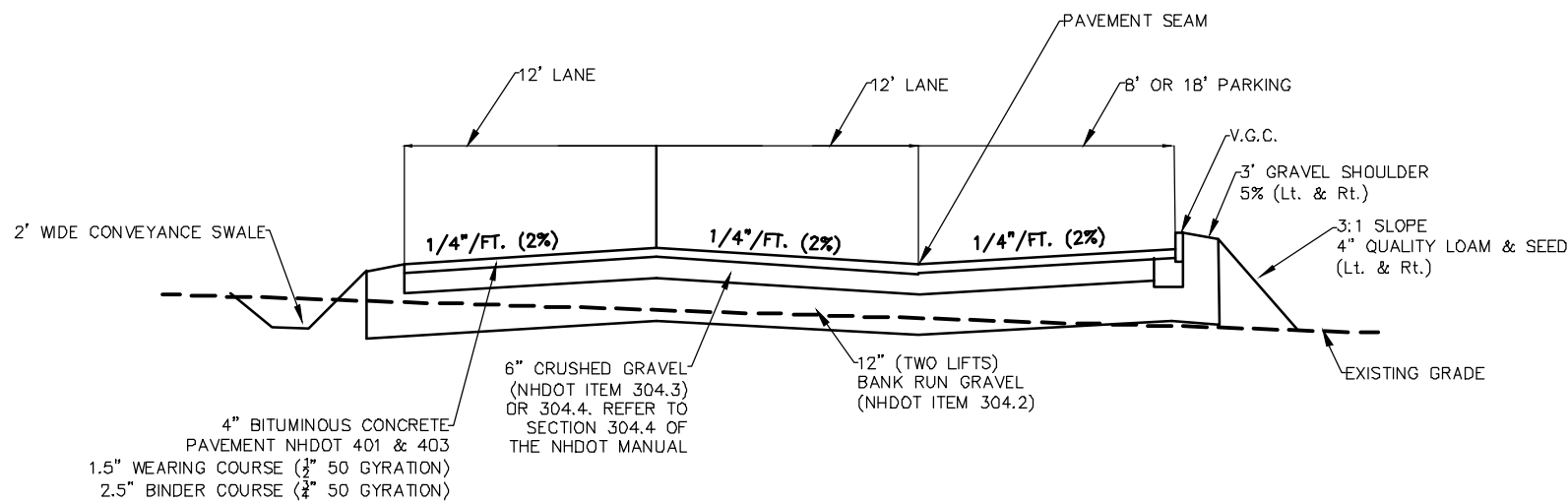
LOCAL DOVER NOTES:

THE DOVER FIRE DEPARTMENT SHALL BE NOTIFIED PRIOR TO ANY BLASTING ACTIVITIES AND A BLASTING PERMIT FROM THE DOVER FIRE DEPARTMENT MUST BE OBTAINED.

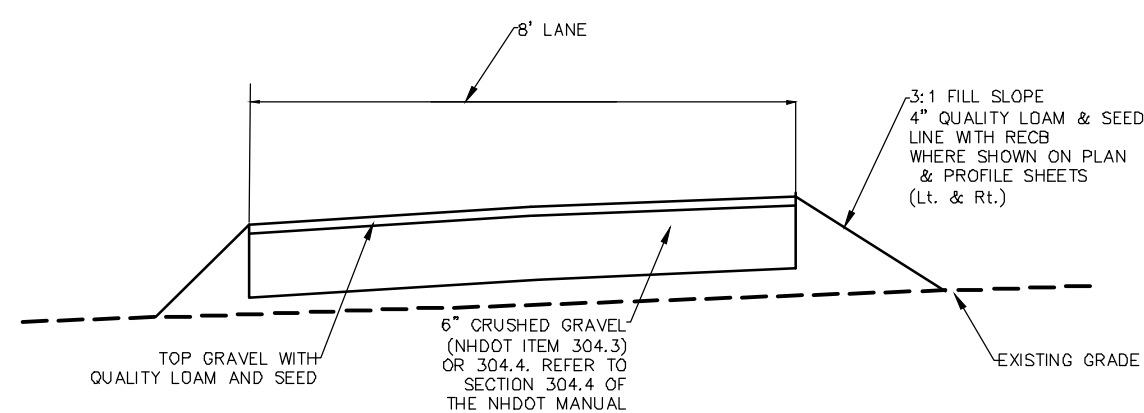
C13



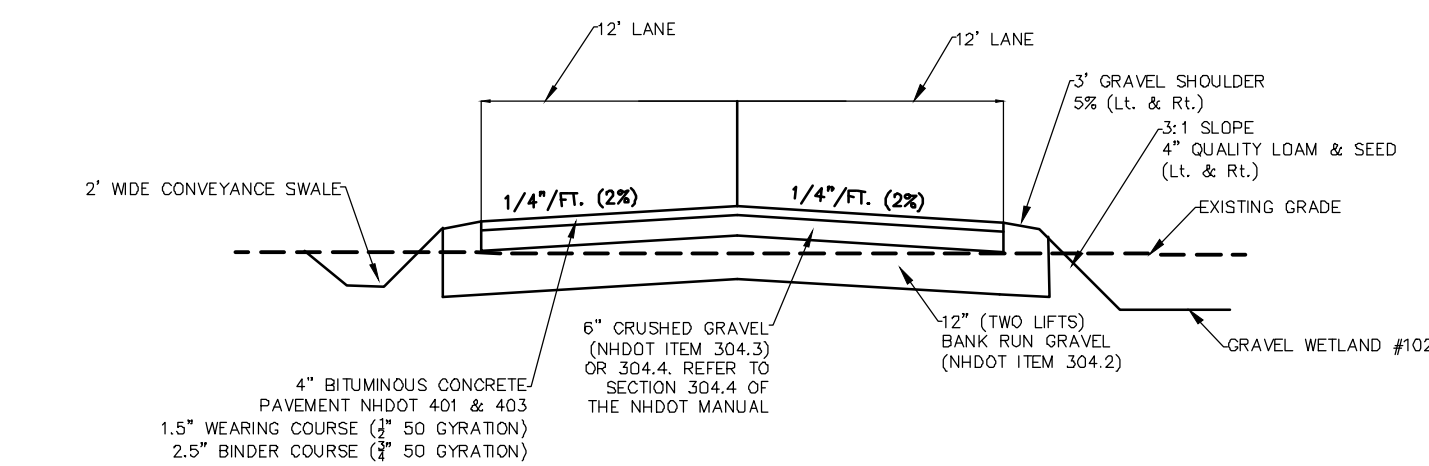
TYPICAL ROADWAY SECTION BENJAMIN DRIVE
6+75-10+75
6+20-6+75 & 10+75-11+46 ARE
TRANSITION BETWEEN CROWN AND
SUPERELEVATION
NOT TO SCALE



TYPICAL ROADWAY SECTION BENJAMIN DRIVE
0+50-1+80
NOT TO SCALE



TYPICAL ACCESS TRAIL SECTION
NOT TO SCALE



TYPICAL ROADWAY SECTION BENJAMIN DRIVE
5+90-6+20
NOT TO SCALE

CROSS SECTION NOTES

- ALL ROADWAY FILL TO BRING ROAD TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
- ALL FILL SHALL BE COMPACTED UNTIL 95% MAXIMUM DRY DENSITY IS ACHIEVED IN ACCORDANCE WITH AASHTO 199. COMPACTION TESTS TO BE CONDUCTED AT THE START OF THE PROJECT AND NO FURTHER THAN 100 FEET APART.
- TEST FITTING WAS DONE WITHIN THE ROADWAY ALIGNMENT BY JOHN P. HAYES III, CSS, CWS, AND NO UNSUITABLE MATERIALS WERE ENCOUNTERED IN THOSE TEST PITS. LEDGE REMOVAL (HAMMERING OR SHALLOW DEPTH BLASTING WILL BE REQUIRED) MATERIALS CAN BE CRUSHED AND USED ON SITE.
- ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ROAD BED. THE ROAD BED IS DEFINED AS THE LIMITS OF THE ROADWAY INCLUDING THE ARE ONE (1) FOOT BEYOND THE SHOULDERS, DITCHES, OR TOE OF FILL SLOPE.

COMPACTED SUBGRADE – CONTRACTOR SHALL SCARIFY SUBGRADE TO A DEPTH OF 30 INCHES BELOW F-GRADE. ALL STONES GREATER THAN 6" IN DIAMETER SHALL BE REMOVED FROM THE SCARIFIED LAYER. ANY IMPORTED FILL SHALL BE FREE OF ORGANICS AND FROST AND SHALL HAVE NO ROCKS LARGER THAN 6" IN DIAMETER. FILL MATERIAL SHALL BE APPROVED BY THE CITIES AGENT AND/OR THE CITIES ENGINEER.

DESCRIPTION	
REVISION	DATE

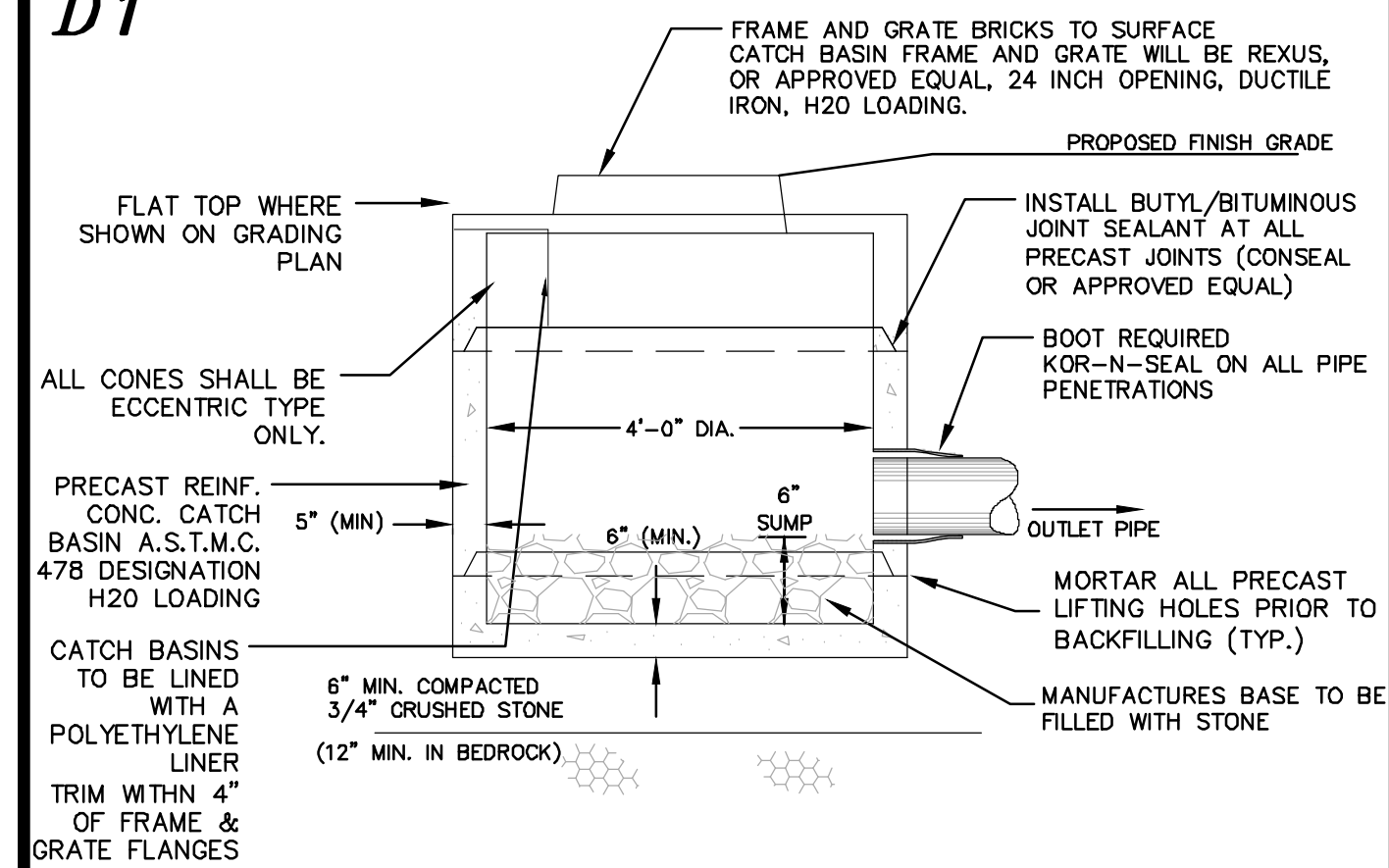
CONSTRUCTION DETAILS
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: OCTOBER 20, 2023
FILE NO.: DB 2021-132

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 4243
LICENSED PROFESSIONAL ENGINEER

C-102

D 1



D2

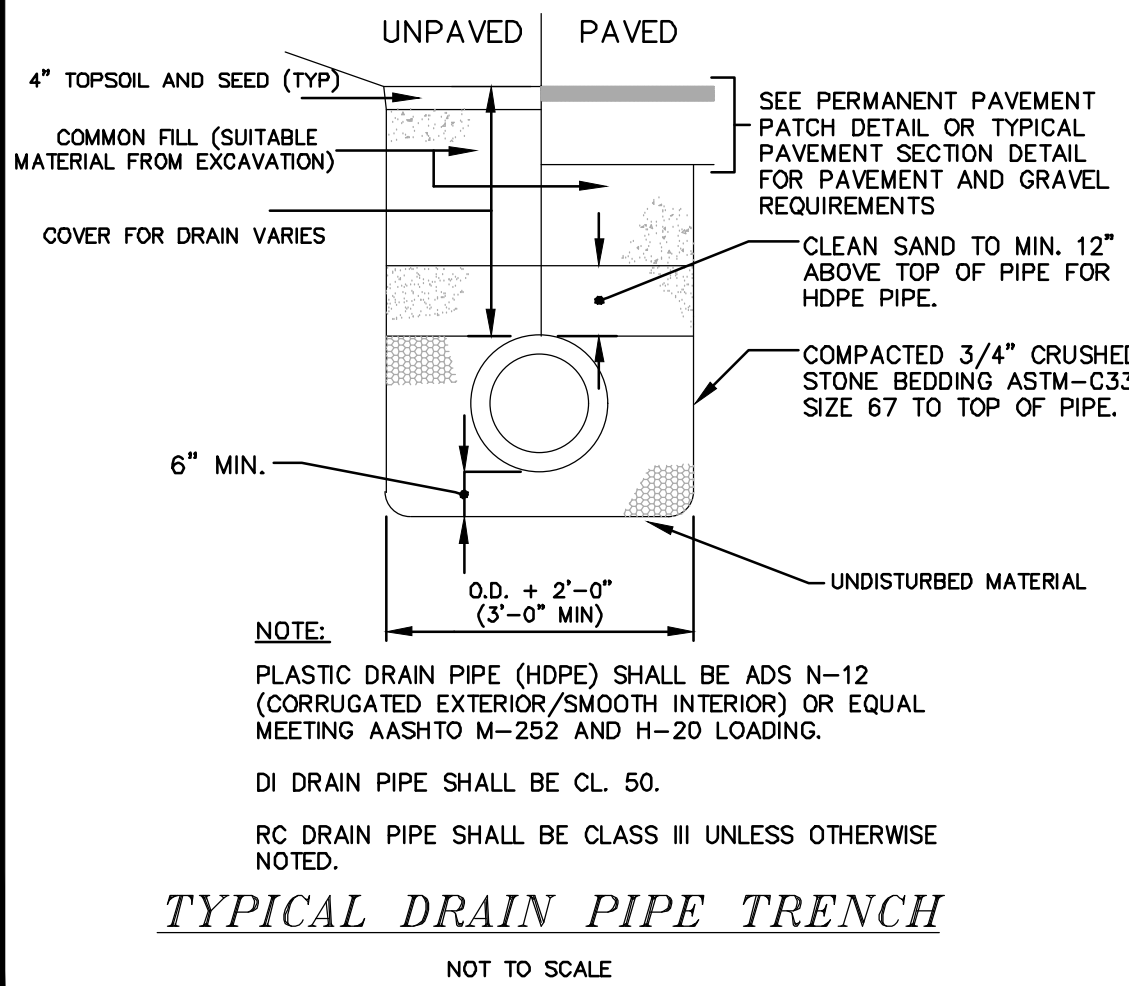


Manhole Castings L-1

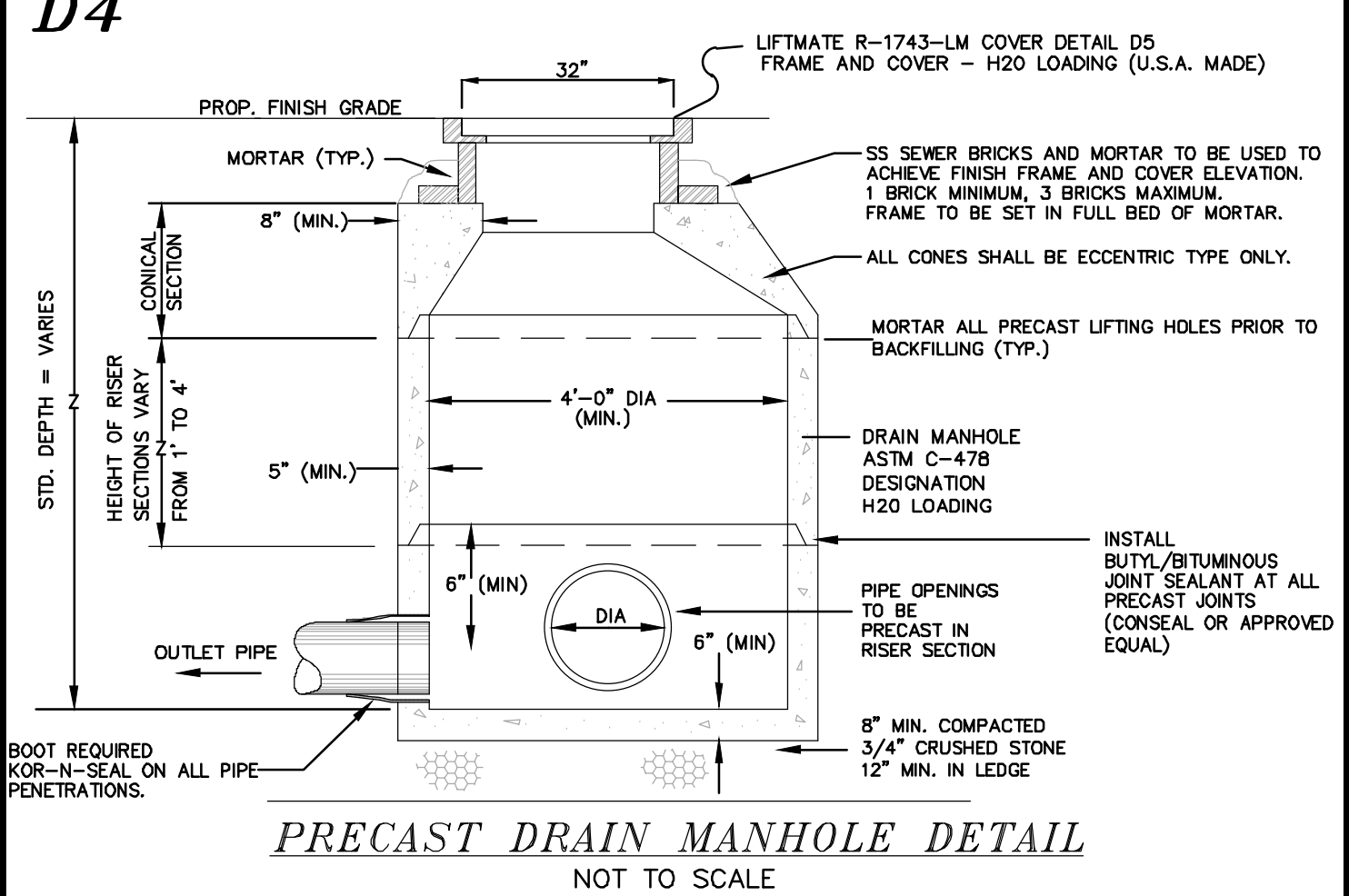
**Rexus
Ductile Iron
Frame & Cover**



D3



D4



D5

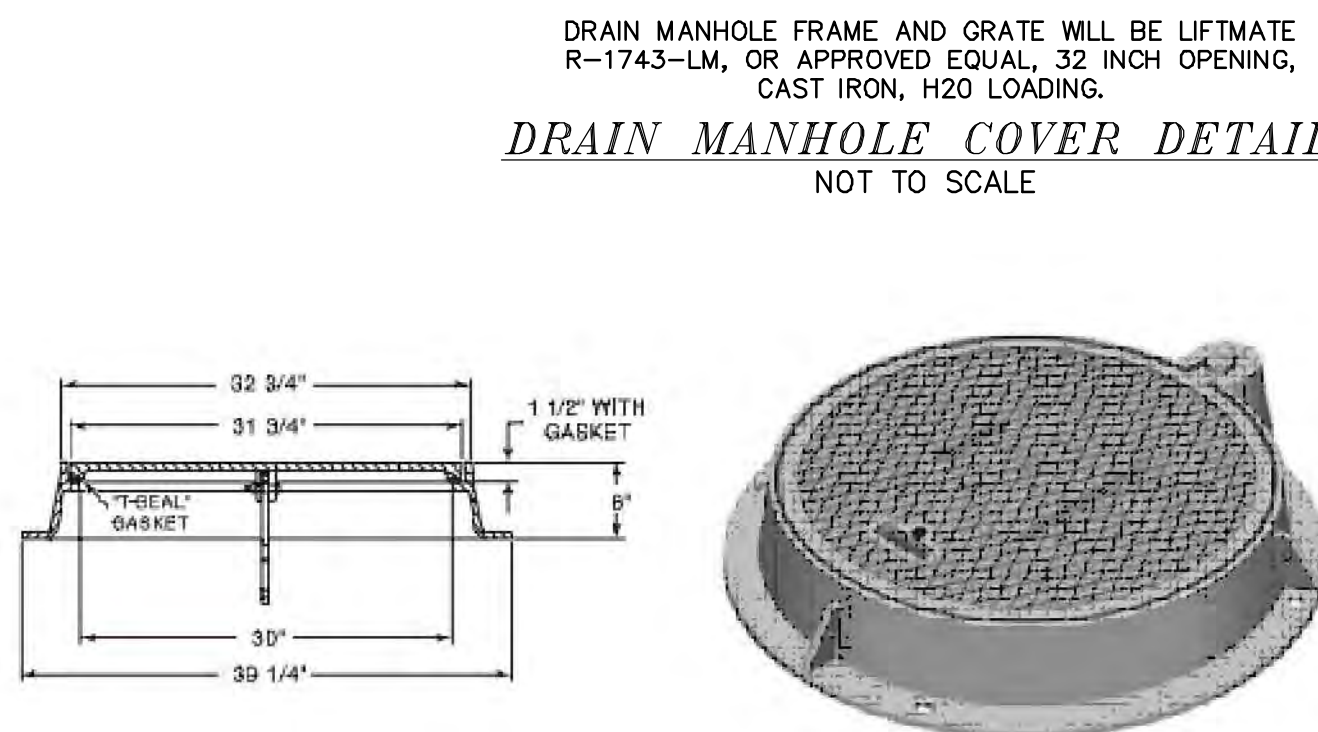
R-1743-LM
LiftMate Frame,
Solid Gasketed Lid

Heavy Duty

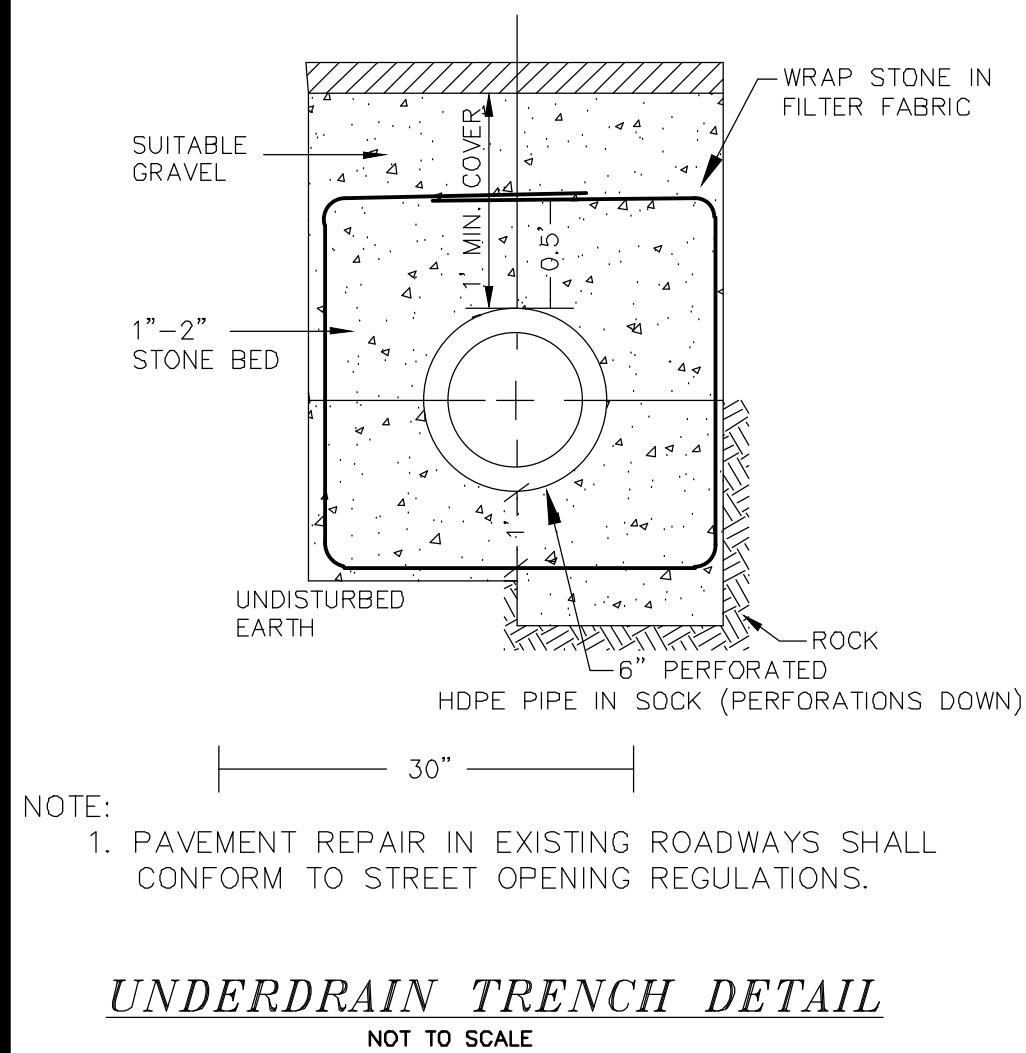
Furnished with four 1" anchor holes on 36-7/8" diameter bolt circle.

Hinge plug available for self-seal application.

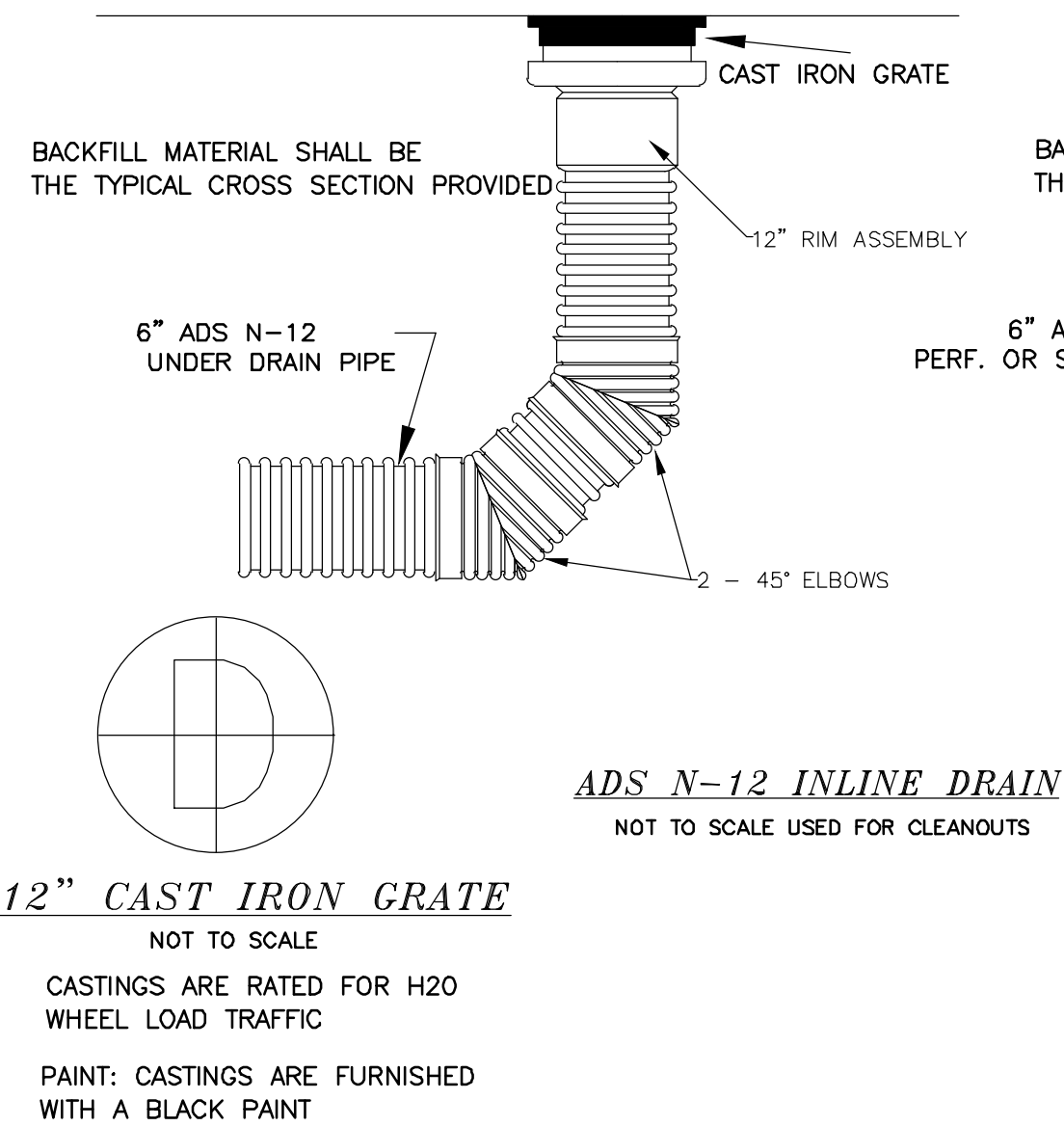
See p. 13 for LiftMate information.



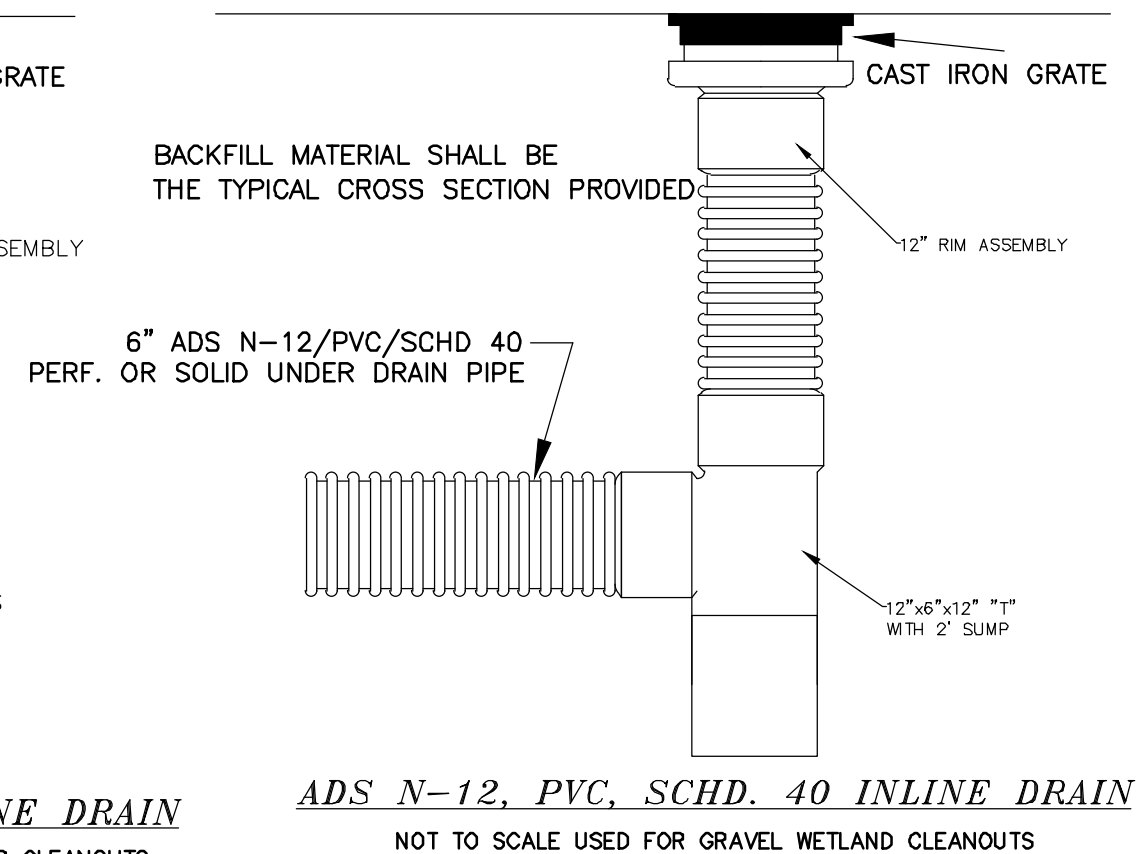
D6



D7A



D7B



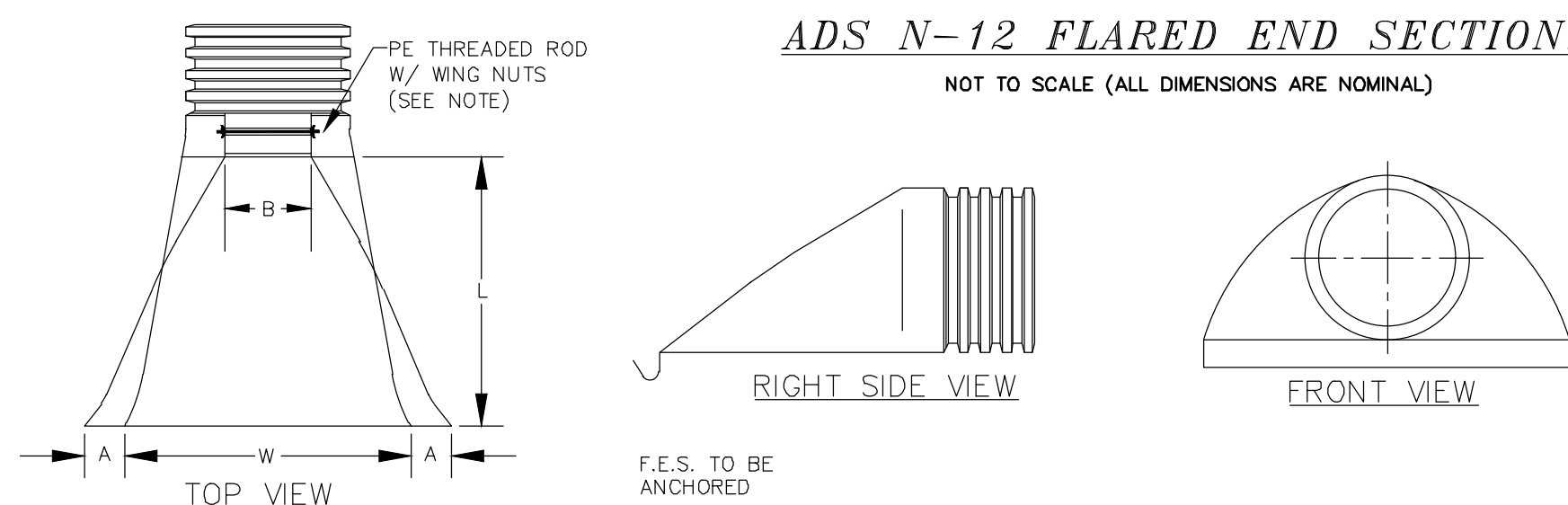
D9

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15" 375 mm	6.5" 165 mm	10" 254 mm	6.5" 165 mm	25" 635 mm	29" 735 mm
1810-NP	18" 450 mm	7.5" 190 mm	15" 380 mm	6.5" 165 mm	32" 812 mm	35" 890 mm
2410-NP	24" 600 mm	7.5" 190 mm	18" 450 mm	6.5" 165 mm	36" 900 mm	45" 1140 mm
3010-NP	30" 750 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm
3610-NP	36" 900 mm	10.5" 266 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm

NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24".
30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S
RECOMMENDATIONS.

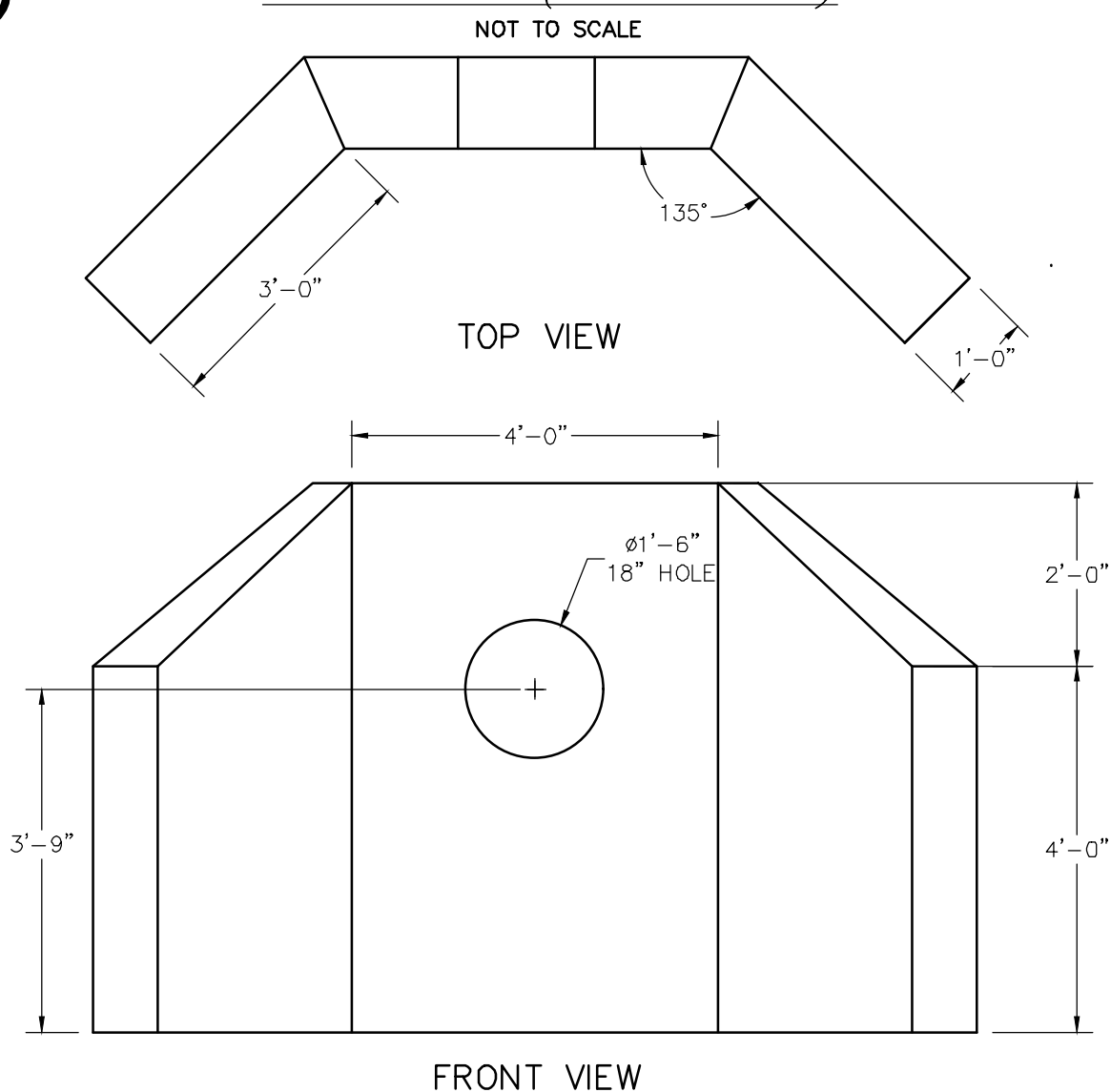
ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



D10

HEADWALL (CONCRETE)

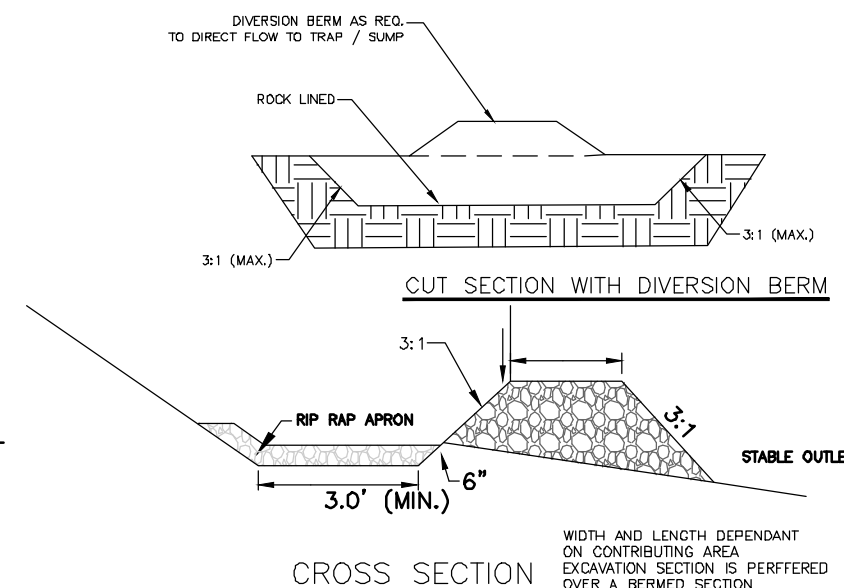


ALL HEADWALLS
WILL BE
PRE-CAST WITH
STRUCTURAL
CALCULATIONS
AVAILABLE FOR
REVIEW

NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.

D 1 1

1. TRAP TO BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE FILLED TO AT LEAST 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.



SIEVE DESIGNATION	SIZE OF STONE (INCHES)
100%	12
84-100%	6
68-83%	3
42-55%	1
8-12%	NO. 4

REFERENCE IS MADE TO A
LONG TERM MAINTENANCE
MANUAL PREPARED BY BERRY
SURVEYING & ENGINEERING,
WHICH IS ON FILE AT THE
CITY OF ROCHESTER
PLANNING DEPARTMENT, AND
CAN BE FOUND AT THE
OFFICE OF BERRY SURVEYING
& ENGINEERING. (603)
332-2863

D-101

DRAINAGE CONSTRUCTION DETAILS

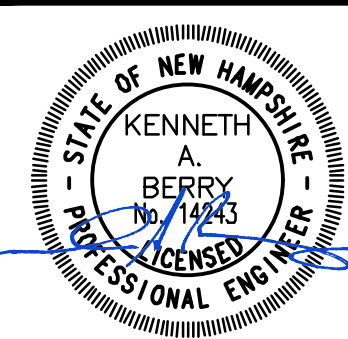
LAND OF
 RBV REALTY LLC
 324 BLACKWATER RD
 ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON NH 03825 (603) 332-2888

SCALE : AS NOTED

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132



SHEET 47 OF 54

D12

ANGLE GRATE
NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Angle Grates For Manholes



AG0808-58
Part No. AG0808-58

Save Trees

Angle Grates are designed to cover inlet orifices and prevent small to medium debris from passing through. The top angled design helps to minimize the amount of debris that settles on top after the water recedes. All grates are made from plate for a clean and smooth contact surface.

- Plate design for a clean appearance
- Standard 2" openings (other sizes can be made)
- Angled top/front plate to maximize debris deflection
- Mounting flanges on 3 sides allows grate to be mounted at floor level inverts
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D13

CONE GRATE
NOT TO SCALE

NOTE:
MUST BE HAALA INDUSTRIES INC.
OR EQUAL.

Cone Grates Top Mount



CG12TM
Part No. CG12TM

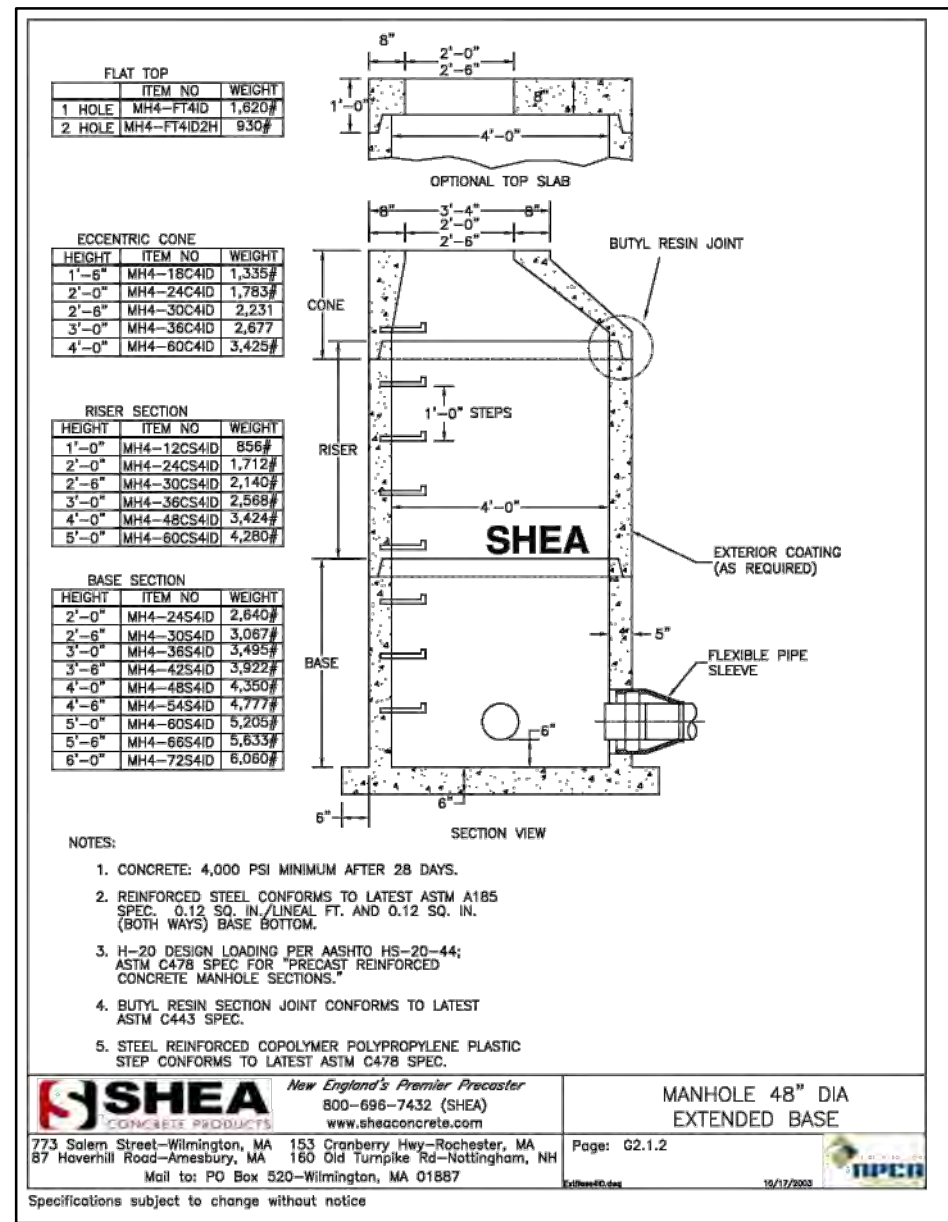
Save Trees

Top Mount Cone Grates are designed to mount on the top of round manhole inlet or outlet structures to keep debris from entering the storm water system. Top mount cone grates are easy to install and allow for at grade manhole installations but can be used in a variety of applications. Grates 96" and larger are made as a two piece, bolt together design.

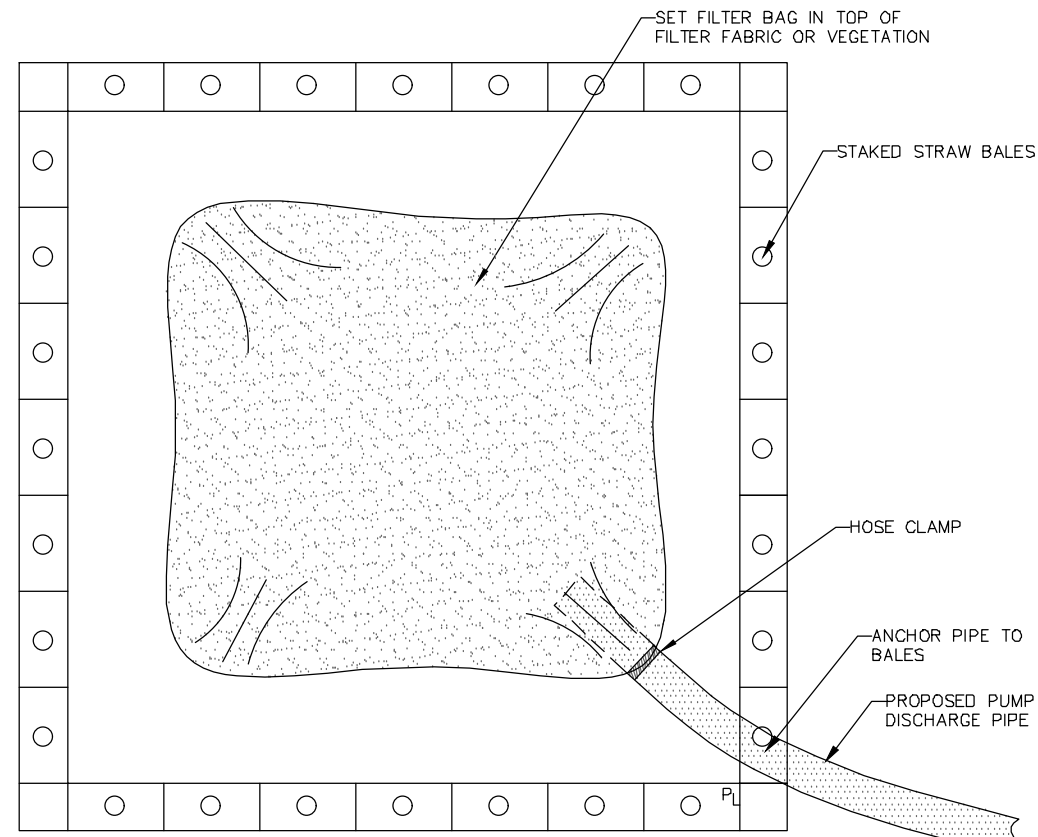
- Plate and bar hybrid design is both clean and cost effective
- Made from 1/2" plate with 3/4" or 1" round bars depending on grate size
- Anti vortex plate can be added upon request
- Hinged and lockable access doors can be added upon request
- Galvanized steel construction. Can be made from aluminum or stainless steel.

D14

48" MANHOLE ROUND EXTENDED BASE
NOT TO SCALE



D15



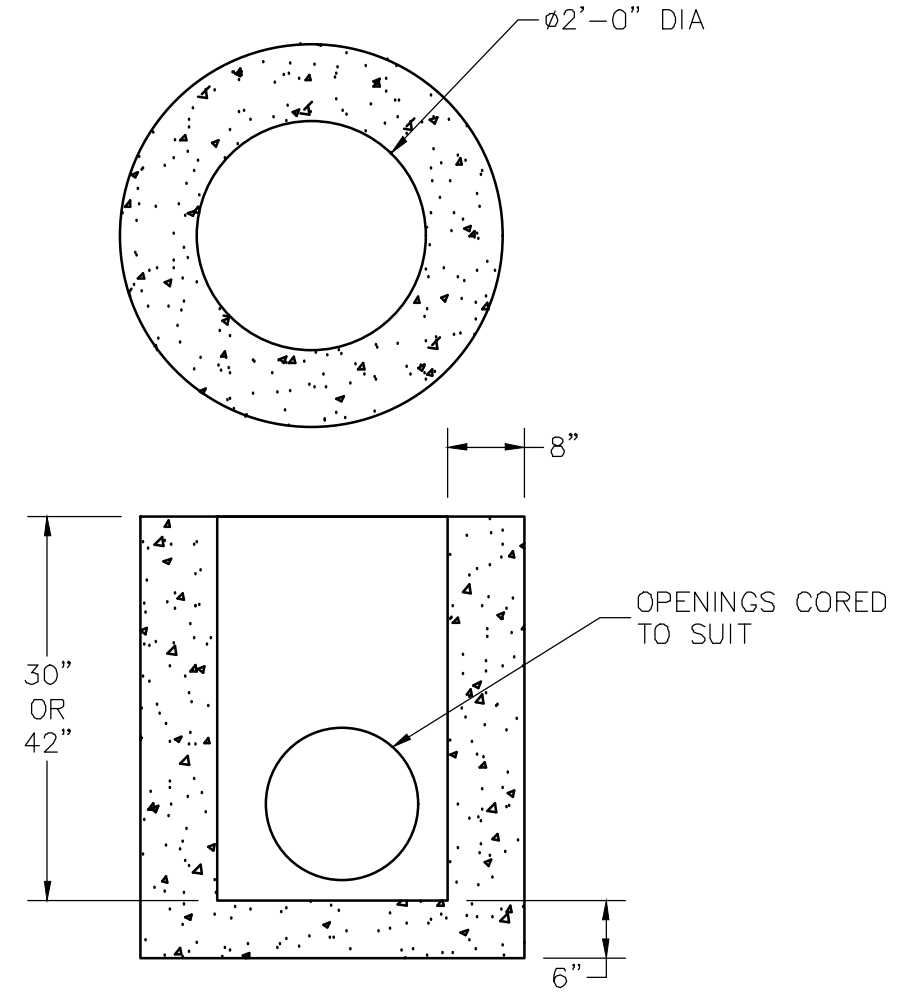
NOTES:

- 1.) ENSURE DISCHARGE POINT IS STABILIZED WITH VEGETATION OR PROPER EROSION AND SEDIMENT CONTROL PRACTICES.
- 2.) USE DIFFUSER NOZZLE OR LOW DISCHARGE RATE TO PREVENT SCOURING.
- 3.) TO BE PLACED AT AN UPLAND LOCATION THAT WILL ALLOW WATER TO DRAIN INTO THE GROUND.
- 4.) SIZE OF DE-WATERING AREA TO BE 10' X 10', ADJUST SIZE DEPENDING ON VOLUME AND USE.
- 5.) ADDITIONAL BALES MAY BE USED TO INCREASE RETENTION AND FILTERING.

DE-WATERING BASIN

NOT TO SCALE

D16



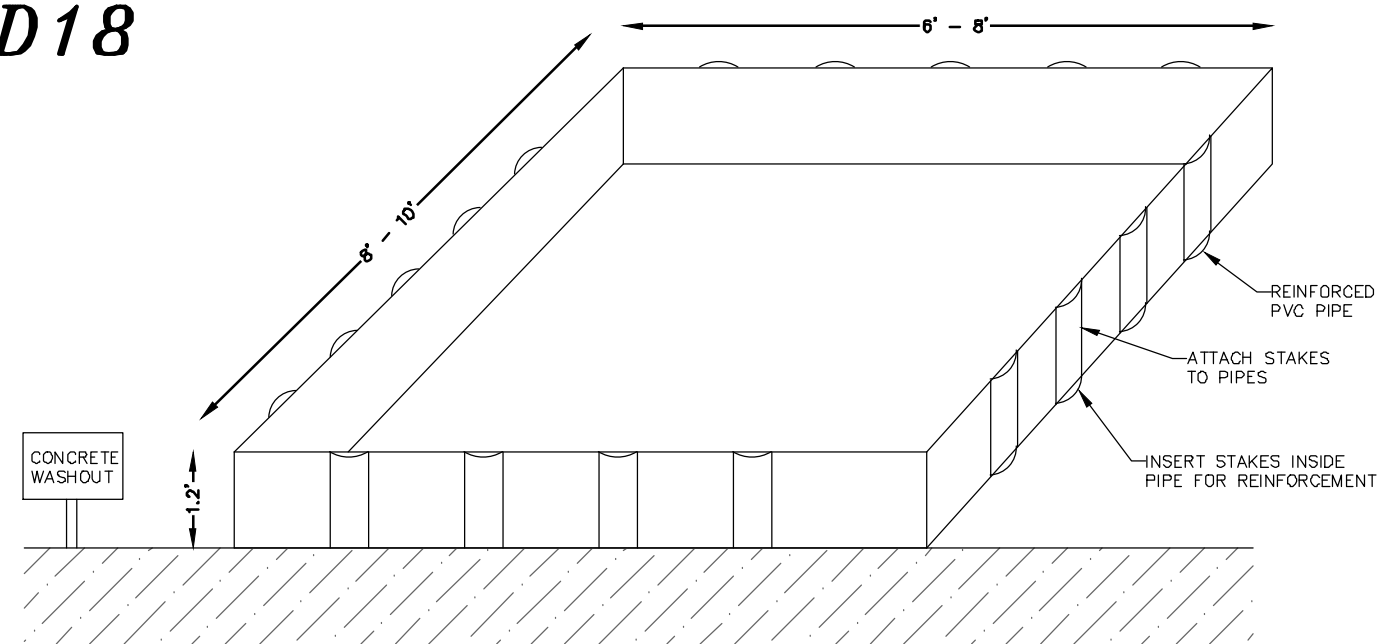
NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FEET COVER.

30" DROP INLET

NOT TO SCALE

D18



NOTES:

- 1.) CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE POURS.
- 2.) SIGNS SHALL BE INSTILLED TO CLEARLY INDICATE WHERE THE LOCATION OF THE WASHOUT AREA IS.
- 3.) CONTRACTOR IS IRRESPONSIBLE TO MAINTAIN AND REPLACE WASHOUT AREA AS NEEDED.
- 4.) RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- 5.) DO NOT WASH CONCRETE TRUCKS OUT INTO DRAINAGE AREAS, SWALES, STREETS OR UNDISTURBED AREAS.
- 6.) WASHOUT AREA SHALL BE PLACED AWAY FROM DRAINAGE FEATURES AND OUTSIDE AND WETLAND BUFFERS.

CONCRETE WASHOUT

NOT TO SCALE

D19

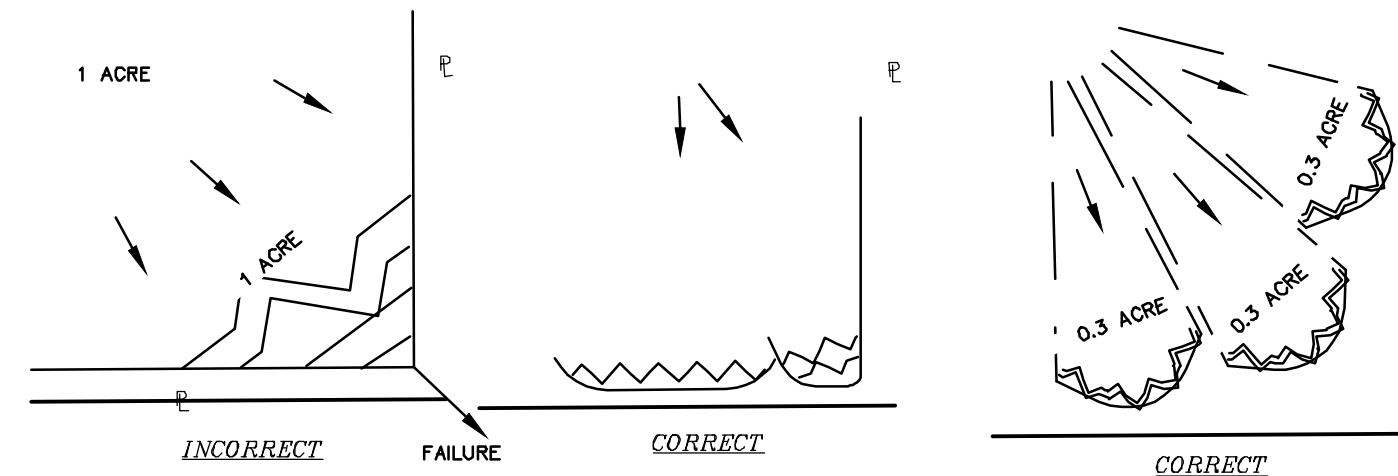
DESIGN CONSIDERATIONS:

PERIMETER CONTROL
NOT TO SCALE

1. THE MAXIMUM LENGTH OF SLOPE ABOVE PERIMETER CONTROL IS 100 FEET.
2. SILT FENCE OR SILT SOXX REQUIRED WHEN UPGRADIENT DISTURBED SOIL IS GREATER THAN 5% (50% SLOPE MAX). MULCH BERM CAN BE USED WHEN THE UPGRADIENT DISTURBED SOIL IS 5% OR LESS.
3. THE MAXIMUM CONTRIBUTING DRAINAGE AREA OF ONE-QUARTER ACRE PER 100-FOET OF PRACTICE LENGTH.
4. PERIMETER CONTROL IS TO BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES, INCLUDING GRUBBING AND CLEARING.

NOTES:

1. DO NOT LAYOUT PERIMETER CONTROL ALONG SLOPING PROPERTY PERIMETER WITHOUT INSTALLING "J HOOKS" AT HIGH CONCENTRATION AREAS. RUNOFF WILL CONCENTRATE AND CAUSE FAILURES ALONG THE PERIMETER.
2. "J HOOKS" CAN BE USED TO HELP LIMIT THE CONCENTRATION OF RUNOFF AND PROVIDE MORE STABILITY TO THE PERIMETER.
3. SILT FENCE AND EROSION CONTROL MULCH BERM MAY BE USED INTERCHANGEABLY, IN SPECIFIED AREA, SILT FENCE MAY NOT BE SUBSTITUTED FOR FILTREXX SILT SOXX OR APPROVED ALTERNATIVE.
4. SEE HAMPSHIRE STORM WATER MANUAL: VOLUME 3, PAGE 99 FOR FURTHER DETAILS AND SPECIFICATIONS



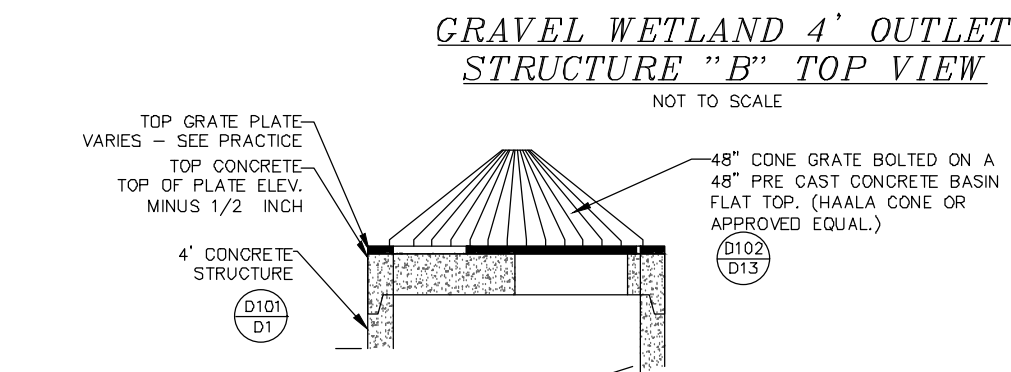
CORRECT

INCORRECT

FAILURE

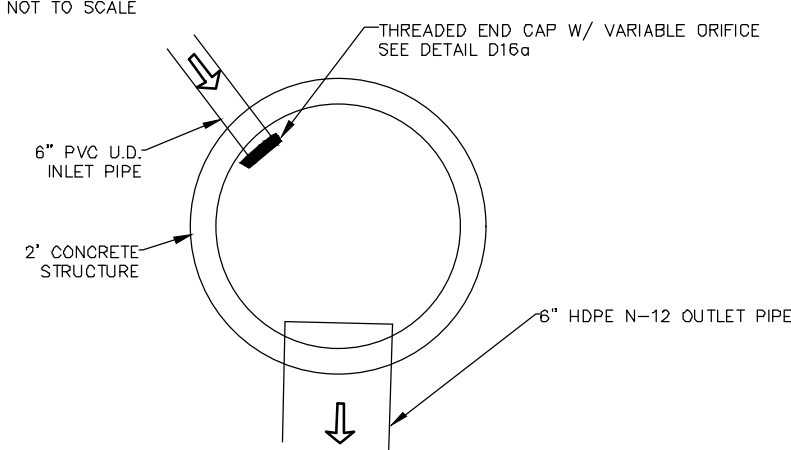
CORRECT

CORRECT

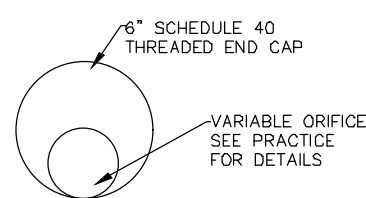


GRAVEL WETLAND 4' OUTLET
STRUCTURE "B" TOP VIEW
NOT TO SCALE

GRAVEL WETLAND 4' OUTLET
STRUCTURE "A" INTERNAL
VIEW
NOT TO SCALE



CAP WITH CONTROL ORIFICE (OUTLET STRUCTURE "A")
NOT TO SCALE

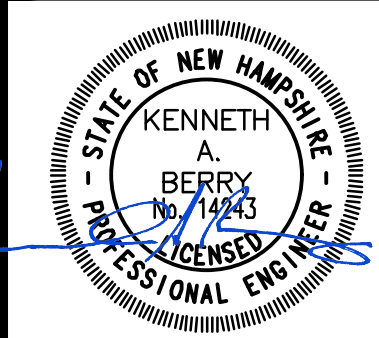


SEE GRAVEL WETLAND DETAIL
SHEETS FOR MORE
INFORMATION ON THE
DIFFERENCE BETWEEN OUTLET
STRUCTURES "A" AND "B"

DRAINAGE CONSTRUCTION DETAILS

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
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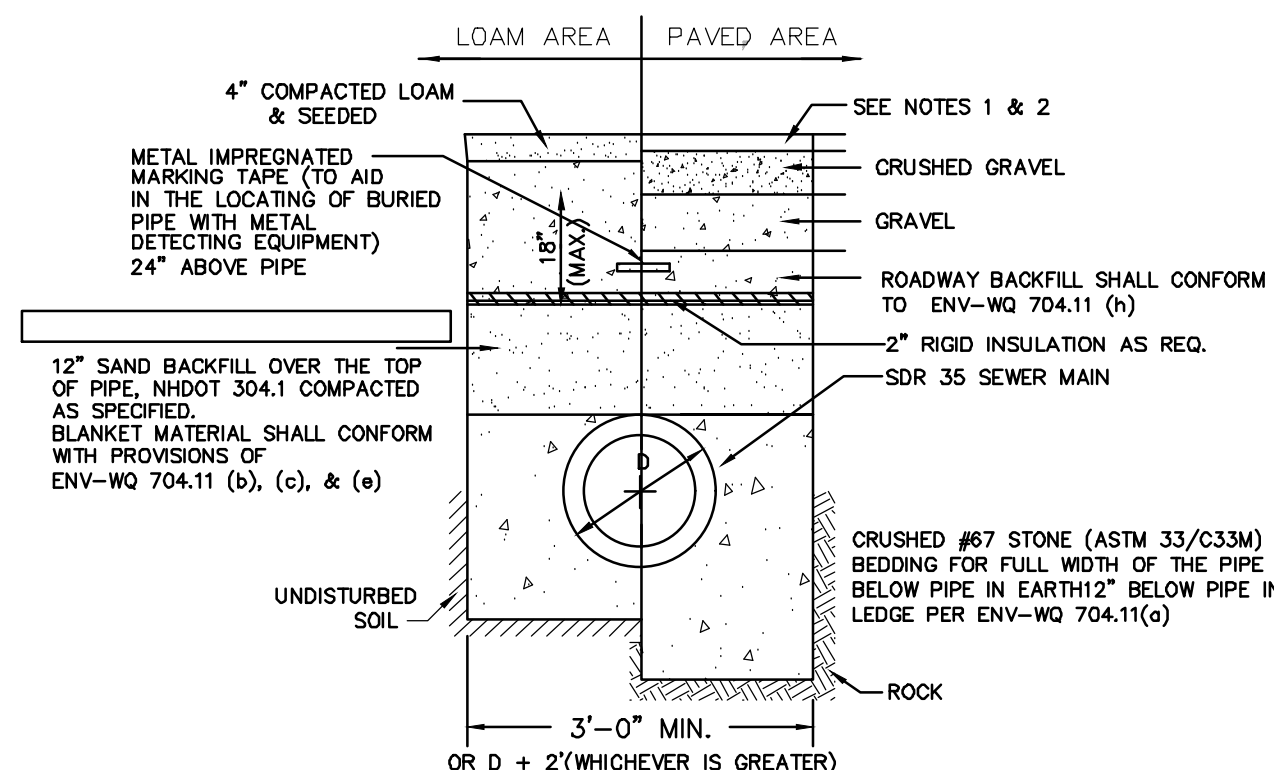
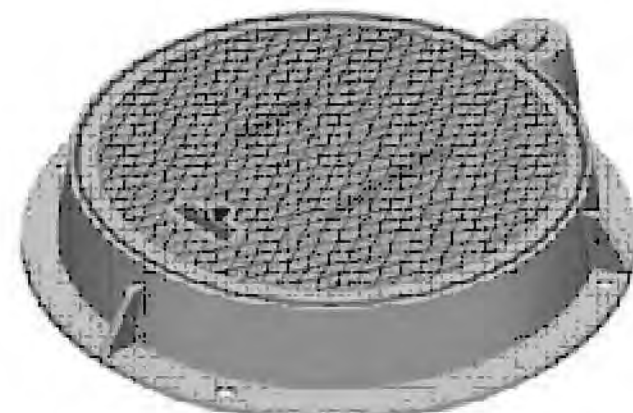
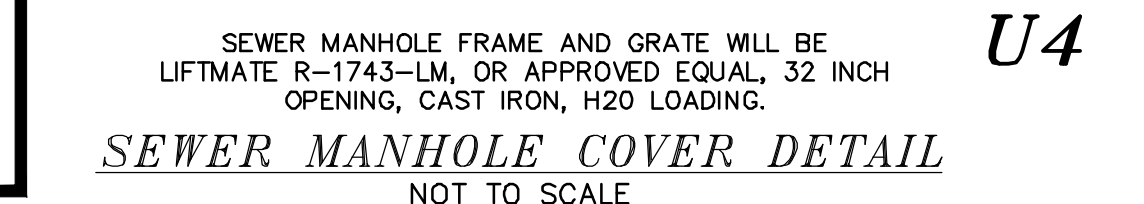


REFERENCE IS MADE TO A LONG TERM MAINTENANCE MANUAL PREPARED BY BERRY SURVEYING & ENGINEERING, WHICH IS ON FILE AT THE CITY OF ROCHESTER PLANNING DEPARTMENT, AND CAN BE FOUND AT THE OFFICE OF BERRY SURVEYING & ENGINEERING, (603) 332-2863

D-102

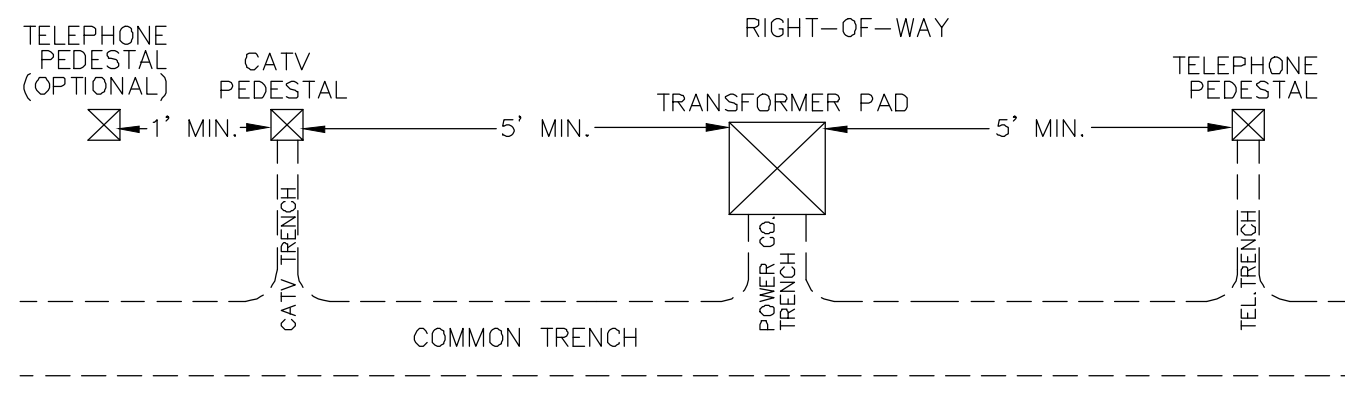
SHEET 48 OF 54

- 1) IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST CONCRETE WITH STEEL REINFORCEMENT AND ADDED JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND HS-20-44 LOADING, INCLUDING THE COVER. ALL SMH CONSTRUCTION AND MATERIALS WILL BE IAW ENV.-WQ 704.13 (c)(3) ADOPTED OCTOBER 15, 2014.
- 2) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE. (IAW ENV.-WQ 704-12 (d))
- 3) SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
- 4) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- 5) GRAVITY SEWER PIPE TESTING WILL BE IN ACCORDANCE WITH ENV.-WQ 704.06 AND MAN HOLE TESTING IAW ENV.-WQ 704.17 DATED OCTOBER 15, 2014.
- 6) INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. INVERT BRICKS SHALL BE LAID ON EDGE AND THE BASE OF EACH SECTION SHALL BE CONSTRUCTED IN DIRECTIONS. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER PIPE. THE SHELVE SHALL BE CONSTRUCTED TO PREVENT THE SEWER PIPE FROM CRACKING AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. BASE SECTION SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE CROWN OF THE INCOMING PIPE PER ENV.-WQ 704.12(c). CASTINGS SHALL CONFORM WITH ASTM A48/48M PER ENV.-WQ 704.13 (c)(3), UNDERLAYMENT OF INVERT AND SHELF SHALL CONFORM WITH ENV.-WQ 704.13 (c)(4), (c)(5), (c)(6), (c)(7), (c)(8), (c)(9), (c)(10), (c)(11), (c)(12), (c)(13), (c)(14), (c)(15), (c)(16), (c)(17), (c)(18), (c)(19), (c)(20), (c)(21), (c)(22), (c)(23), (c)(24), (c)(25), (c)(26), (c)(27), (c)(28), (c)(29), (c)(30), (c)(31), (c)(32), (c)(33), (c)(34), (c)(35), (c)(36), (c)(37), (c)(38), (c)(39), (c)(40), (c)(41), (c)(42), (c)(43), (c)(44), (c)(45), (c)(46), (c)(47), (c)(48), (c)(49), (c)(50), (c)(51), (c)(52), (c)(53), (c)(54), (c)(55), (c)(56), (c)(57), (c)(58), (c)(59), (c)(60), (c)(61), (c)(62), (c)(63), (c)(64), (c)(65), (c)(66), (c)(67), (c)(68), (c)(69), (c)(70), (c)(71), (c)(72), (c)(73), (c)(74), (c)(75), (c)(76), (c)(77), (c)(78), (c)(79), (c)(80), (c)(81), (c)(82), (c)(83), (c)(84), (c)(85), (c)(86), (c)(87), (c)(88), (c)(89), (c)(90), (c)(91), (c)(92), (c)(93), (c)(94), (c)(95), (c)(96), (c)(97), (c)(98), (c)(99), 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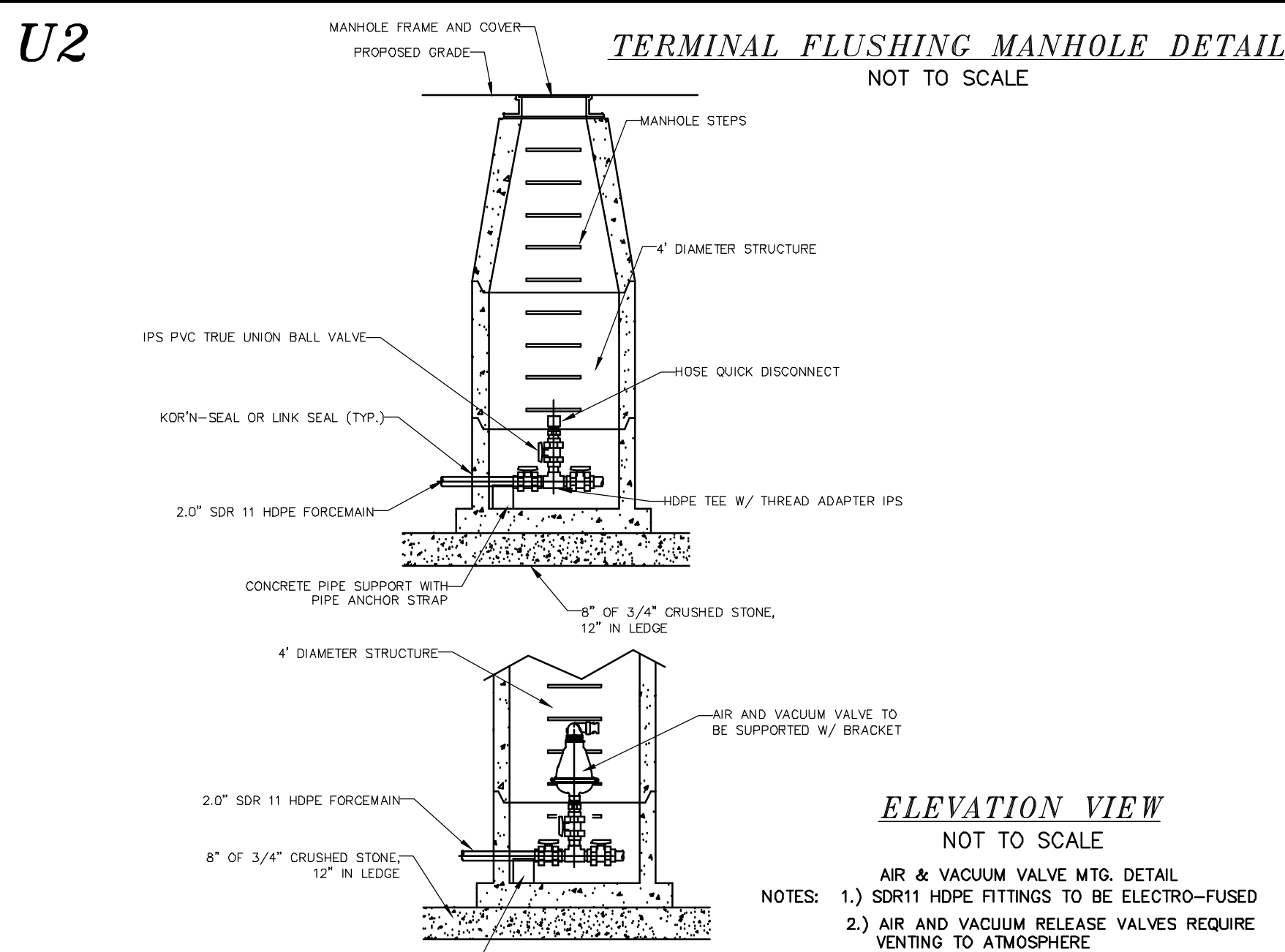


- NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.
 3. ANTI-SEEP COLLARS OR CLAY CHECK DAMS ON STEEP RUNS IN WET CONDITIONS.
 4. ALL SEWER INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF RHODES & MUNICIPAL DPW SEWER DIVISION STANDARDS. ALL PVC SEWER PIPE IS TO CONFORM WITH ENV-WQ 704.05 (c)-(e) AND CONFORM WITH ASTM D3034. PVC JOINT SEALS SHALL CONFORM WITH ASTM D3121. SDR-21 PVC FORCE MAIN PIPE MATERIAL IS REQUIRED IN LOCATIONS AS SHOWN. SDR-21 PVC FORCEMAIN PIPE WILL CONFORM TO ENV-WQ 704.08.
 5. SEE DETAIL US FOR INSULATION DETAILS.

TYPICAL SEWER PIPE TRENCH
NOT TO SCALE



PEDESTAL PLACEMENT
NOT TO SCALE



U5

SEE ALSO TYPICAL SHEET AND DRAWING
TRENCH DETAIL, SHEET U-102, DETAIL U-13

FOR CONSTRUCTION IN ROADS,
ROAD SHOULDERS, AND WALK-WAYS

SURFACE COURSE AS SPECIFIED

BASE COURSE

3'

COMPACT IN
12" LAYERS

ROADWAY BACKFILL SHALL CONFORM
TO ENV-WQ 704.11 (h)

COMPACT IN 3" LAYERS EXCEPT
WHERE OTHERWISE REQUIRED

12" SAND BACKFILL OVER THE TOP
OF PIPE, NHDOT 304.1 COMPACTED
AS SPECIFIED. BLANKET MATERIAL SHALL
CONFORM
WITH PROVISIONS OF
ENV-WQ 704.11 (b), (c), & (e)

WARNING TAPE IS
REQUIRED
2' OVER PIPE
DETECTABLE
TRACER WIRE
ON ALL HDPE /
PVC PIPE
1AW ENV-WQ
704.11(g)
TYP. THROUGHOUT

W

12" MIN. SAND

COMPACT
IN 12" LAYERS

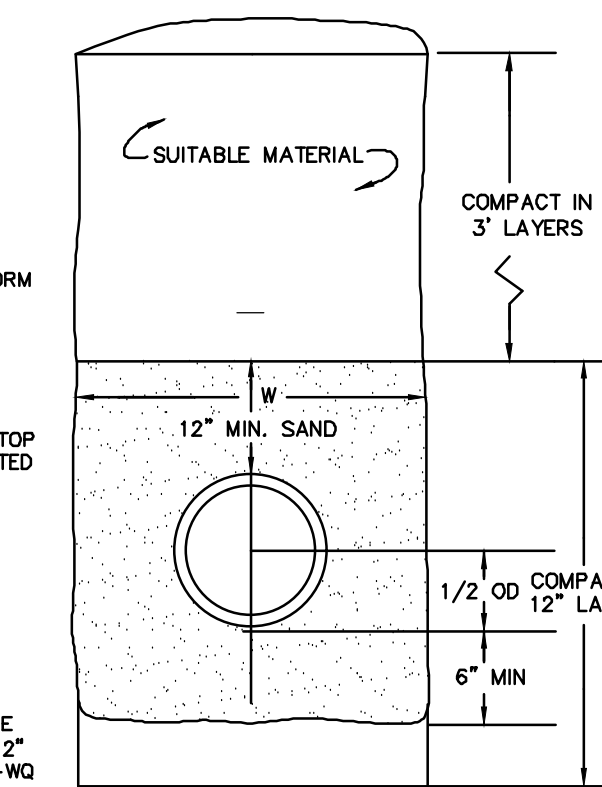
1/2 OD

33/C33M

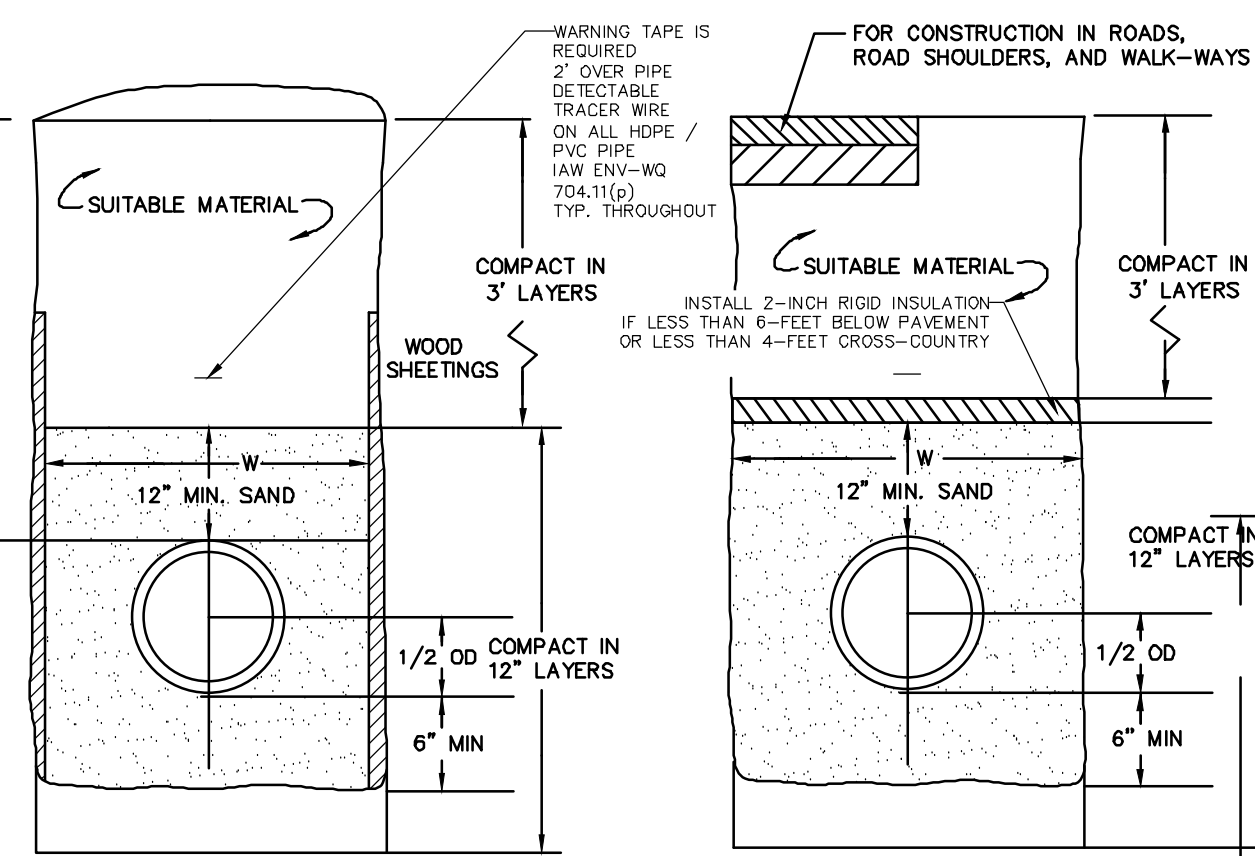
CRUSHED #67 STONE (ASTM
33/C33M)
BEDDING FOR FULL WIDTH OF THE
PIPE 6" BELOW PIPE IN EARTH 12"
BELOW PIPE IN LEDE PER ENV-WQ
704.11(c)

12" MIN

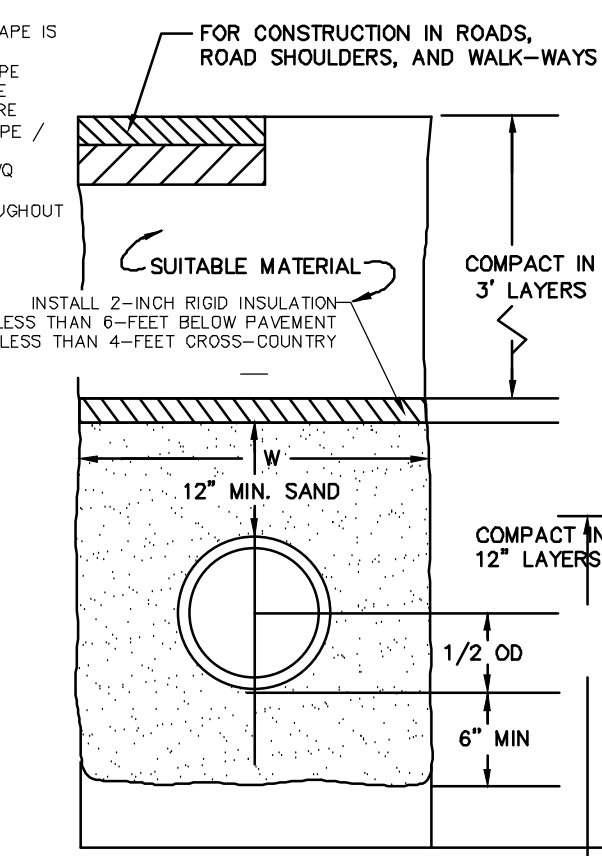
LEDGE CONSTRUCTION
NOT TO SCALE



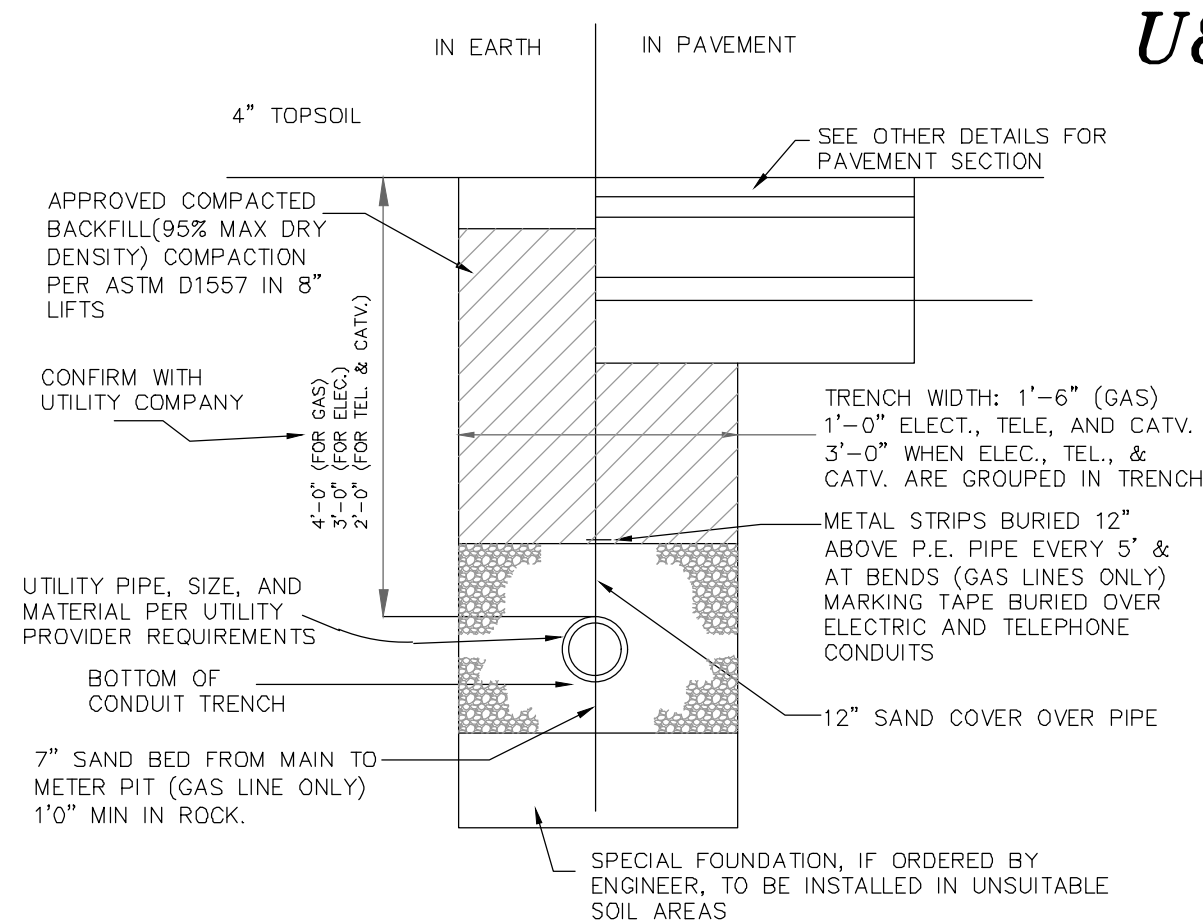
EARTH CONSTRUCTION
NOT TO SCALE



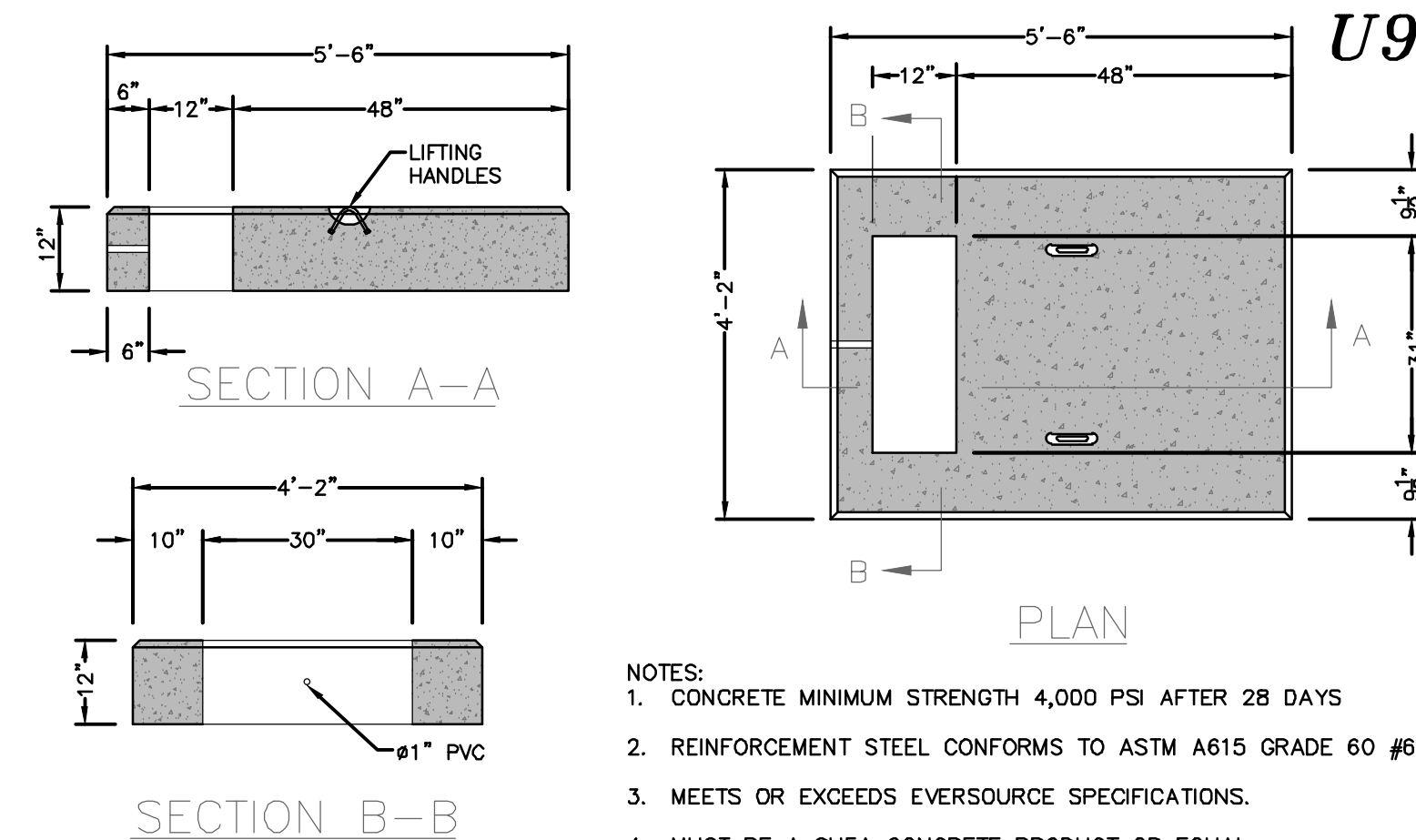
EARTH CONSTRUCTION
WITH SHEETING



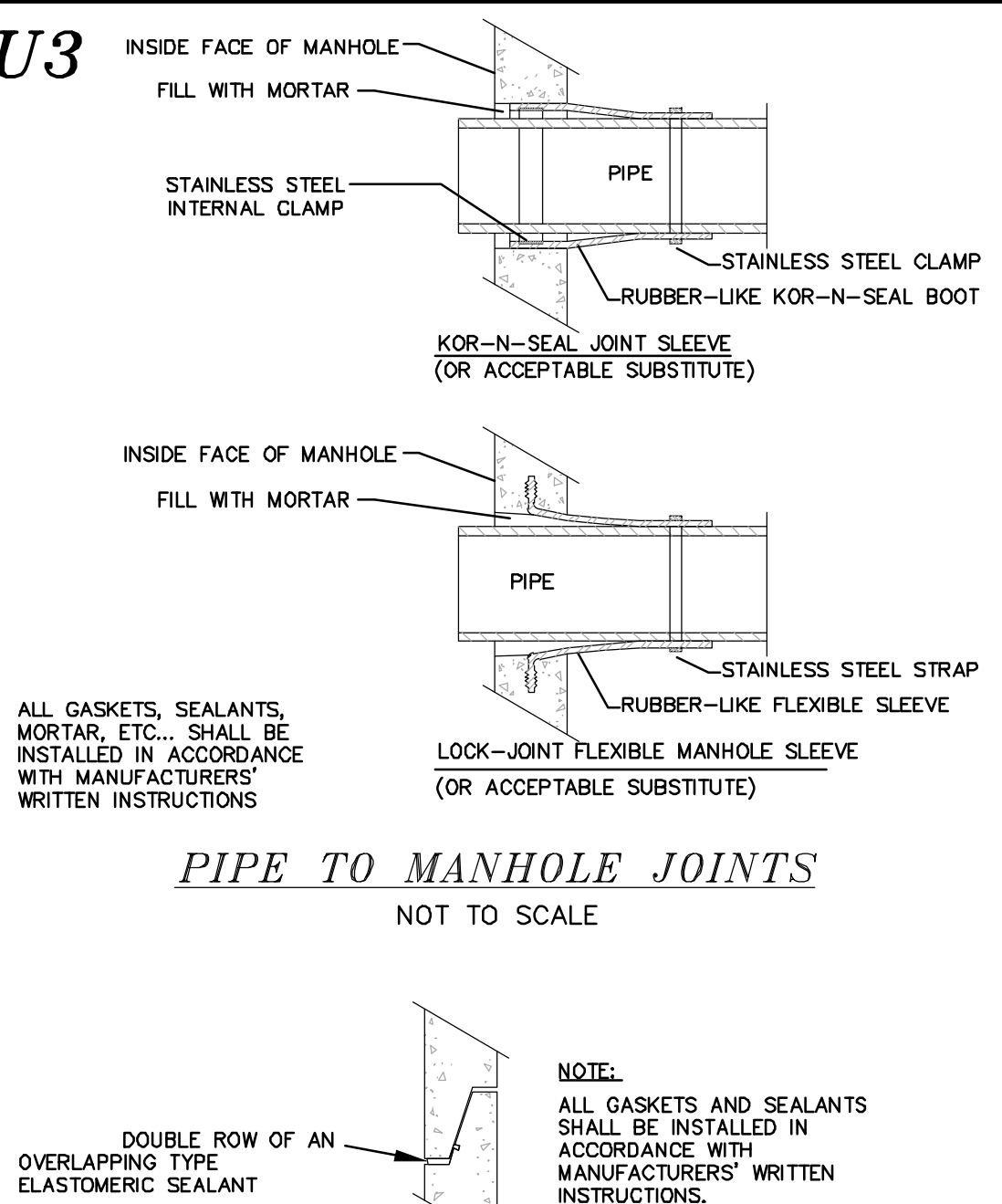
TRENCH INSULATION
NOT TO SCALE



SOIL AREAS
ELECTRICAL, TELEPHONE, AND GAS TRENCH
NOT TO SCALE



TRANSFORMER AND PAD DETAIL
NOT TO SCALE



HORIZONTAL JOINTS
NOT TO SCALE

REVISION	DATE	DESCRIPTION

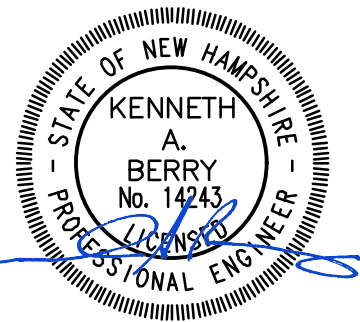
UTILITY DETAILS
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

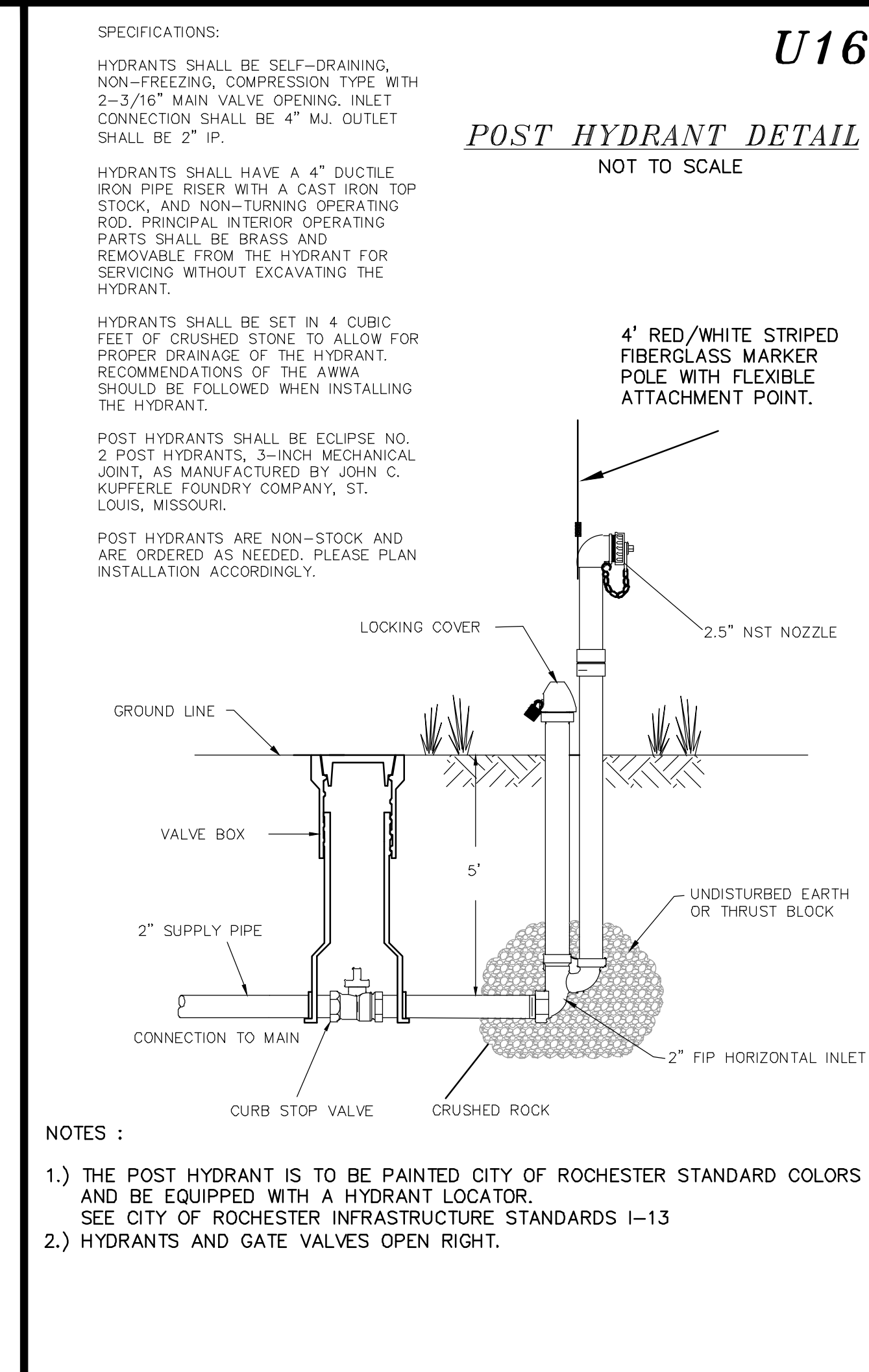
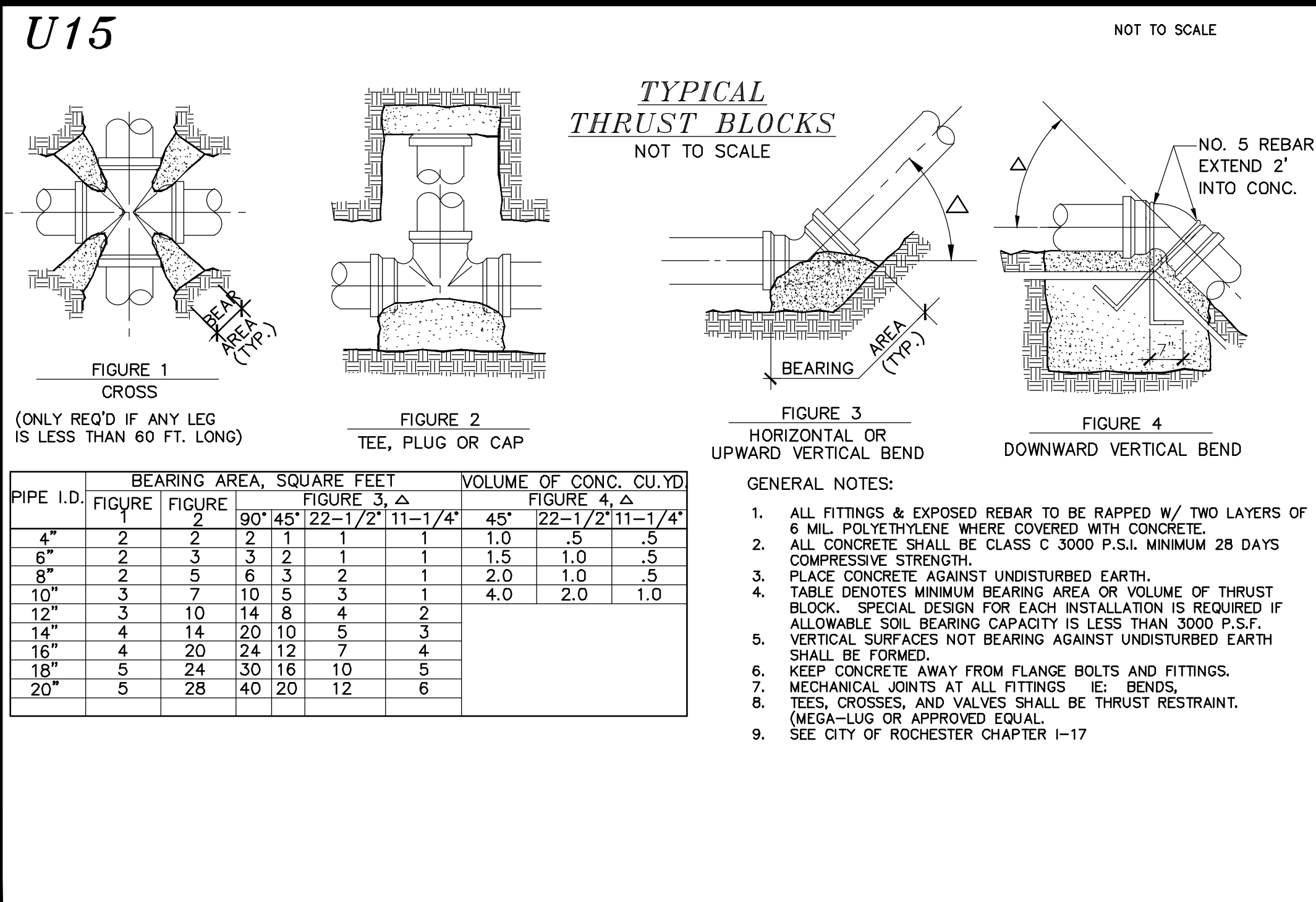
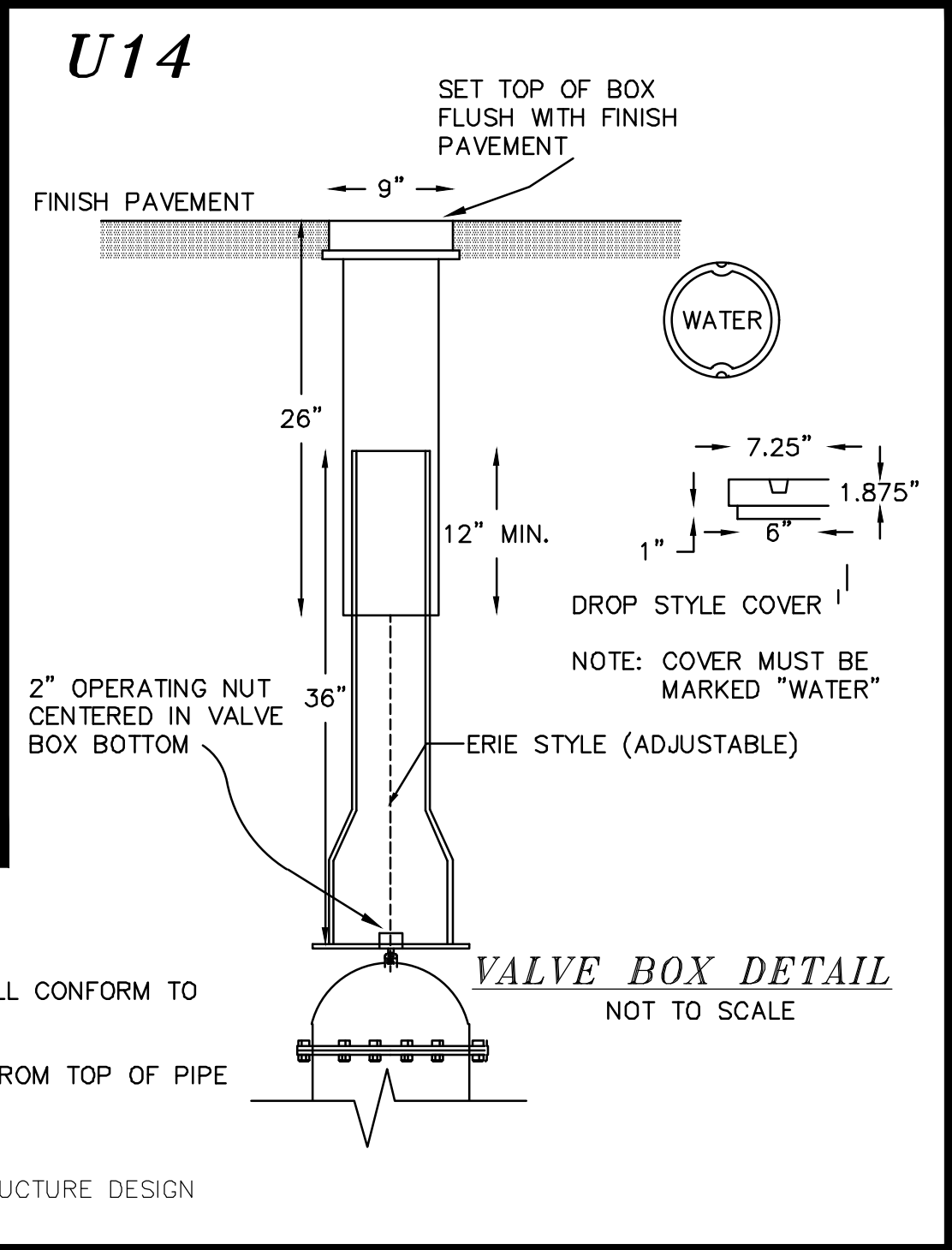
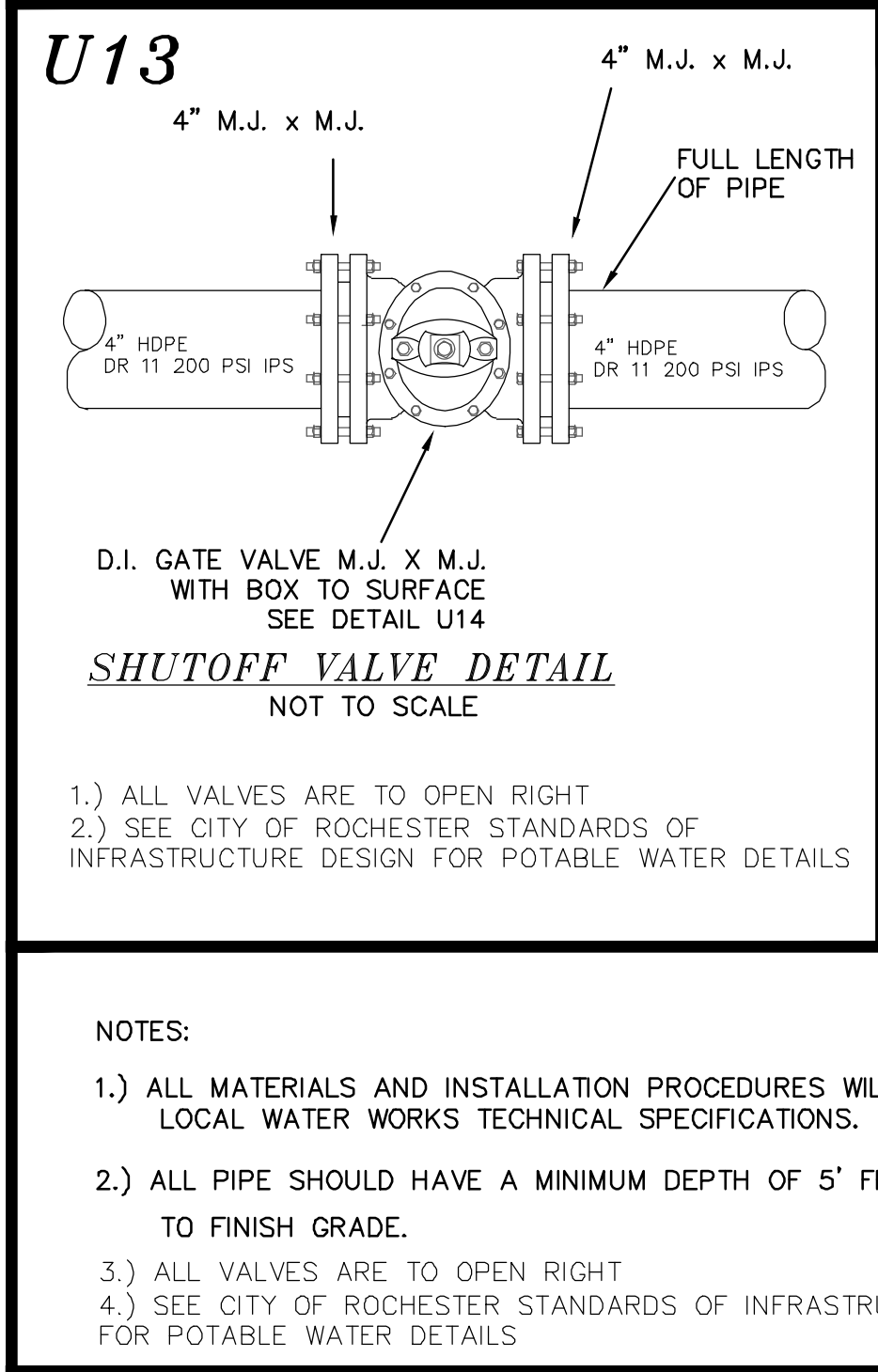
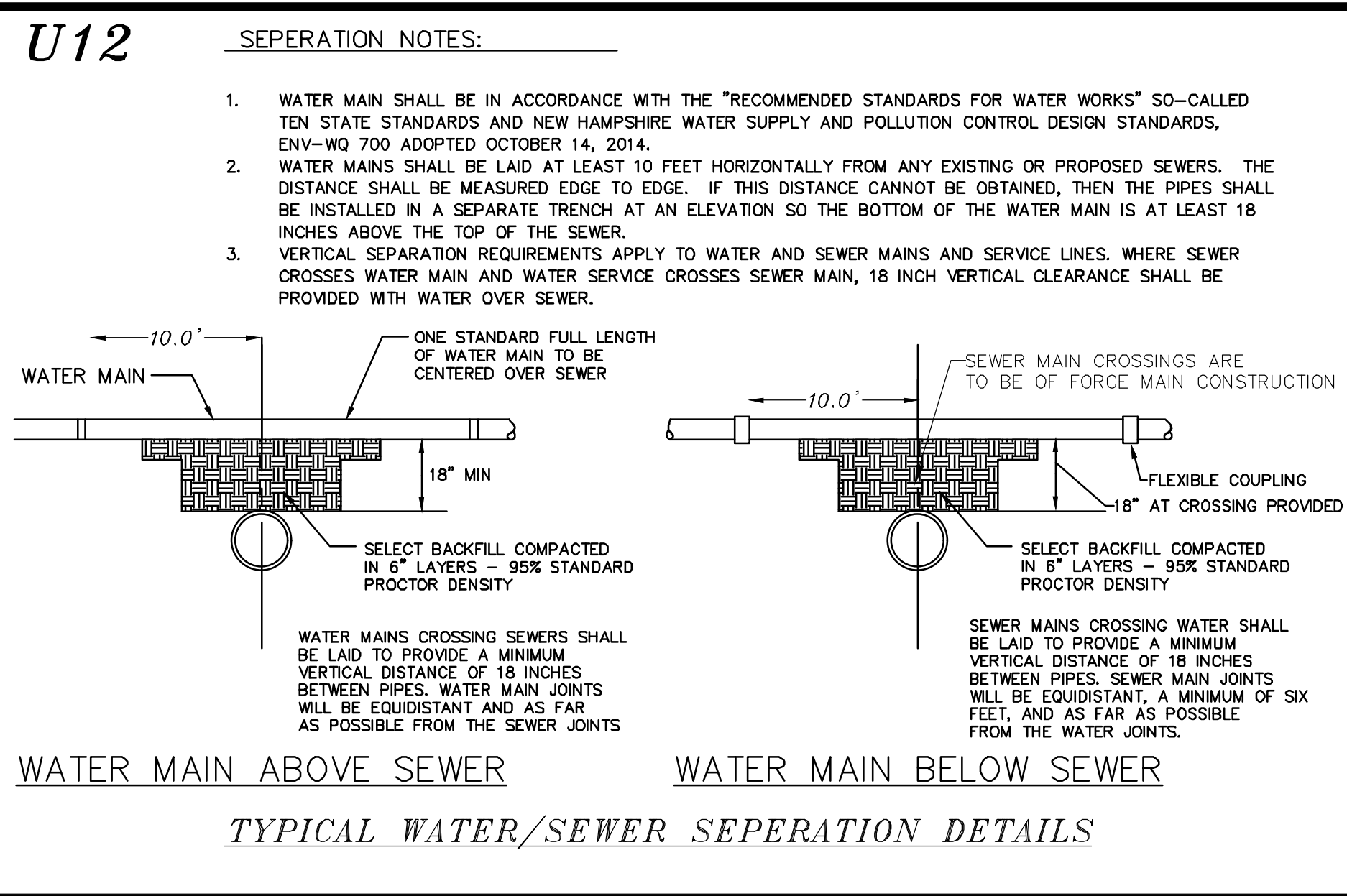
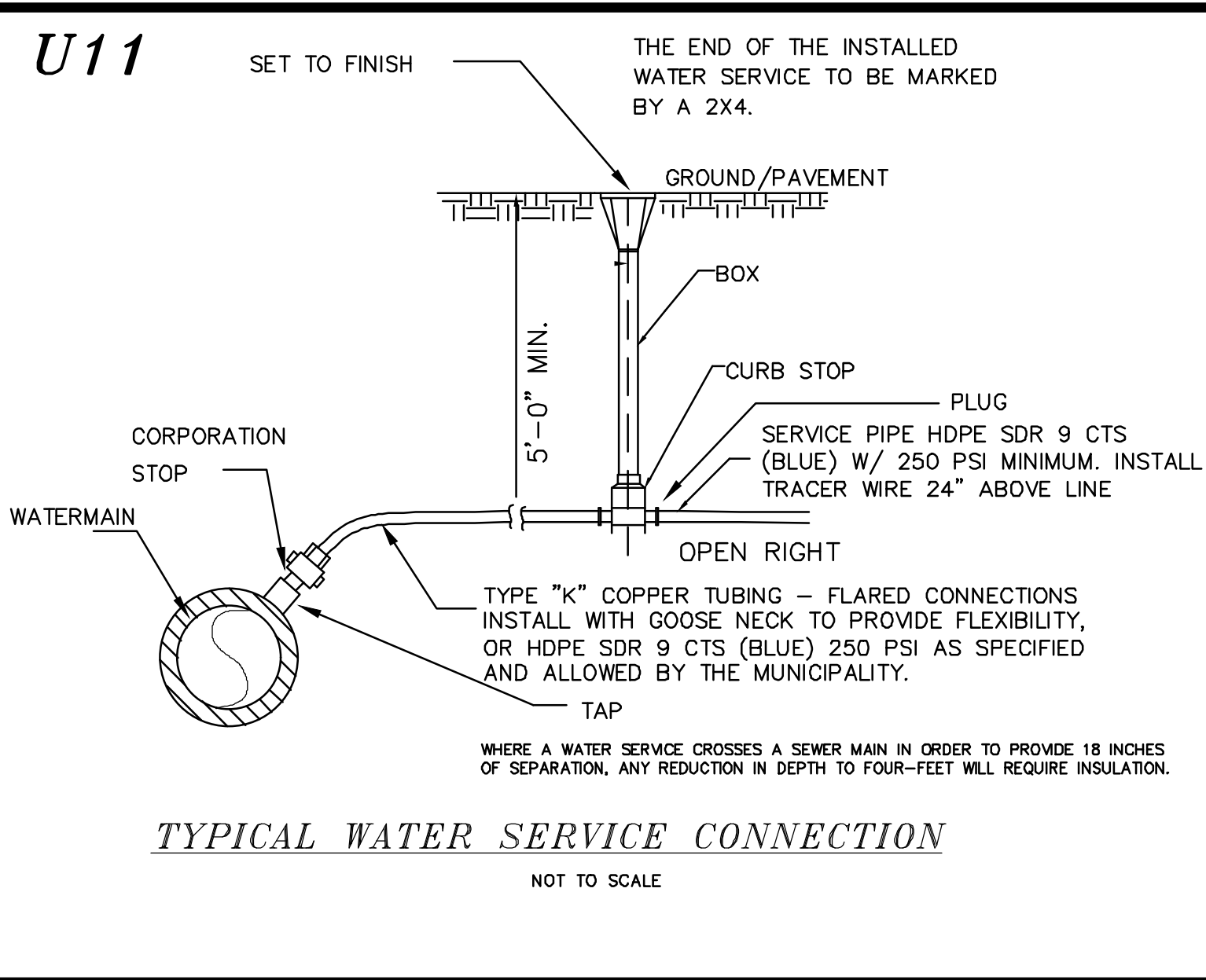
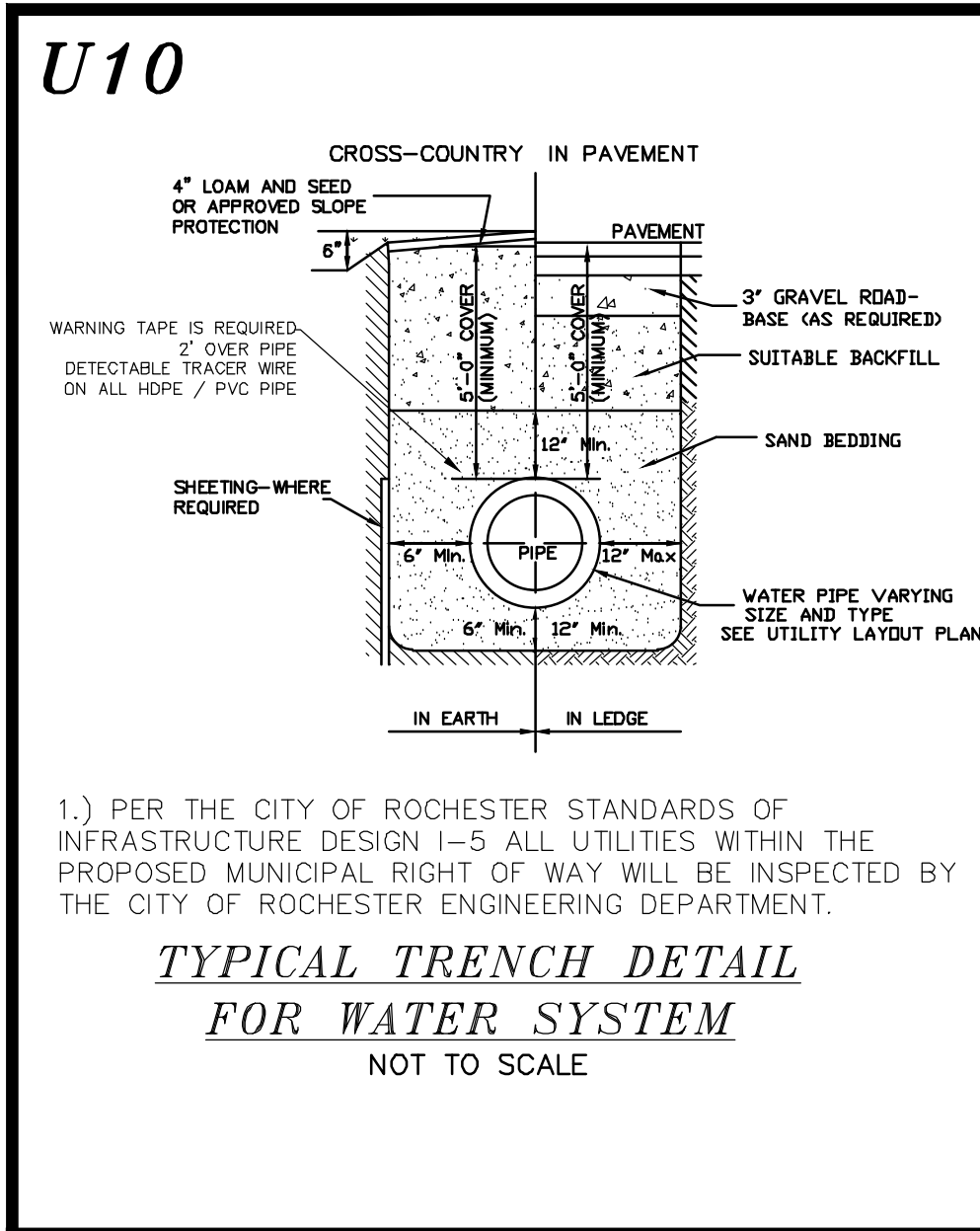
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2863

SCALE : AS SHOWN

DATE : OCTOBER 20, 2023

FILE NO. : DB 2021-132





REVISION	DATE	DESCRIPTION

UTILITY CONSTRUCTION DETAILS

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

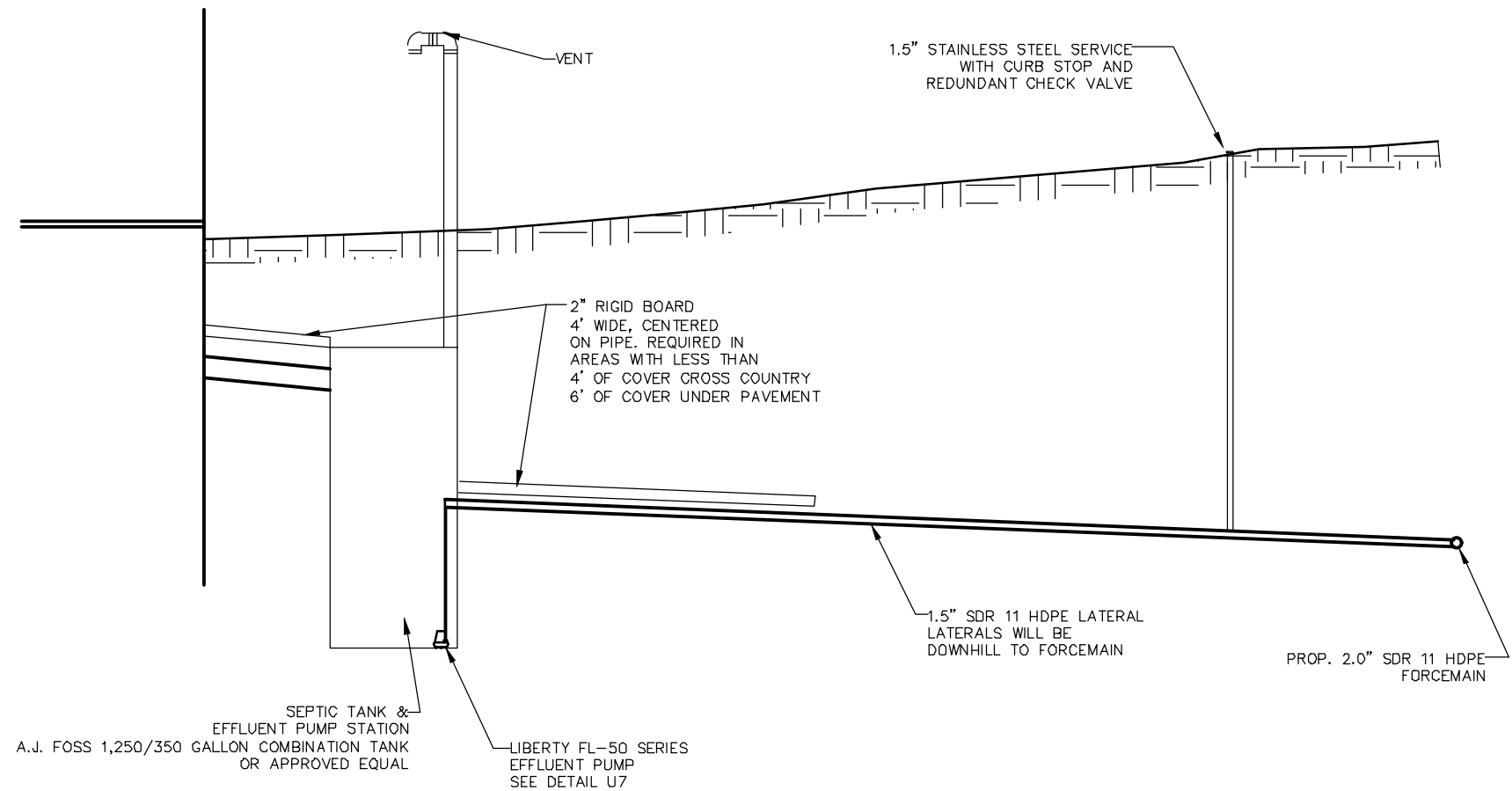
SCALE : AS NOTED
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

U-102

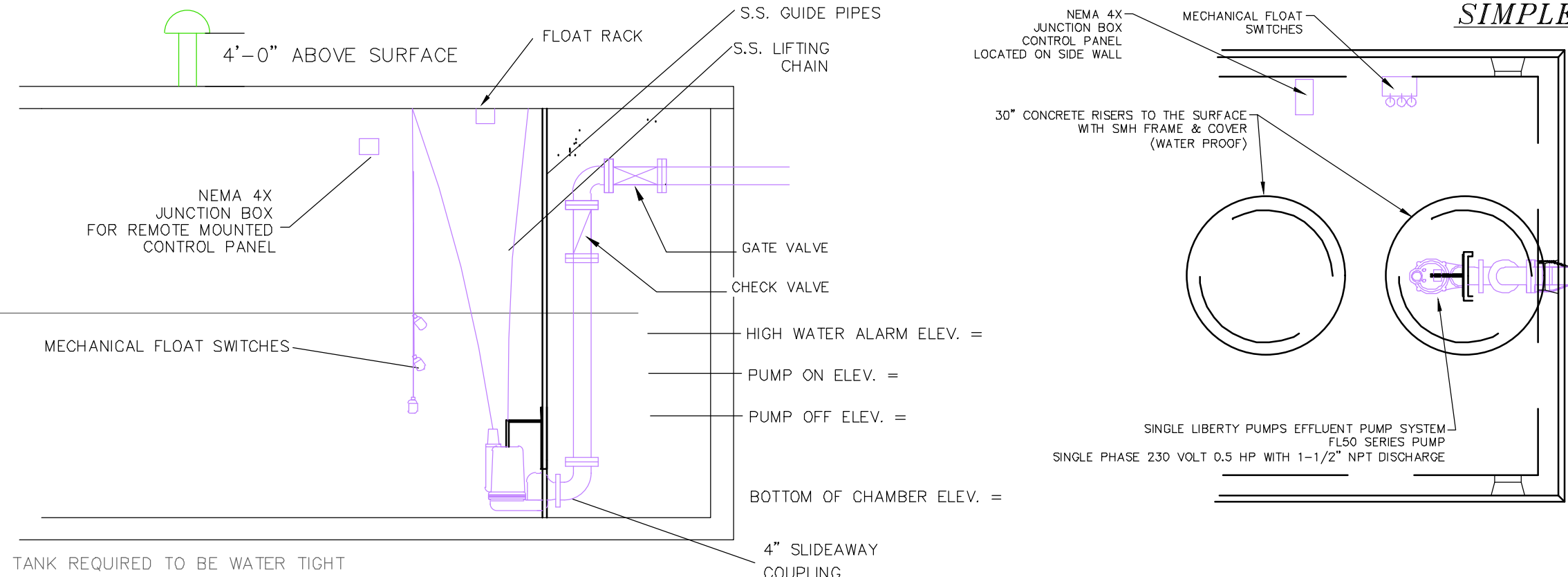
SHEET 50 OF 54

DESIGNERS NOTE: SEE THE FORCE MAIN PROFILE ON THE UTILITIES PLAN. ALL UNITS WILL UTILIZE A LIBERTY PUMPS FL-50 SERIES 0.5 HP SUBMERSIBLE EFFLUENT PUMP, OR APPROVED EQUAL. ALL DWELLING UNITS WILL HAVE A LIBERTY PUMPS SX-SERIES SIMPLEX CONTROL PANEL WITH ALARM BELL AND FLASHER. IT IS HIGHLY RECOMMENDED THAT A GENERATOR HOOKUP BE AVAILABLE FOR EMERGENCY POWER SUPPLY.



TYPICAL RESIDENTIAL FORCE MAIN CONNECTION
NOT TO SCALE

U17



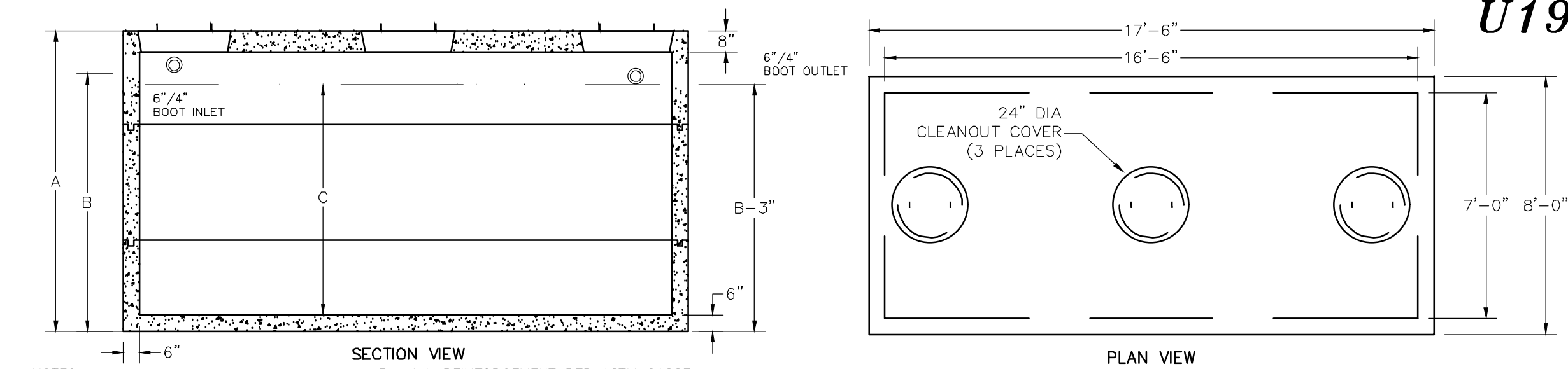
LOT	TOTAL DYNAMIC HEAD	PUMP RATE	1.5\"	2\" F.M.	PUMP CHAMBER BOTTOM	PUMP CHAMBER INVERT IN	PUMP OFF ELEVATION	PUMP ON ELEVATION	ALARM ON ELEVATION	GAL PER CYCLE	FLOW (GPD)
11-1	31.0'	54.0 GPM	51.0'	69.0'	186.38'	190.50'	187.44'	188.02'	188.12'	50	450
11-5	36.0'	45.0 GPM	51.0'	321.0'	186.38'	190.50'	187.44'	188.31'	188.41'	75	450
11-5	39.0'	41.0 GPM	53.0'	483.0'	186.38'	190.50'	187.44'	188.60'	188.70'	100	450

SIMPLEX PUMP CHAMBER & PUMP DETAILS
NOT TO SCALE

U18

NOTES:

- THE BOTTOM OF THE PUMP CHAMBER WILL BE SLOPED AT A 1% SLOPE IN ALL DIRECTIONS CREATING A SUMP AROUND THE BASE OF THE PUMP. THE LIFT STATION WILL BE EQUIPPED WITH A GR20 GUIDE RAIL BASE AND RAIL SYSTEM AND LIFT CHAIN. THE PUMP DISCHARGE WILL BE EQUIPPED WITH A CHECK VALVE AND A GATE VALVE BETWEEN THE PUMP AND THE TANK WALL, IN THAT ORDER. THE DISCHARGE WILL LEAVE THE TANK AT A POINT FOUR-FEET BELOW GRADE, INSULATED OR SIX-FEET IF UNDER PAVEMENT.
- WET WELL/SEPTIC TANK SHALL BE LEAK TESTED USING METHOD ACl 350.1 METHOD HST-NML.
- SUBMERSIBLE PUMPS AND ALL OTHER ELECTRICAL SYSTEMS/COMPONENTS IN THE WET WELL/SEPTIC TANK SHALL MEET NEC REQUIREMENTS FOR CLASS I, DIVISION 1 ENVIRONMENT.
- POWER SOURCE FOR ALARM SYSTEM SHALL BE AN INDEPENDENT BATTERY WITH CONTINUOUS CHARGE, OR MAIN LINE POWER WITH BACK UP BATTERY SYSTEM.



- NOTES:
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGN CONFORMS WITH 310 CMR 15.00 DEP TITLE 5 REGS FOR SEPTIC TANKS.
 - ALL REINFORCEMENT PER ASTM C1227
 - DESIGNED FOR AASHTO HS-20 LOADING, COVER 1-5 FT.
 - TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN, INLET HEIGHT MAY INCREASE SLIGHTLY DUE TO THE BUTYL RESIN USED.
 - TEES AND BAFFLES SOLD SEPARATELY.

SECTION	WEIGHT
28\"	20,720#
35\"	23,137#
34\"	20,029#
49\"	25,209#
30\"	10,014#
43\"	14,849#

GALLONS	ITEM NO.	A (HEIGHT)	B* (INLET)	B* (INLET)	C (INLET)	WEIGHT (LBS)	TOP (HEIGHT)	BOTTOM (HEIGHT)	RISER 1 (HEIGHT)	RISER 2 (HEIGHT)
3,500	8X17-35	77"	61"	62"	52"	45,929	28"	49"	0"	0"
4,000	8X17-40	84"	68"	69"	60"	48,348	35"	49"	0"	0"
4,500	8X17-45	91"	75"	76"	66"	50,763	28"	34"	30"	0"
5,000	8X17-50	98"	82"	83"	73"	53,180	35"	34"	30"	0"
5,500	8X17-55	105"	89"	90"	80"	55,598	28"	34"	43"	0"
6,000	8X17-60	112"	96"	97"	86"	58,015	35"	34"	43"	0"
6,500	8X17-65	120"	104"	105"	95"	60,778	28"	49"	43"	0"
7,000	8X17-70	127"	111"	112"	102"	63,195	35"	49"	43"	0"
7,500	8X17-75	134"	118"	119"	109"	65,612	28"	34"	43"	30"
8,000	8X17-80	141"	125"	126"	116"	68,029	35"	34"	43"	30"

*SEE NOTE 5

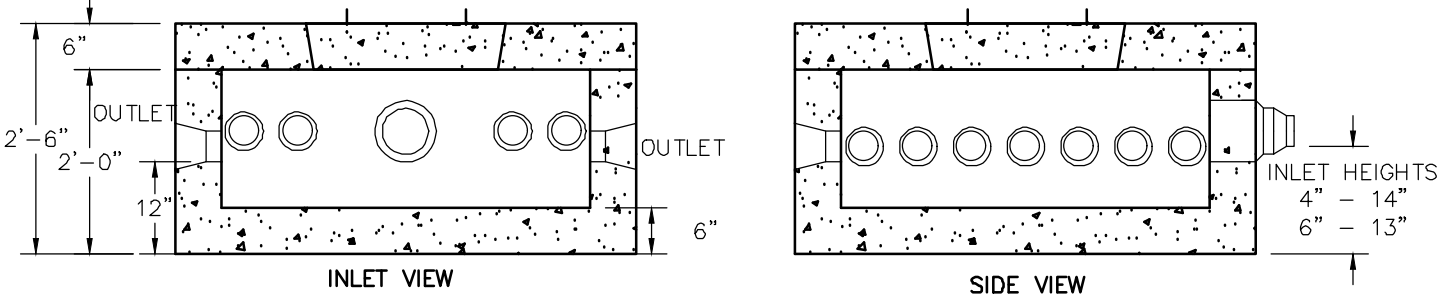
6,000 GALLON CLARIFICATION SEPTIC TANK
NOT TO SCALE

U19

NOTES:

- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
- DESIGN CONFORMS WITH 310 CMR 15.000, DEP TITLE 5 REGS. FOR DISTRIBUTION BOXES.
- DESIGNED FOR AASHTO HS-20 LOADING, COVER 1 TO 5 FEET.
- COVER WEIGHT 1,850#

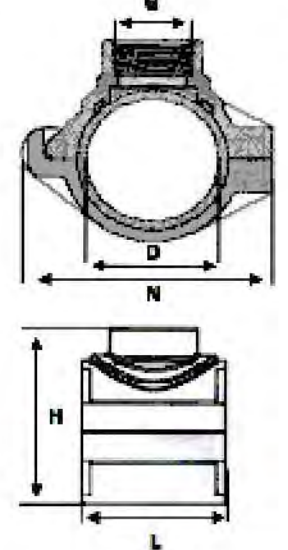
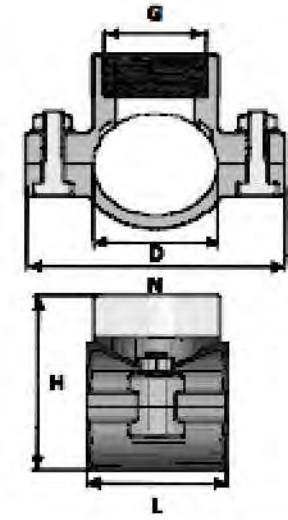
DISTRIBUTION BOX
NOT TO SCALE



U20

U21

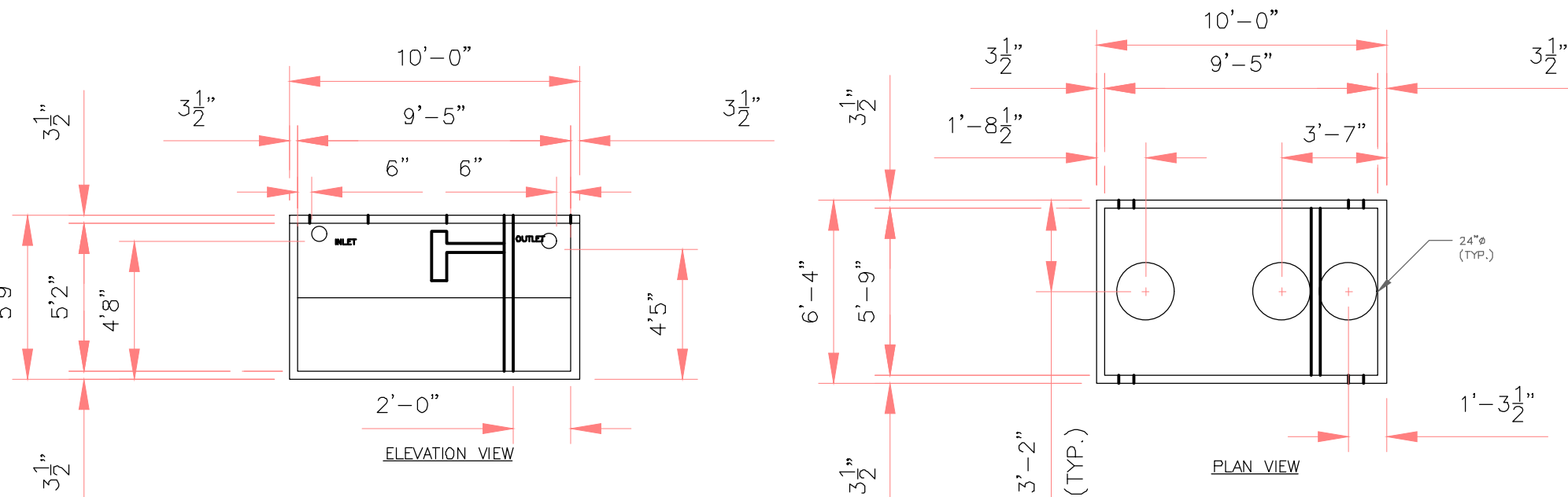
PP SADDLES



SIZE	CODE	D	G	N	H	L
1-1/2\"	LPS-150175SS	1.99	3/4"	3.33	2.93	1.87
1-1/2\"	LPS-150100SS	1.99	1"	3.33	2.93	1.87

SIZE	CODE	D	G	N	H	L
2\"	LPS-200050SS	2.38	1/2"	4.37	3.78	1.88
2\"	LPS-200075SS	2.38	3/4"	4.37	3.78	1.88
2\"	LPS-200100SS	2.38	1"	4.37	3.78	1.88
2\"	LPS-200125SS	2.38	1-1/4"	4.37	3.78	1.88
2\"	LPS-200150SS	2.38	1-1/2"	4.37	3.78	1.88
2\"	LPS-200175SS	2.38	3/4"	5.50	5.00	1.63
2\"	LPS-200100SS	3.50	1"	5.50	5.00	1.63
2\"	LPS-200125SS	3.50	1-1/4"	5.50	5.00	1.63
2\"	LPS-200150SS	3.50	1-1/2"	5.50	5.00	1.63
2\"	LPS-200175SS	3.50	2"	5.50	5.00	1.63
4\"	LPS-400075SS	4.50	3/4"	6.57	6.14	1.88
4\"	LPS-400100SS	4.50	1"	6.57	6.14	1.88
4\"	LPS-400125SS	4.50	1-1/4"	6.57	6.14	1.88
4\"	LPS-400150SS	4.50	1-1/2"	6.57	6.14	1.88
4\"	LPS-400175SS	4.50	2"	6.57	6.14	1.88

U22

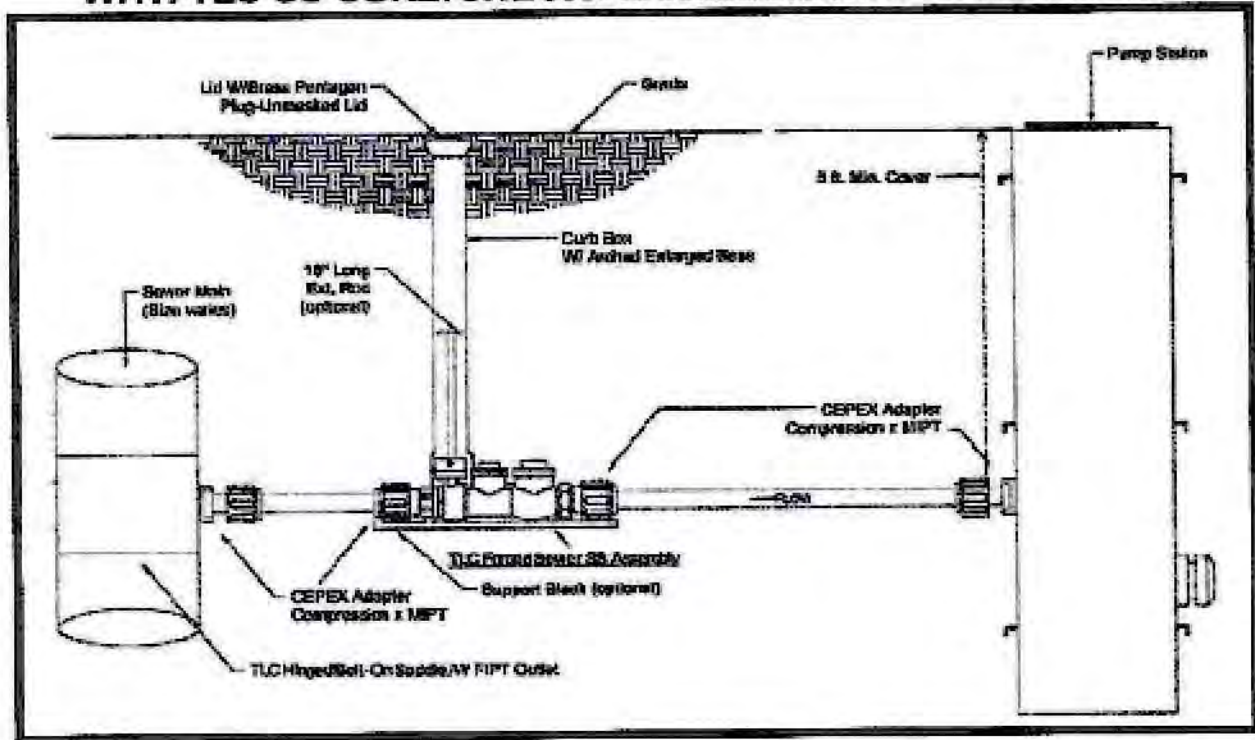


- NOTES:
- CONCRETE: 5,000PSI MIN AFTER 28 DAYS.
 - ALL REINFORCEMENT PER ASTM C1227-93.
 - TEES AND GAS BAFFLE SOLD SEPARATELY.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 - 4\"
 - PLASTIC RISER CAN BE POURED INTO COVER.
 - PUMPS & ACCESSORIES OPTIONAL

1,250/350 GALLON SEPTIC TANK/PUMP CHAMBER
NOT TO SCALE



FORCED SEWER MODEL WITH TLC SS CURB/CHECK ASSEMBLIES TO PUMP STATION



CURB STOP/SWING CHECK FORCED SEWER ASSEMBLIES LIST PRICING

FORCED SEWER ASSEMBLY THREADED PPT x PPT 316 SS BODY	PART NO.	SIZE	WORKING PRESSURE	WT EA. LBS	LIST PRICE
	GR1125-SS	1-1/4"	200 PSI	5.28	FOA
	GR2160-SS	1-1/2"	200 PSI	6.86	FOA
	GR2111-SS	2"	200 PSI	10.26	FOA



www.lateralconnection.com
#101 - 26921 Gloucester Way - Langley, BC - V4W 3Y3
1-800-856-7253 / 855-292-8240 - 1-604-361-2148
sales@lateralconnection.com

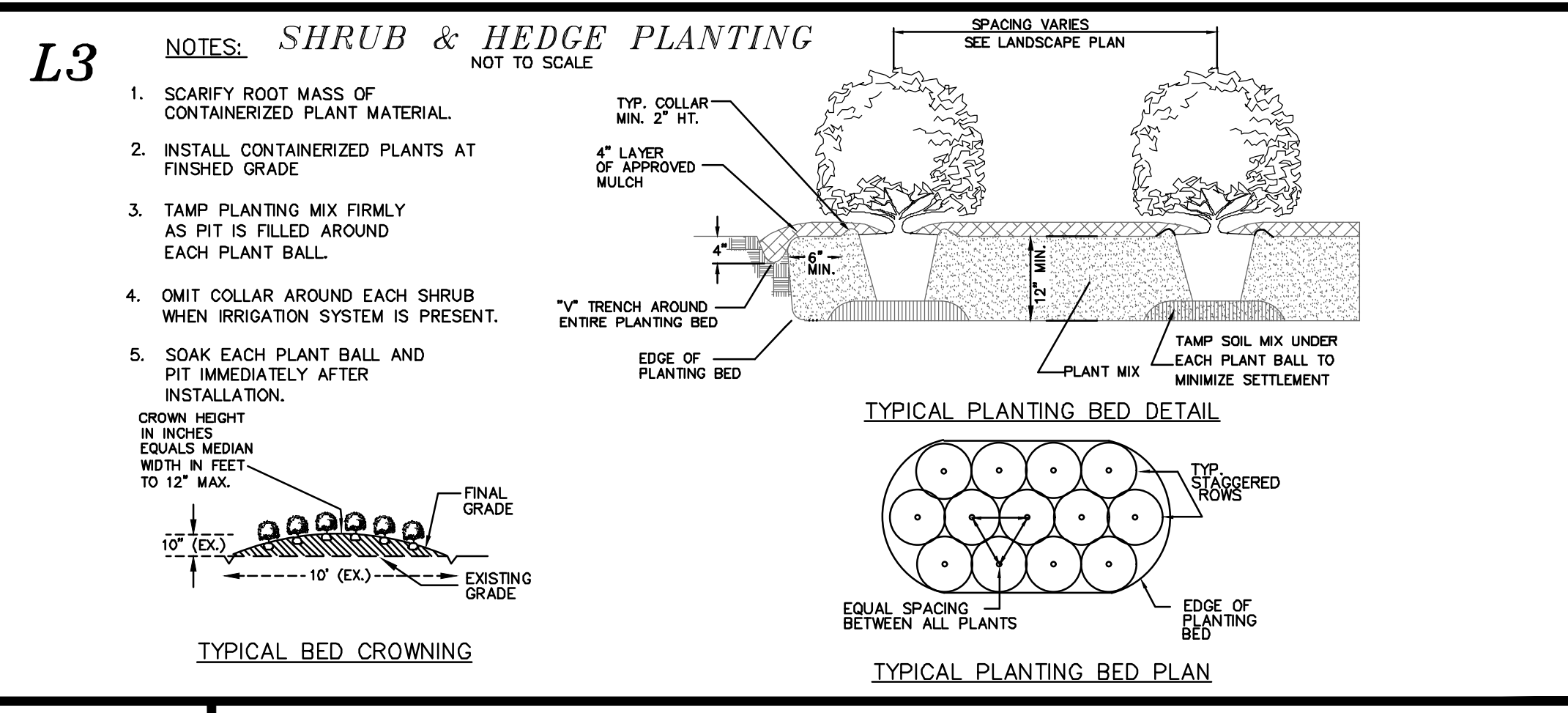
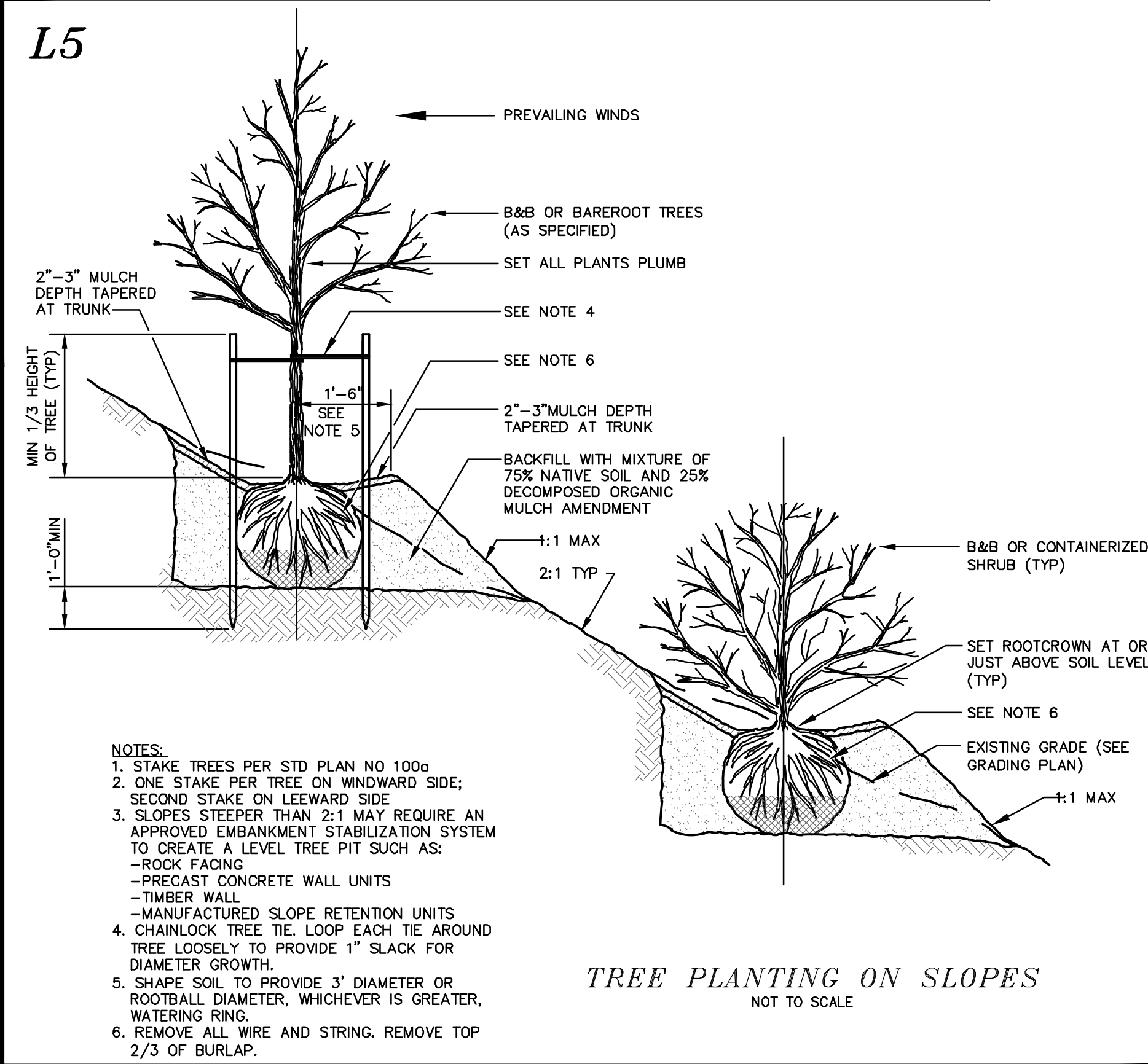
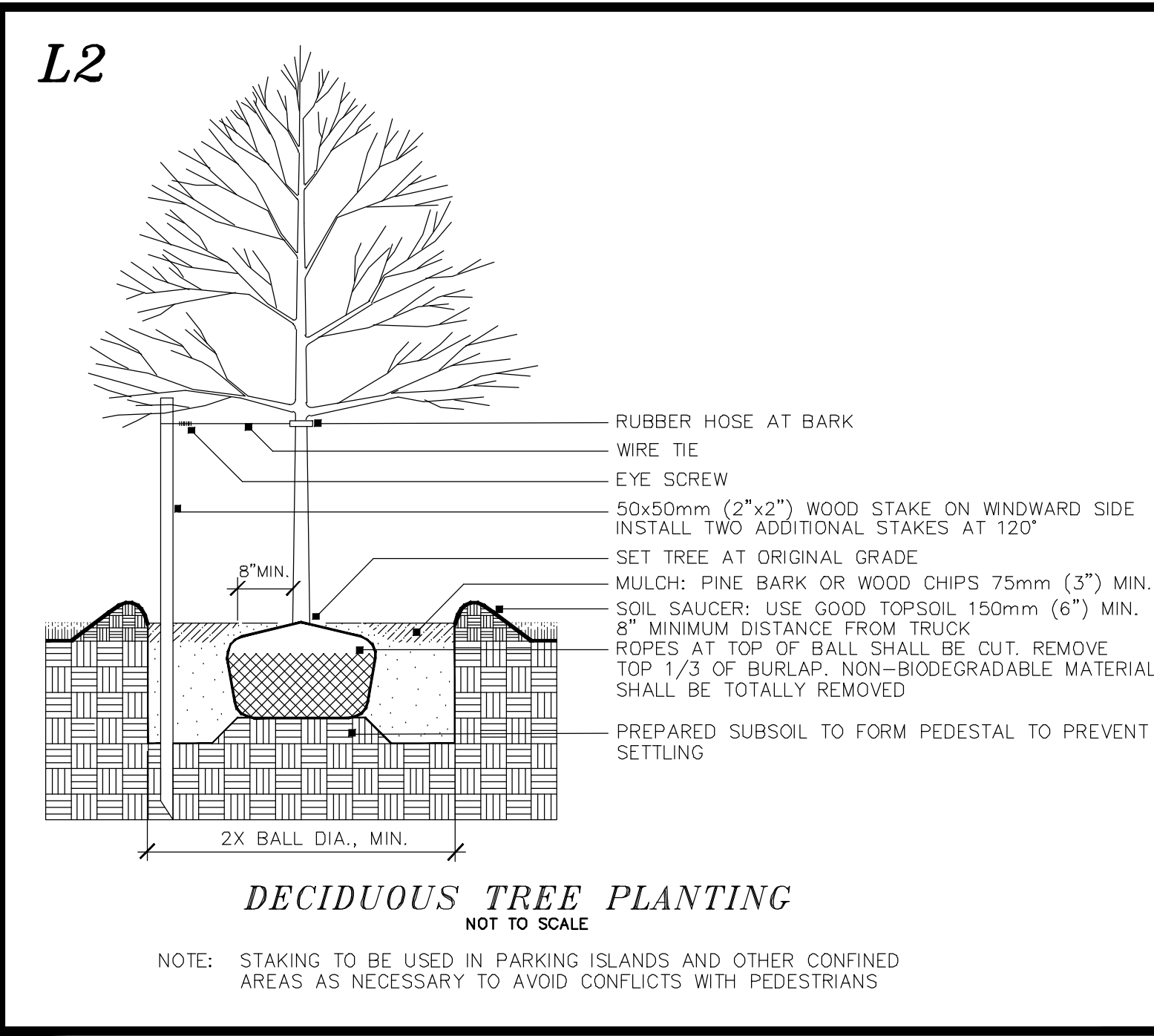
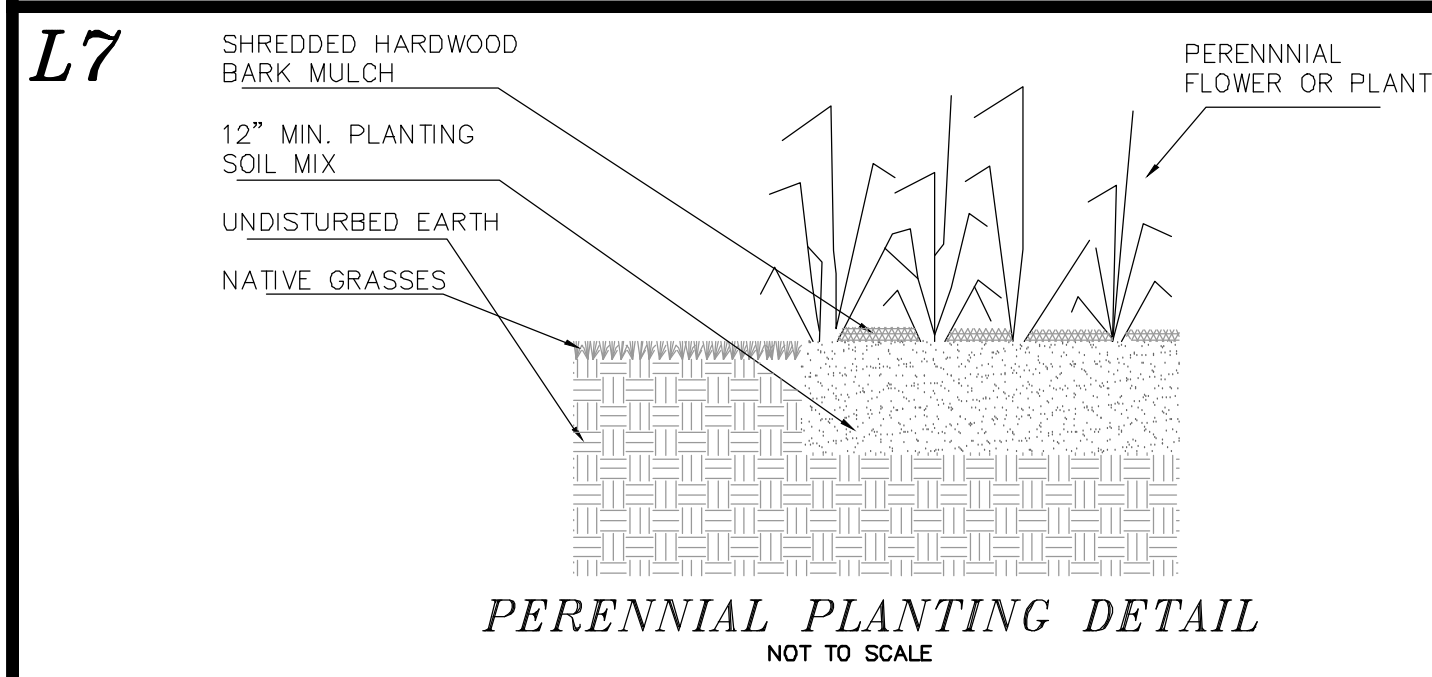
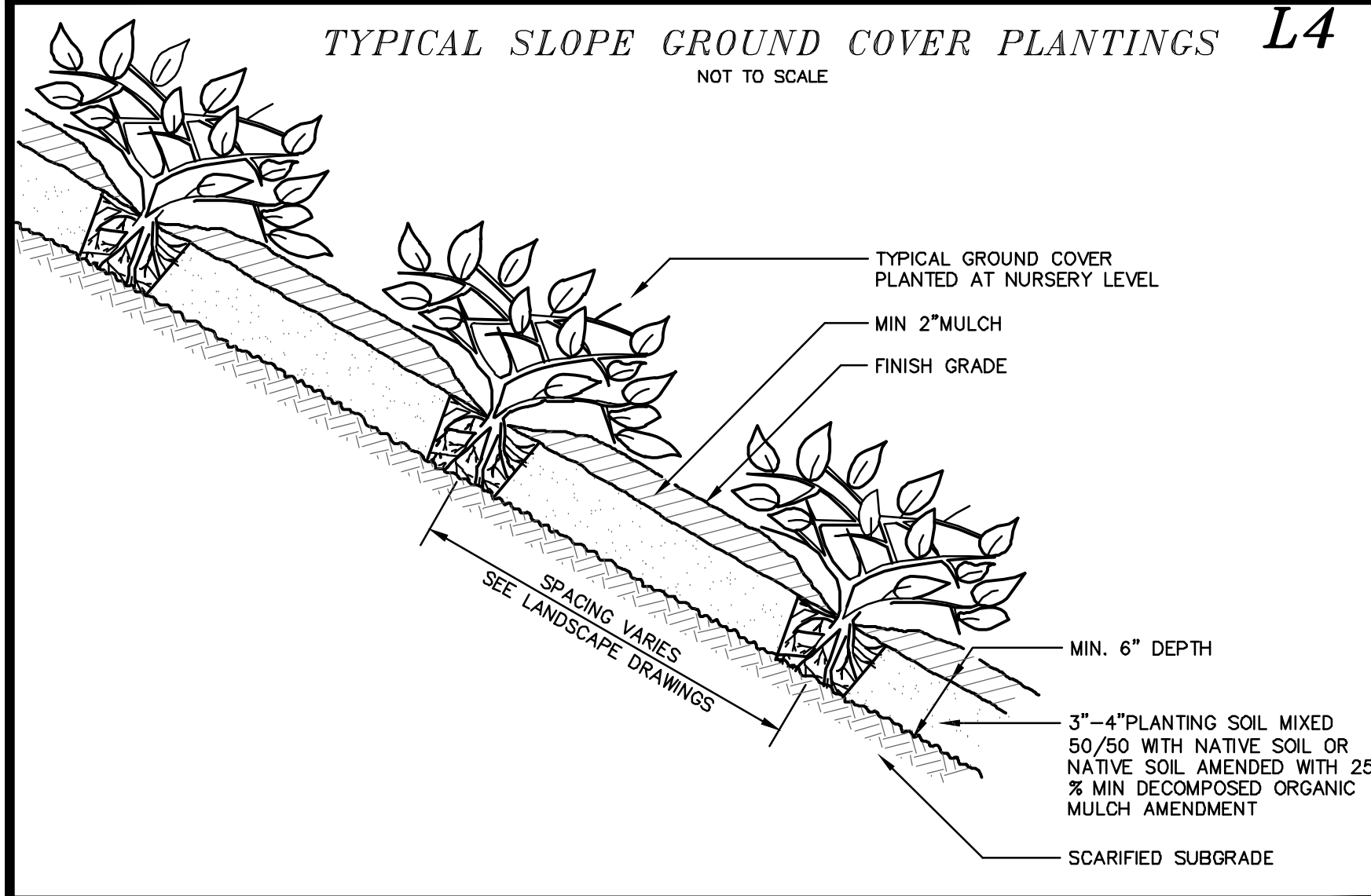
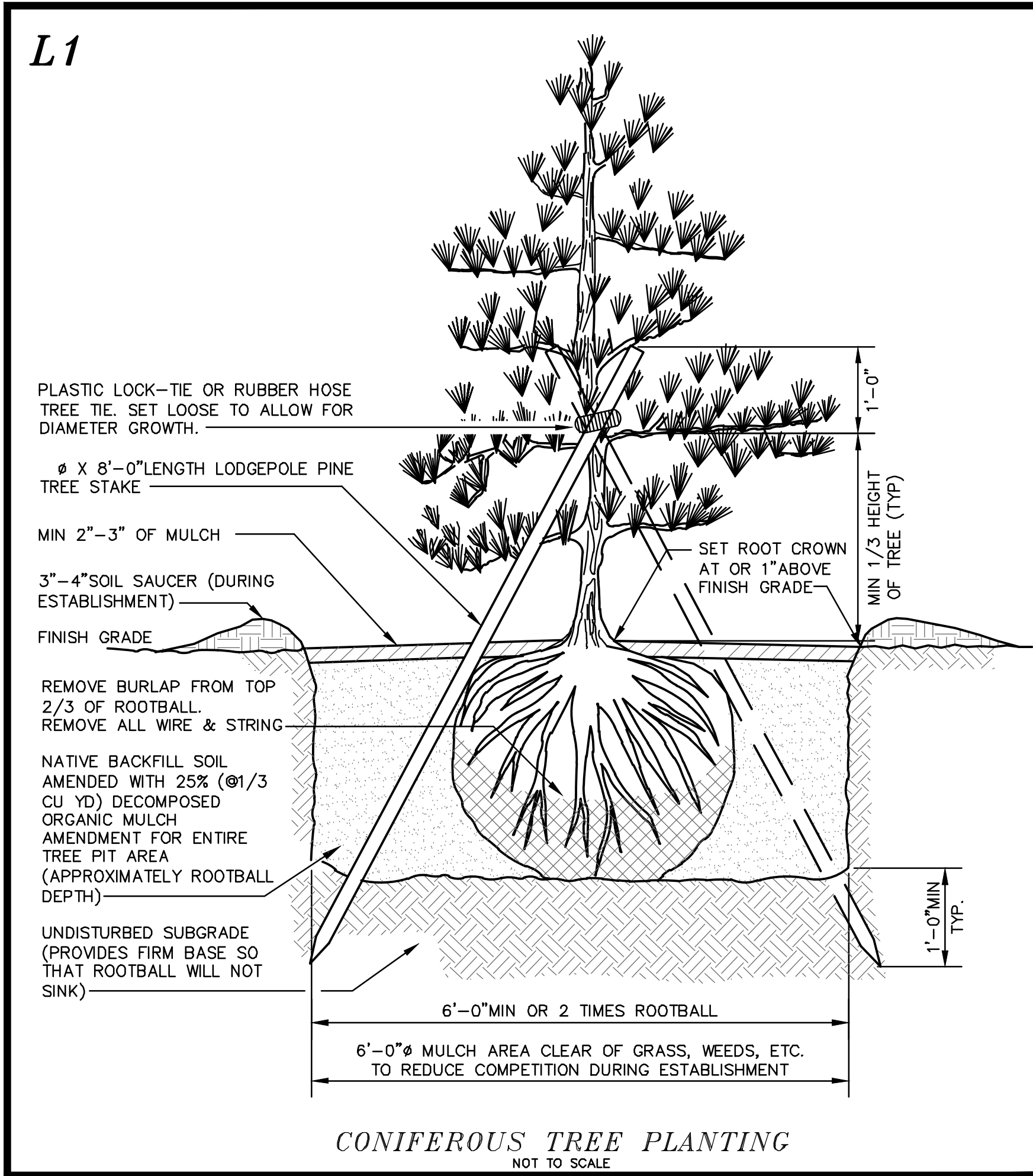
U-103

REVISION	DATE	DESCRIPTION

UTILITY DETAILS
LAND OF RBV REALTY LLC 324 BLACKWATER RD ROCHESTER, N.H. TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER



- NOTES: L6**
- 1.) CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
 - 2.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
 - 3.) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
 - 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
 - 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
 - 7.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
 - 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
 - 9.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
 - 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
 - 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
 - 12.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
 - 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
 - 14.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
 - 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
 - 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
 - 17.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
 - 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
 - 19.) TREES ARE TO BE 3.5" CALIPER 6" OFF THE ROOT BALL.
 - 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
 - 21.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
 - 22.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.

REVISION		DATE	DESCRIPTION

LANDSCAPING CONSTRUCTION DETAILS

LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

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STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER



BOMBUS PENNSYLVANICUS IS A LARGE BUMBLE BEE WITH THE QUEEN MEASURING 1 IN. THE WORKER FROM 0.5 IN. AND THE MALE FROM 0.75 IN IN LENGTH. THE QUEEN IS MOSTLY BLACK, INCLUDING THE LEGS, SPURS AND TEGULAE (BASE OF WING). TERGITE 1, OR THE MOST ANTERIOR BACK PORTION OF THE QUEEN IS OFTEN YELLOW. ESPECIALLY IN THE MIDDLE. WORKER BEES' MIDDLE TERGITES ARE YELLOW. THE TAIL OF THE QUEEN AND THE TAIL OF THE WORKER ARE BLACK. THE CLYPEUS (NOSE) HAS LARGE PUNCTURES EXCEPT ON THE MID LINE. THE HAIR ON THE TOP OF THE HEAD IS BLACK, SHORT AND EVEN. MALES HAVE A YELLOW ABDOMEN WITH A BLACK HEAD AND BLACK STRIPING IN THE LOWER THORAX.



A 7- TO 9-INCH TURTLE WITH YELLOW SPECKLES THAT OFTEN RUN TOGETHER TO FORM STREAKS ON THE CARAPACE. EASILY IDENTIFIED WHEN BASKING FROM ITS CHARACTERISTIC YELLOW THROAT AND CHIN.



A SLENDER BLACK SNAKE MEASURING 36-60 INCHES. BLACK RACERS ARE GLOSSY BLACK ON THE TOP AND BOTTOM WITH A WHITE THROAT AND CHIN. YOUNG RACERS ARE PATTERNED WITH BROWN OR REDDISH PATCHES ON A LIGHTER BASE OF GRAY.



A THIN, SLENDER BRIGHT-GREEN SNAKE MEASURING 10-20 INCHES. THE UNDERSIDE IS WHITE OR A PALE YELLOW.



THE LITTLE BROWN BAT IS A SMALL MAMMAL WITH A BODY LENGTH OF 2 1/2 - 4" AND WEIGHING APPROXIMATELY 1/8 TO 1/2 AN OUNCE. THE WINGSPAN OF LITTLE BROWN BATS RANGE FROM 9 - 11". BATS ARE THE ONLY MAMMALS THAT ENGAGE IN TRULY ACTIVE FLIGHT. AS THEIR NAME SUGGESTS THEY ARE GLOSSY BROWN ABOVE WITH A LIGHTER GRAY COLOR BELOW. THESE BATS CAN LIVE 20 TO 30 YEARS.



THE NORTHERN LONG-EARED BAT IS A MEDIUM-SIZED BAT WITH A BODY LENGTH OF 3 TO 3.7 INCHES BUT A WINGSPAN OF 9 TO 10 INCHES. THEIR FUR COLOR CAN BE MEDIUM TO DARK BROWN ON THE BACK AND TAWNY TO PALE-BROWN ON THE UNDERSIDE. AS ITS NAME SUGGESTS, THIS BAT IS DISTINGUISHED BY ITS LONG EARS, PARTICULARLY AS COMPARED TO OTHER BATS IN ITS GENUS, MYOTIS



THE EASTERN SMALL-DOEDED BAT HAS BROWNISH FUR, OFTEN WITH A GOLDEN SHEEN, THAT CONTRASTS WITH ITS BLACKISH FACE AND EARS, AND BLACKISH-BROWN WINGS AND TAIL MEMBRANE. IT CAN BE DISTINGUISHED FROM OTHER MYOTIS SPECIES BY ITS BLACK MASK AND SMALL SIZE. THE BODY IS LITTLE MORE THAN 3½ INCHES LONG, INCLUDING A 1½-INCH TAIL. ITS SMALL FEET, WHICH PROVIDE THE COMMON NAME, ARE LESS THAN A HALF-INCH AND ITS WINGSPAN RANGES FROM 8½ TO 9 INCHES. THIS SPECIES FLIES SLOWLY AND ERRATICALLY, USUALLY ABOUT ONE TO THREE YARDS ABOVE THE GROUND.



THE SILVER-HAIRED BAT IS A MEDIUM-SIZED BAT WITH VERY DARK FUR TIPPED WITH SILVER OR WHITE. THE WINGS AND TAIL MEMBRANE ARE BLACK. EARS ARE SHORT AND ROUND WITH A SHORT, BLUNT-TIPPED TRAGUS. THE DORSAL SURFACE OF THE TAIL MEMBRANE IS PARTIALLY FURRED AND THE CALCAR LACKS A KEEL.



THE TRICOLORED BAT, FORMERLY KNOWN AS THE EASTERN PIPISTRELLE (PIPISTRELLUS SUBULFATUS), IS A SMALL BAT WEIGHING 0.2 TO 0.3 OUNCES (5 TO 8 GR) AND HAS A WINGSPAN OF 10 TO 12 INCHES. THE TERM "TRICOLORED" REFERS TO THE BAT'S SHOWING A COAT OF THREE COLORS: THE BASE, A YELLOWISH-BROWN IN THE MIDDLE, AND DARK AT THE TIPS. THE WING MEMBRANES ARE BLACKISH, BUT THE FACE AND EARS HAVE A PINKISH COLOR, AN OBVIOUS IDENTIFYING CHARACTERISTIC OF THIS SPECIES IS THE PINK COLOR OF THE SKIN ON THE RADIUS BONE. THE FEET ARE ALSO RELATIVELY LARGE COMPARED TO ITS BODY SIZE.



A SMALL 3-5 INCH TURTLE RECOGNIZED BY NUMEROUS YELLOW SPOTS COVERING A DARK CARAPACE. THE NUMBER OF SPOTS IS VARIABLE. SPOTS CAN ALSO BE FOUND ON THE HEAD AND LIMBS.



A 5-8 INCH TURTLE CHARACTERIZED BY ITS HIGHLY SCULPTED SHELL WHERE EACH LARGE SCUTE TAKES AN IRREGULAR PYRAMIDAL SHAPE. THE NECK AND FORELIMBS ARE ORANGE.

REVISION	DATE	DESCRIPTION

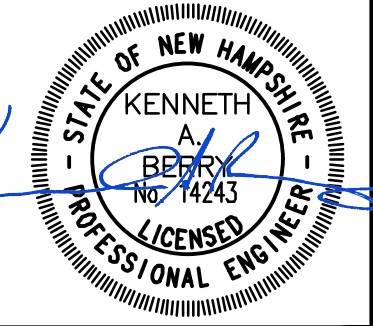
LAND OF
RBV REALTY LLC
324 BLACKWATER RD
ROCHESTER, N.H.
TAX MAP 264, LOT 11

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

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(218-9) CONSTRUCTION SITE EROSION CONTROL DESIGN STANDARDS

- A. TEMPORARY CONSTRUCTION STORMWATER MANAGEMENT DESIGN
- THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED IN PLANNING FOR STORMWATER MANAGEMENT AND EROSION CONTROL AS RELATED TO CONSTRUCTION. (NOTE: THESE STANDARDS ARE IN ADDITION TO REQUIREMENTS THAT MAY BE FOUND IN OTHER SECTIONS OF THE SITE PLAN, SUBDIVISION, AND OTHER LAND USE REGULATIONS OR ORDINANCES. THESE STANDARDS ARE ALSO IN ADDITION TO REQUIREMENTS SET FORTH IN THE NH SMALL MS4 NPDES GENERAL PERMIT, NPDES GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES, NPDES WETLANDS PERMITS [RSA 482-A] AND THE NHDES ALTERATION OF TERRAIN RULES [RSA 485-A:17].)
- (1) ALL MEASURES IN THE PLAN SHALL MEET, AS A MINIMUM, THE BMP'S SET FORTH IN THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3 (2008 OR AS UPDATED) A COPY OF THE NEW HAMPSHIRE STORMWATER MANUAL IS AVAILABLE FROM THE NHDES WEBSITE AT: [HTTPS://WWW.DCS.NH.GOV/WATER/STORMWATER](https://www.dcs.nh.gov/WATER/STORMWATER) NOTE: THE MANUALS AND WEBSITE LINKS IN THIS SECTION ARE PROVIDED FOR INFORMATION AND ARE SUBJECT TO CHANGE. THE MOST CURRENT VERSION OF THE MANUAL AND LINK REFERENCE SHOULD BE USED BY THE APPLICANT.
- (2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE AND SHALL BE REVIEWED AND APPROVED BY DPW PRIOR TO ANY LAND DISTURBANCE.
- (3) WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE MAINTAINED, PROTECTED, OR SUPPLEMENTED. STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION. NATURAL BUFFERS SHALL BE MAINTAINED.
- (4) THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM AND BE LIMITED TO AN AREA ONLY LARGE ENOUGH TO ACCOMMODATE CONSTRUCTION ACTIVITIES FOR A PARTICULAR CONSTRUCTION PHASE.
- (5) MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN STORMWATER RUNOFF SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT. SOIL DISTURBANCE SHALL BE AVOIDED WITHIN ESTABLISHED BUFFER SETBACKS AS DEFINED AND CONSISTENT WITH THE PROVISIONS INCLUDED IN THE CONSERVATION OVERLAY DISTRICT (ZONING ORDINANCE § 27512).
- (6) OFF-SITE SURFACE WATER AND STORMWATER RUNOFF SHALL BE DIVERTED AWAY FROM AREAS OF LAND DISTURBANCE WHERE FEASIBLE OR IMPLEMENT MEASURES TO CONVEY STORMWATER THROUGH THE PROJECT AREA WITHOUT CAUSING EROSION OF SEDIMENT SHALL BE INCLUDED. INTEGRITY OF DOWNSREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
- (7) PERIMETER CONTROLS
- (a) INSTALL SEDIMENT CONTROLS ALONG ANY PERIMETER AREAS OF THE SITE THAT WILL RECEIVE STORMWATER RUNOFF.
- (b) PERIMETER CONTROLS SHALL NOT BE PLACED WITHIN WETLAND AREAS, STREAM CHANNELS, OR WETLAND BUFFERS.
- (8) STABILIZATION
- (a) IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN 5 CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN 100 FEET OF A SURFACE WATERBODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN 3 CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.
- (b) STABILIZATION MEASURES SHALL BE PROVIDED WITH THE SUBMISSION FOR ANY DISTURBANCE ON SLOPES EQUAL TO OR STEEPER THAN 3:1V.
- (c) SPECIFY PERMANENT AND TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES, SEEDING MIXTURES AND RATES, TYPES OF SOO, METHODS OF SEEDBED PREPARATION, EXPECTED SEEDING DATES (OR LIMITATIONS ON SEEDING TIMEFRAMES), TYPE AND RATE OF LIME AND FERTILIZER APPLICATION, AND TYPE AND QUANTITY OF MULCHING FOR TEMPORARY AND PERMANENT CONTROL FACILITIES.
- (9) WINTER CONSTRUCTION
- (a) FOR CONSTRUCTION DURING THE WINTER SEASON, AN ADDITIONAL EROSION AND SEDIMENTATION CONTROL PLAN AND TIMELINE SHALL BE SUBMITTED BY SEPTEMBER 1 TO THE DPW.
- (b) ADDITIONAL TEMPORARY STABILIZATION SHALL BE DEPLOYED FOR THE WINTER SEASON CONSISTENT WITH NEW HAMPSHIRE STORMWATER MANUAL GUIDELINES FOR LAND DISTURBANCE THAT ARE NOT PERMANENTLY STABILIZED BY OCTOBER 1 OR IMPLEMENTED PER THE DISCRETION OF DPW.
- (c) ACTIVE CONSTRUCTION AREAS SHOULD BE LIMITED TO THE AREA NECESSARY TO GAIN ACCESS AND SUSTAIN PLANNED IMPROVEMENTS THAT WILL BE COMPLETED DURING THE WINTER SEASON.
- (10) SEDIMENT BASINS AND TRAPS
- (a) USE OF TEMPORARY SEDIMENT BASINS SHOULD AVOID ANY ADDITIONAL VEGETATION CLEARING OR SITE DISTURBANCE NOT OTHERWISE NEEDED FOR POST-CONSTRUCTION. SEDIMENT BASIN LOCATIONS SHALL BE REVIEWED BY DPW PRIOR TO CONSTRUCTION AND SHALL CONSIDER THE POTENTIAL FOR OFF-SITE IMPACTS, INCLUDING PUBLIC SAFETY, ESPECIALLY AS IT RELATES TO SEDIMENT MOVEMENT OR SEDIMENT BASIN FAILURE, AND ALTERNATIVE SEDIMENT CONTROLS APPROVED BY DPW SHALL BE USED WHERE SITE LIMITATIONS PRECLUDE A SAFE DESIGN.
- (11) WASTE CONTROL
- (a) PROCEDURES SHALL BE IMPLEMENTED TO CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE DURING THE CONSTRUCTION PROCESS THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
- (12) INSPECTION SCHEDULE
- (a) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED. A PROPOSED INSPECTION SCHEDULE, IN ACCORDANCE WITH THE GUIDELINES OF THE NEW HAMPSHIRE STORMWATER MANUAL, OR NPDES GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES SHALL BE INCLUDED IN THE SUBMITTAL.
- (13) REMOVAL OF TEMPORARY CONTROLS
- (a) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER THE SITE IS STABILIZED UNLESS THE MEASURES ARE INTENDED TO BE LEFT IN PLACE AND APPROVED BY DPW ON A CASE-BY-CASE BASIS. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN THREE (3) CALENDAR DAYS UNLESS CONDITIONS DICTATE OTHERWISE.

(218-10) POST CONSTRUCTION STORMWATER MANAGEMENT DESIGN STANDARDS

- (1) NO PERSON SHALL LOCATE, STORE, DISCHARGE, OR PERMIT THE DISCHARGE OF ANY TREATED, UNTREATED, OR INADEQUATELY TREATED LIQUID, GASEOUS, OR SOLID MATERIALS OF SUCH NATURE, QUANTITY, NOXIUSNESS, TOXICITY, OR TEMPERATURE THAT MAY RUN OFF, SEEP, PERCOLATE, OR WASH INTO SURFACE WATER OR GROUNDWATER SO AS TO CONTAMINATE, POLLUTE, HARM, IMPAIR, OR NOT MEET WATER QUALITY STANDARDS OF SUCH WATERS.
- (2) ALL STORAGE FACILITIES FOR FUEL, CHEMICALS, CHEMICAL OR INDUSTRIAL WASTES, AND BIODEGRADABLE RAW MATERIALS SHALL MEET THE REGULATIONS OF NHDES, INCLUDING THOSE INVOLVING UNDERGROUND STORAGE TANKS, ABOVEGROUND STORAGE TANKS, HAZARDOUS WASTE, AND REQUIRED BMPS FOR GROUNDWATER PROTECTION (ENV-WO 401).
- (3) THE PHYSICAL, BIOLOGICAL, AND CHEMICAL INTEGRITY OF THE RECEIVING WATERS SHALL NOT BE DEGRADED BY THE STORMWATER RUNOFF FROM THE DEVELOPMENT SITE.
- (4) DEICING MATERIAL STORAGE AREAS SHALL BE LOCATED UNDER COVER AND LOADING, AND OFFLOADING AREAS SHALL BE DESIGNED AND MAINTAINED SUCH THAT UNTREATED STORMWATER RUNOFF IS NOT DISCHARGED TO RECEIVING WATERS. SNOW STORAGE AREAS SHALL BE LOCATED SUCH THAT NO DIRECT UNTREATED DISCHARGES TO RECEIVING WATERS ARE POSSIBLE FROM THE STORAGE SITE. STORMWATER RUNOFF FROM SNOW AND DEICING STORAGE AREAS SHALL ENTER TREATMENT AREAS AS SPECIFIED ABOVE BEFORE BEING DISCHARGED TO RECEIVING WATERS OR ALLOWED TO INFILTRATE INTO THE GROUNDWATER. SEE NHDES GUIDANCE FACTS SHEET ON STORAGE AND MANAGEMENT OF DEICING MATERIALS, A COPY OF WHICH IS AVAILABLE ON THE NHDES WEBSITE AT: [HTTPS://WWW.DCS.STATE.NH.US/NH-MS4/WP-CONTENT/UPLOADS/2020/11/SALTSTORAGE.PDF](https://www.dcs.state.nh.us/NH-MS4/WP-CONTENT/UPLOADS/2020/11/SALTSTORAGE.PDF)

(218-11) INSTALLATION, CONSTRUCTION, MAINTENANCE AND INSPECTION REQUIREMENTS AND RESPONSIBILITY

- A. REQUIREMENTS
- (1) SITE DEVELOPMENT SHALL NOT BEGIN BEFORE THE SMECP HAS BEEN REVIEWED AND APPROVED BY THE CITY AND IF APPLICABLE, ALL PLANNING BOARD CONDITIONS HAVE BEEN FULFILLED. BMP'S SHALL BE INSTALLED AS DESIGNED AND SCHEDULED AS A CONDITION OF FINAL APPROVAL OF THE SMECP. IN CASES WHERE A SWPPP IS PROVIDED TO COMPLY WITH THE EPA CONSTRUCTION GENERAL PERMIT, THE SWPPP CONTENTS CAN BE USED TO FULFILL COMPONENTS OF THE SMECP IN THE FINAL REVIEW AND APPROVAL. IN ADDITION, SITE DEVELOPMENT SHALL NOT BEGIN UNTIL A NOI HAS BEEN ACKNOWLEDGED BY THE EPA (IF APPLICABLE).
- (2) THE DPW OR DEPARTMENT OF PLANNING AND DEVELOPMENT MAY REQUIRE A BOND OR OTHER SECURITY WITH SURETY CONDITIONS IN AN AMOUNT SATISFACTORY TO THE CITY, PROVIDING FOR THE ACTUAL CONSTRUCTION INSTALLATION, AND REMOVAL OF SUCH MEASURES WITHIN A PERIOD SPECIFIED BY THE CITY AND EXPRESSED IN THE BOND OR THE SECURITY.
- (3) THE DEPARTMENT OF PLANNING AND DEVELOPMENT, DPW, OR OFFICE OF CODE ENFORCEMENT MAY REQUIRE THE OWNER OR HIS/HER AUTHORIZED AGENT TO DEPOSIT IN ESCROW WITH THE CITY AN AMOUNT OF MONEY SUFFICIENT TO COVER THE CITY'S COST FOR INSPECTION AND ANY PROFESSIONAL ASSISTANCE REQUIRED FOR SITE COMPLIANCE AND MONITORING.
- (4) THE OWNER OF RECORD OF THE PROPERTY SHALL RECORD THE NOTICE OF DECISION AND A STORMWATER INSPECTION AND MAINTENANCE AGREEMENT AT THE REGISTRY OF DEEDS. THE STORMWATER INSPECTION AND MAINTENANCE AGREEMENT SHALL INCLUDE A MAINTENANCE AND INSPECTION PLAN MEETING ALL REQUIREMENTS IN PART E(1), BELOW.
- B. RESPONSIBILITY
- (1) RESPONSIBLE PARTIES DURING CONSTRUCTION
- (a) COMMERCIAL AND INDUSTRIAL DEVELOPMENT AND/OR REDEVELOPMENT THE OWNER, AND OWNER'S LEGALLY DESIGNATED REPRESENTATIVE (IF ANY) SHALL ALL HOLD RESPONSIBILITY FOR IMPLEMENTING THE SMECP. THIS INCLUDES BUT IS NOT LIMITED TO THE INSTALLATION, CONSTRUCTION, INSPECTION, AND MAINTENANCE OF ALL STORMWATER MANAGEMENT AND EROSION CONTROL MEASURES REQUIRED BY THE PROVISIONS OF THIS CHAPTER.
- (b) RESIDENTIAL DEVELOPMENT AND REDEVELOPMENT THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE SMECP. EXCLUDING ANY POST-DEVELOPMENT REQUIREMENTS OF PLAN IMPLEMENTATION, THERE ARE TWO WAYS FOR THE CITY TO CONSIDER AN OWNER TO BE REQUIRED AS THE RESPONSIBLE PARTY (THE OWNER MAY ALSO BE REQUIRED TO COMPLY WITH OTHER REGULATING ENTITIES' ADDITIONAL REQUIREMENTS):
- (i) THE OWNER COMPLETES THE PROJECT IN A MANNER SATISFACTORY TO THE CITY AND IF A NOI HAS BEEN FILED FOR THE PROJECT, THE NOI PERMITTEE FILES A NOTICE OF TERMINATION (NOT WITH THE EPA IN ACCORDANCE WITH THE TERMS OF THE FEDERAL REQUIREMENTS).
- (ii) THE OWNER PASSES LEGAL RESPONSIBILITY FOR THE SMECP TO ANOTHER COMPETENT PARTY, IN THE CASE OF A NEW SUBDIVISION WHERE LOTS MAY BE TRANSFERRED TO A DIFFERENT ENTITY FOR CONSTRUCTION OF THE BUILDINGS, IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT THE OWNER HAS A LEGAL BASIS TO REQUIRE COMPLIANCE BY THE NEW ENTITY.
- (c) INDIVIDUAL HOMEOWNER DEVELOPMENT
- THE HOMEOWNER OR A HOMEOWNER WHO HAS TAKEN CONTROL OF A SUBDIVIDED PROPERTY BEARS RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED SMECP. IF THE HOMEOWNER IS CONTRACTING BUILDING SERVICES TO ANOTHER PERSON OR ENTITY, THE HOMEOWNER MAY CHOOSE TO PASS LEGAL RESPONSIBILITY OF COMPLIANCE TO THE CONTRACTED ENTITY. IF THE RESPONSIBILITY IS NOT PASSED, THE HOMEOWNER REMAINS THE RESPONSIBLE PARTY AND SHALL COMPLY WITH THE TERMS OF THE ORIGINAL SMECP.
- (2) RESPONSIBLE PARTIES – POST-CONSTRUCTION / LONG-TERM MAINTENANCE, LONG-TERM MAINTENANCE OF APPROVED STORMWATER PRACTICES SHALL BE ENSURED THROUGH THE STORMWATER INSPECTION AND MAINTENANCE PLAN AS DESCRIBED IN PART D(1), BELOW. RESPONSIBILITY FOR IMPLEMENTING THE INSPECTION AND MAINTENANCE PLAN IS AS FOLLOWS:
- (a) COMMERCIAL AND INDUSTRIAL DEVELOPMENT AND/OR REDEVELOPMENT THE OWNER, AND OWNER'S LEGALLY DESIGNATED REPRESENTATIVE (IF ANY) SHALL ALL HOLD RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE AND INSPECTION PLAN. THE RESPONSIBLE PARTY(IES) MAY CONTRACT WITH ONE OR MORE THIRD PARTIES TO CONDUCT THE INSPECTION AND MAINTENANCE ACTIVITIES BUT SHALL REMAIN RESPONSIBLE FOR ENSURING LONG-TERM EFFECTIVENESS AND MAINTAINING RECORDS AS REQUIRED BY PART D(1), BELOW.
- (b) RESIDENTIAL DEVELOPMENT AND/OR REDEVELOPMENT FOR RESIDENTIAL DEVELOPMENT AND/OR REDEVELOPMENT WHERE A HOMEOWNERS' ASSOCIATION WILL NOT BE ESTABLISHED, THE INDIVIDUAL HOMEOWNERS SHARE JOINT AND SEVERAL LIABILITY FOR IMPLEMENTING THE MAINTENANCE AND INSPECTION PLAN. FOR RESIDENTIAL DEVELOPMENTS WHERE A HOMEOWNERS' ASSOCIATION WILL BE ESTABLISHED THE FOLLOWING APPLIES:
- (i) THE HOMEOWNERS' ASSOCIATION SHALL ASSUME RESPONSIBILITY AND BE SPECIFIED AS SUCH IN THE DOCUMENTATION THAT ESTABLISHES THE ASSOCIATION.
- (ii) IF THE HOMEOWNERS' ASSOCIATION IS DISSOLVED OR DISCONTINUED, THE INDIVIDUAL HOMEOWNERS SHARE JOINT AND SEVERAL LIABILITY FOR MAINTENANCE AND INSPECTION ACTIVITIES. THE RESPONSIBLE PARTY(IES) MAY CONTRACT WITH ONE OR MORE THIRD PARTIES TO CONDUCT THE INSPECTION AND MAINTENANCE ACTIVITIES BUT SHALL REMAIN RESPONSIBLE FOR ENSURING LONG-TERM EFFECTIVENESS AND MAINTAINING RECORDS AS REQUIRED BY PART D(1), BELOW.
- C. POST-CONSTRUCTION INSPECTION AND MAINTENANCE
- (1) THE STORMWATER INSPECTION AND MAINTENANCE AGREEMENT SHALL INCLUDE AN INSPECTION AND MAINTENANCE PLAN FOR POST-CONSTRUCTION MONITORING OF STORMWATER BMP'S TO ENSURE LONG-TERM PERFORMANCE AND FUNCTIONALITY, INCLUDING THE FOLLOWING:
- (a) DETAILS OF EACH BMP, INCLUDING A PLAN SHOWING THE LOCATION OF EACH BMP
- (b) NAME OF RESPONSIBLE PARTY FOR INSPECTIONS AND MAINTENANCE
- (c) PROPOSED SCHEDULE OF INSPECTION FREQUENCY CONSISTENT WITH THE NEW HAMPSHIRE STORMWATER MANUAL
- (d) INSPECTION CHECKLIST AND PHOTO DOCUMENTATION REQUIREMENTS
- (e) A SAMPLE LOG TO DOCUMENT EACH INSPECTION AND MAINTENANCE ACTIVITY
- (f) A SAMPLE DEICING LOG TO TRACK AMOUNT AND TYPE OF DEICING MATERIALS APPLIED TO THE SITE
- (g) DESCRIPTION OF MAINTENANCE RESPONSE ACTIONS, INCLUDING ACTIONS TO BE TAKEN IF INVASIVE SPECIES BEGIN TO GROW IN THE BMP'S
- (h) DOCUMENTATION OF HOW REPORTS WILL BE COMPLETED, SUBMITTAL AND RETENTION PROCEDURES, AND CONTINGENCY PLANS IF FUTURE MAINTENANCE IS REQUIRED
- (2) THE OWNER OF RECORD OF THE PROPERTY SHALL RECORD THE APPROVED STORMWATER INSPECTION AND MAINTENANCE AGREEMENT AT THE REGISTRY OF DEEDS.
- (3) INSPECTIONS SHALL BE CONDUCTED BY A THIRD PARTY, QUALIFIED PROFESSIONAL.
- (4) RESPONSIBLE PARTY(IES) SHALL REMAIN RESPONSIBLE FOR ENSURING LONG-TERM EFFECTIVENESS AND MAINTAINING RECORDS AS REQUIRED BY THE INSPECTION AND MAINTENANCE PLAN.
- (5) INSPECTIONS OF THE POST-CONSTRUCTION BMP'S SHALL BE CONDUCTED AT THE FREQUENCY SPECIFIED IN THE INSPECTION AND MAINTENANCE PLAN. COPIES OF INSPECTION REPORTS SHALL BE MADE AVAILABLE UPON REQUEST TO DPW.
- D. PROVIDING SITE ACCESS FOR MAINTENANCE AND INSPECTION MUNICIPAL STAFF OR THEIR DESIGNATED AGENT SHALL HAVE SITE ACCESS TO COMPLETE ROUTINE INSPECTIONS TO ENSURE COMPLIANCE WITH THE APPROVED SMECP. SUCH ACCESS SHALL BE IMPLYED WITH THE ISSUANCE OF A SWP AND/OR AS INDICATED IN DEVELOPMENT APPROVALS. SUCH INSPECTIONS SHALL BE CONDUCTED AT A TIME AGREED UPON WITH THE OWNER OF RECORD. IF PERMISSION TO INSPECT IS DENIED BY THE LANDOWNER, IT SHALL BE DEEMED A VIOLATION. MUNICIPAL STAFF OR THEIR DESIGNATED AGENT RESERVE THE RIGHT TO SECURE AN ADMINISTRATIVE INSPECTION WARRANT FROM THE DISTRICT OR SUPERIOR COURT UNDER RSA 595-B ADMINISTRATIVE INSPECTION WARRANTS. EXPENSES ASSOCIATED WITH INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- E. NOTIFICATION FOR SPILLS OR OTHER NON-STORMWATER DISCHARGES AS SOON AS ANY OWNER, OWNER'S AGENT, OR DESIGNATED PERSON RESPONSIBLE FOR A FACILITY, SITE, ACTIVITY, OR OPERATION HAS INFORMATION OF ANY KNOWN OR SUSPECTED RELEASE OF POLLUTANTS OR NON-STORMWATER DISCHARGES WHICH ARE RESULTING OR MAY RESULT IN ILLIOT DISCHARGES OR POLLUTANTS DISCHARGING INTO STORMWATER, THE MUNICIPAL STORM DRAIN SYSTEM, STATE WATERS, OR WATERS OF THE UNITED STATES, SAID PERSON SHALL TAKE ALL NECESSARY STEPS TO ENSURE THE DISCOVERY, CONTAINMENT, AND CLEANUP OF SUCH RELEASE TO MINIMIZE THE EFFECTS OF THE DISCHARGE. IF SAID INDIVIDUAL IS NOT COMPETENT TO ASSESS, CONTAIN, OR CLEAN UP, THAT PERSON SHALL IMMEDIATELY NOTIFY ANOTHER COMPETENT INDIVIDUAL OR FIRM. IF THE SUBSTANCE POSES AN IMMEDIATE HEALTH OR SAFETY CONCERN (EMERGENCY SITUATION), THE CITY OF ROCHESTER EMERGENCY SERVICES SHALL IMMEDIATELY BE NOTIFIED, AND THEN NOTIFICATION SHALL BE MADE TO THE CITY OF ROCHESTER OFFICE OF BUILDING, ZONING AND LICENSING SERVICES, AND THE DPW. NOTIFYING THE CITY OF ROCHESTER DOES NOT PRECLUDE, SUPERSEDE, OR PROVIDE ANY LIABILITY COVERAGE FOR ANY FEDERAL- OR STATE REQUIRED NOTIFICATIONS RELATED TO MATERIAL SPILLS. IN NONEMERGENCY SITUATIONS, NOTIFICATION SHOULD BE MADE AS SOON AS POSSIBLE; HOWEVER, NO LATER THAN THE NEXT BUSINESS DAY FOLLOWING AN EVENT.

REVISION		DATE	DESCRIPTION

ROCHESTER CH. 218 STORMWATER REQUIREMENTS & NOTES	
LAND OF RBV REALTY LLC 324 BLACKWATER RD ROCHESTER, N.H. TAX MAP 264, LOT 11	

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863	
SCALE : NONE	DATE : OCTOBER 20, 2023
FILE NO. : DB 2021-132	
