



City of Rochester, New Hampshire

Zoning Board of Adjustment

Special Exception Application

TO: BOARD OF ADJUSTMENT
CITY OF ROCHESTER

DO NOT WRITE IN THIS SPACE

CASE NO. 2-23-32

DATE FILED 7/19/23

CJ
ZONING BOARD CLERK

Robert Baldwin Central Falls Realty
Applicant: Bruce Fabbri Echo Property Management, LLC
E-mail: bruce@echoproperties.us Phone: Bruce: 603-918-8443
robert@centralfallsrealty.com Phone: Robert: 603-986-2373
Applicant Address: PO Box 2374 Hampton, NH
Property Owner: Echo Property Management, LLC
Property Owner Address: PO Box 2374 Hampton, NH
Variance Address: 5 Lois Street
Map Lot and Block No: Map 115, Lot 8-1, 8-2, 8-3, 8-4
Description of Property (give length of lot lines): 40.20' x 78.36' x 40.20' x 78.36'
Proposed use or existing use affected: _____
The undersigned hereby requests a special exception as provided in section 275-30.5 (B) of the Zoning Ordinance to permit See Narrative.

To Permit a Single Family home to be built in the R-1 Zone on a lot of record less than the min. req.

The undersigned alleges that the following circumstances exist which prevent the proper enjoyment of his land under the strict terms of the Zoning Ordinance and thus constitute grounds for a Special Exception.

Signed: _____

Date: July 19, 2023



City of Rochester, New Hampshire

Zoning Board of Adjustment

275.22 Special Exception Sheet

(a) General Provisions

- (1) Certain uses, structures, or conditions are designed as Special Exceptions (E) in this ordinance. Upon application, the Board of Adjustment may, subject to the appropriate conditions and safeguards, grant a permit for these special exceptions and no others.
- (2) Special Exceptions, for which conformance to additional standards is required, may be permitted in their respective districts, subject to the satisfaction of the requirements and standards set forth in this section 275.22, in addition to all other requirements of this ordinance. All such uses are hereby declared to possess such special characteristics that each shall be considered as an individual case.
- (3) The Board of Adjustment may require that a site plan for development for a proposed special exception be submitted showing the location of all buildings, parking areas, traffic access, open spaces, landscaping, and any other pertinent information that may be necessary to determine if the proposed special exception is in harmony with the intent of this ordinance.

(b) Considerations Governing Granting Special Exceptions: In acting upon an application for a special exception, the Board of Adjustment shall take into consideration whether:

- (1) The specific site is an appropriate location for the proposed use or structure. Yes No

Reasoning: _____

See Narrative _____

- (2) The proposal is detrimental, injurious, obnoxious, or offensive to the neighborhood. Yes No

Reasoning: See Narrative _____

- (3) There will be undue nuisance or serious hazard to pedestrian or vehicular traffic, including the location and design of access ways and off street parking. Yes No Reasoning: _____

See Narrative _____

- (4) Adequate and appropriate facilities and utilities will be provided to ensure the proper operation of the proposed use or structure. Yes No Reasoning: _____

See Narrative _____

- (5) The proposed use or structure is consistent with the spirit of the ordinance and the intent of the Master Plan. Yes No Reasoning: _____

See Narrative _____

Please check section 275.22 of the Zoning Ordinance for any additional specific conditions that apply to your Special Exception request.



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

July 19, 2023

City of Rochester Zoning Board

Attention: Shanna Saunders, Director of Planning & Development

33 Wakefield Street

Rochester, NH 03867,

Re: Echo Property Management LLC
Lois Street
Tax Map 115, Lot 8-1, 8-2, 8-3, & 8-4
Special Exception Request

Ms. Saunders

On behalf of our client, Echo Property Management LLC, Berry Surveying & Engineering (BS&E) is submitting Special Exceptions to the Zoning Board of Adjustment for existing lots of record on Lois Street and Margaret Street. The lots are referenced as Tax Map 115, Lot 8-1, 8-2, 8-3, & 8-4 on the Restoration Plan approved by the Council. The current GIS system does not show this as a separate lot as of yet. The special exception request is to build on a lot that does not provide the required land area as provided in Chapter 275-30.5 B whereas the lot does not comply with the preceding section 275-30.5 A (5)

Background and General Narrative:

Echo Property Management LLC purchased the property at 5 Lois Street which is between Lois Street and Margaret Street. The house was in disrepair and has now been re-habilitated. Since the purchase the property was surveyed by BS&E and it was found that there were separate parcels of land with the purchase that had been improperly merged in the past. The applicants, with the aid of BS&E, worked through the restoration process with City Staff and the restoration was approved by the Rochester City Council.

The parcels are located in the Residence -1 (R1) Zone and have municipal sewer and water. The minimum frontage in the zone is 100' and the minimum land area requirement is 10,000 Square Feet (Sq.Ft.). The minimum front setback requirement is 10', side setback is 10' and the minimum rear setback is 20'. The maximum lot coverage is 35% and the maximum building coverage is 30%

The applicant is applying for building permits on the four restored parcels and has been informed that due to the non-conformance in lot area, a Special Exception is required under Chapter 275-30.5 B. The existing lot 8-1 is 3,133 Sq.Ft., lot 8-2 is 3,134 Sq.Ft., lot 8-3 is 3,134 Sq.Ft., and lot 8-4 is 3,171 Sq.Ft. in size. The proposed structure to the roof line is 869 Sq.Ft., and the

driveway is proposed to be porous pavement. The building coverage and lot coverage requirements are satisfied as are the building setback requirements. It is the fact that the minimum lot areas are not met that requires the special exception.

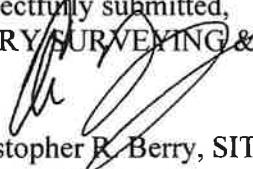
Special Exception Criteria.

- (1) *The specific site is an appropriate location for the proposed use or structure.*
The lot is a lot of record in the R-1 Zone which permits the construction of single-family homes. The applicant is proposing to build a single-family home and stay within the required setbacks areas.
- (2) *The proposal is no detrimental, injurious, obnoxious, or offensive to the neighborhood.*
The proposed single-family use, which is permitted within the zone is no more detrimental, injurious, obnoxious or offensive than the other single-family homes in the neighborhood. The applicant is able to comply with all other zoning requirements.
- (3) *There will be undue nuisance or serious hazard to pedestrian or vehicular traffic, including the location and design of access ways and off-street parking.*
There is no obstruction or hazard created to pedestrian or vehicular traffic as the result of a single-family home being built within the R-1 Zone. The home is positioned so that there is an 18' driveway, 18' deep and is situated out of the public right of way. This is to ensure that year-round maintenance, construction and re-construction can occur. This accommodates two parking spots on private property.
- (4) *Adequate and appropriate facilities and utilities will be provided to ensure the proper operation of the proposed use or structure.*
If the home is to be serviced by public sewer and water utilities. Plans for the utilities have been submitted to DPW as part of the building permit process.
- (5) *The proposed use or structure is consistent with the spirit of the ordinance and the intent of the Master Plan.*
The proposed use is permitted in the zone. This is a single-family neighborhood and the applicant is proposing to build single family homes.



We hope the board finds this project is worthy of a special exception and approves the request.
Thank you all for your time and attention this matter.

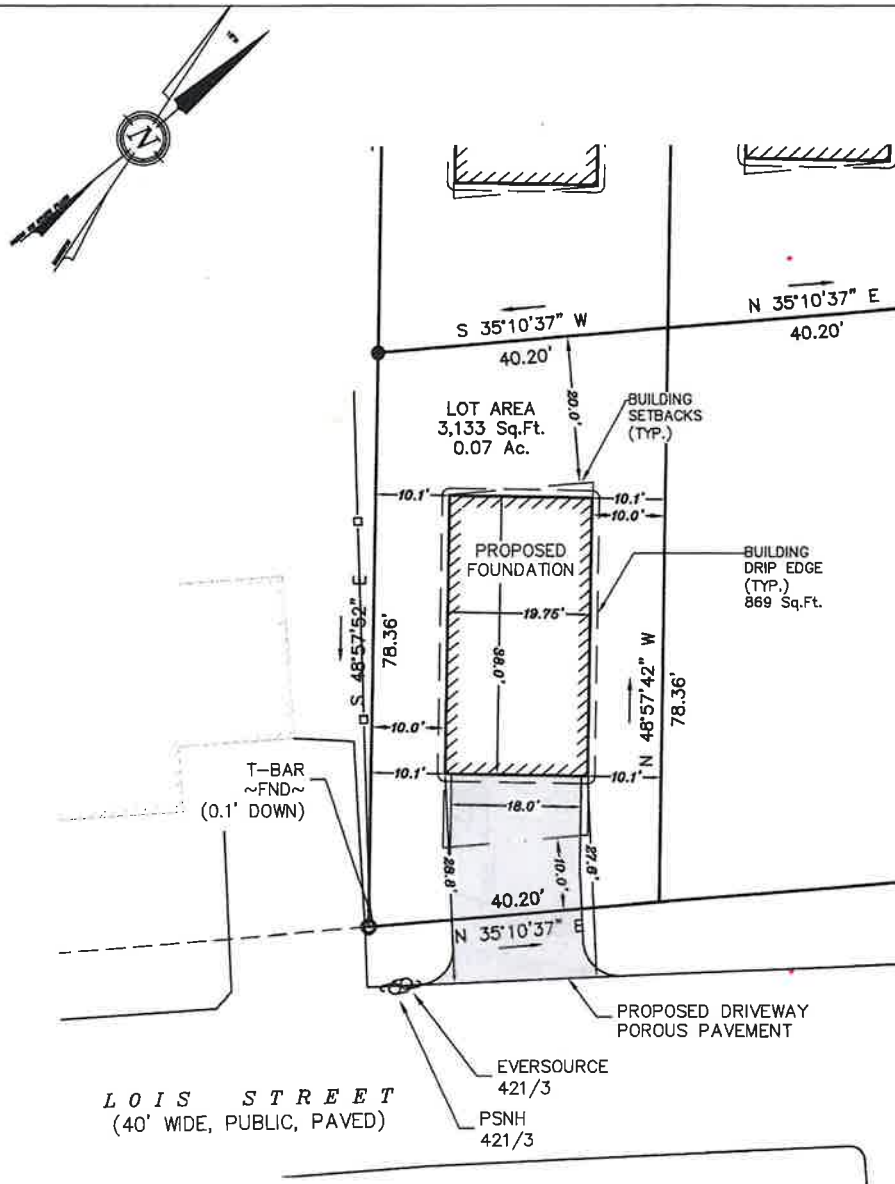
Respectfully submitted,
BERRY SURVEYING & ENGINEERING


Christopher R. Berry, SIT
Principal, President



BERRY SURVEYING & ENGINEERING

335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com



I HEREBY CERTIFY THAT THE FOUNDATION DEPICTED
HEREON WILL COMPLY WITH THE BUILDING SETBACKS SET
FORTH IN THE ZONING ORDINANCE OF THE CITY OF ROCHESTER

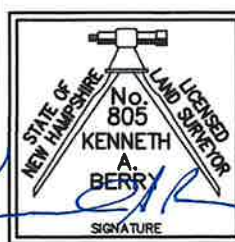
THIS IS NOT A BOUNDARY SURVEY

ZONE:
RESIDENTIAL-1

SETBACKS:
FRONT: 10.0'
SIDE: 10.0'
REAR: 20.0'

S.C.R.D.:
BOOK 4864, PAGE 853
PLAN #

PLOT PLAN
FOR
ECHO PROPERTY MANAGEMENT, LLC
LOIS STREET
ROCHESTER, N.H.
TAX MAP 115, LOT 8-1



BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

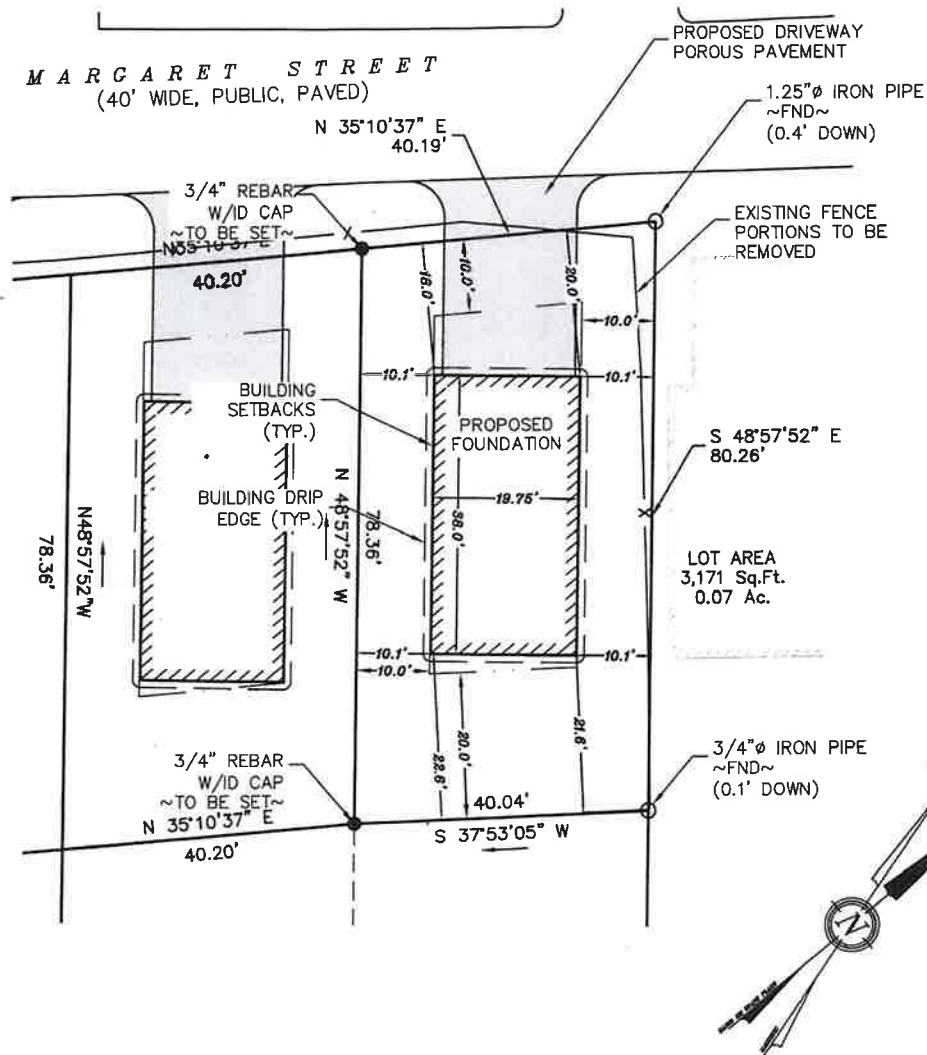
SCALE : 1 IN. EQUALS 20 FT.

DATE : OCTOBER 20, 2022

FILE NO. : DB 2021 - 029

FILE NO. : DB 2021 - 029

MARGARET STREET
(40' WIDE, PUBLIC, PAVED)



I HEREBY CERTIFY THAT THE FOUNDATION DEPICTED
HEREON WILL COMPLY WITH THE BUILDING SETBACKS SET
FORTH IN THE ZONING ORDINANCE OF THE CITY OF ROCHESTER

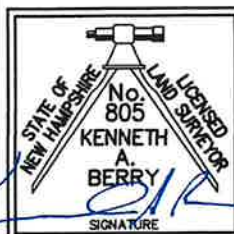
THIS IS NOT A BOUNDARY SURVEY

ZONE:
RESIDENTIAL-1

SETBACKS:
FRONT: 10.0'
SIDE: 10.0'
REAR: 20.0'

S.C.R.D.:
BOOK 4864, PAGE 853
PLAN #

PLOT PLAN
FOR
ECHO PROPERTY MANAGEMENT, LLC
LOIS STREET
ROCHESTER, N.H.
TAX MAP 115, LOT 8-4



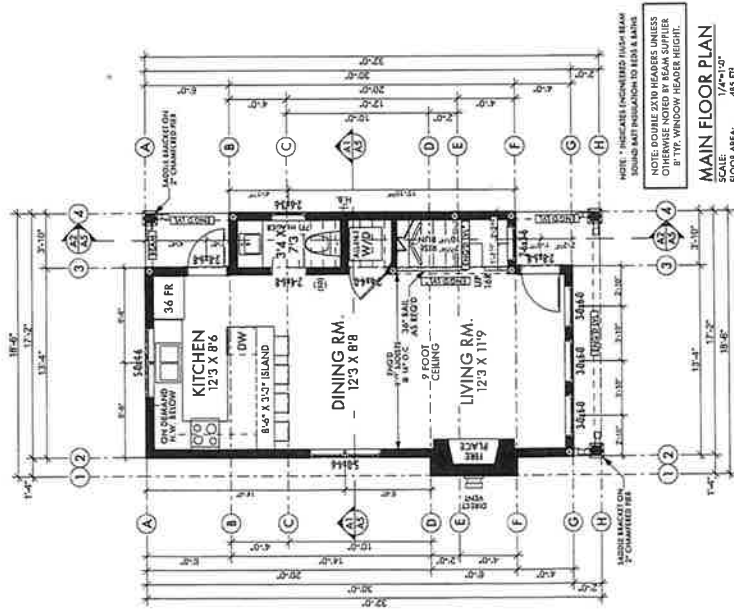
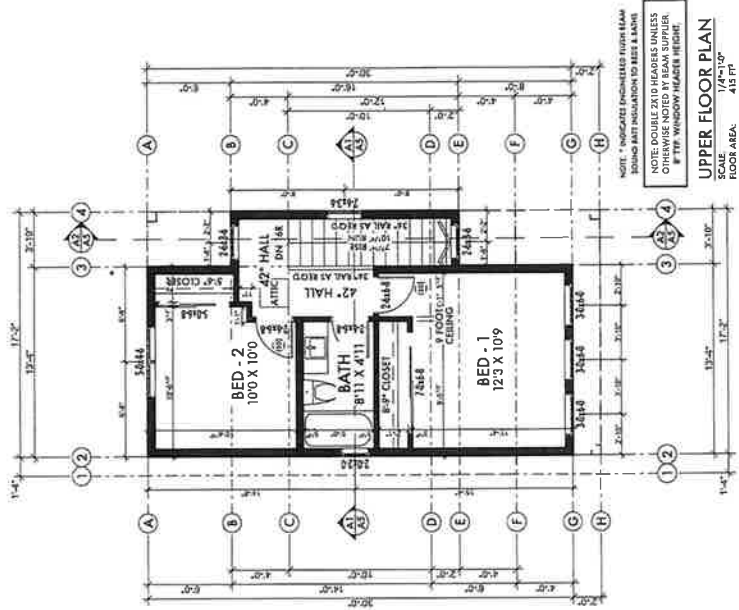
BERRY SURVEYING
& ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : OCTOBER 20, 2022

FILE NO. : DB 2021 - 029



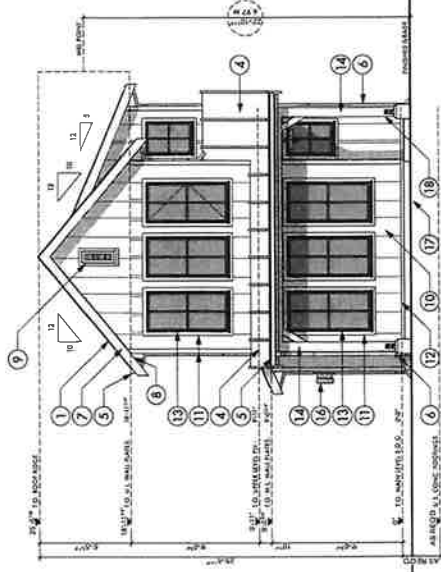
ISSUED FOR BUILDING PERMIT

PROJECT: PROPOSED RESIDENCE
CITY: ARIZONA
SHEET: 1 OF 1

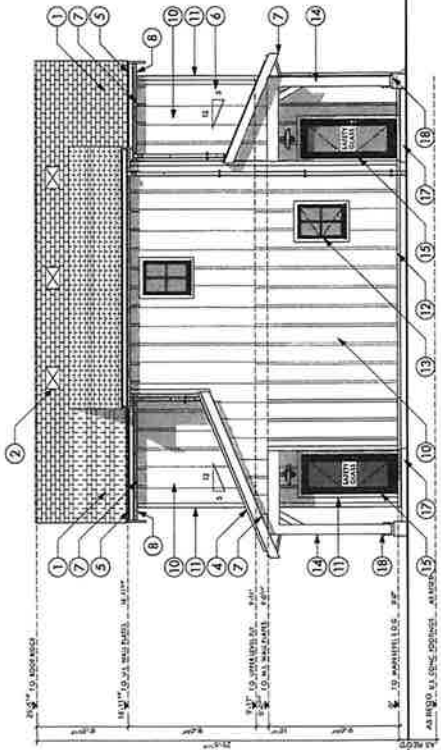
JEREMY NEWELL
DESIGN, INC.
www.jeremynewell.com

A2
FLOOR PLAN(S)

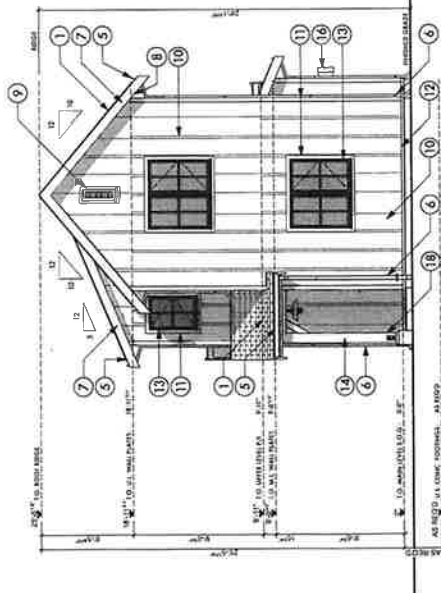
30-2



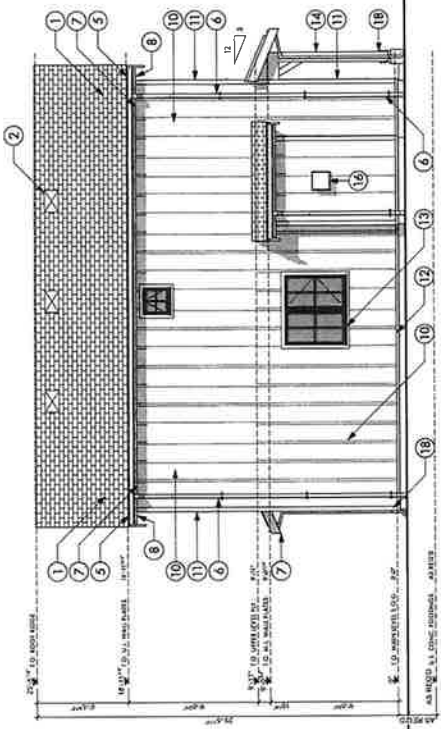
FRONT - ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT - ELEVATION
SCALE: 1/4" = 1'-0"



REAR - ELEVATION
SCALE: 1/4" = 1'-0"



LEFT - ELEVATION
SCALE: 1/4" = 1'-0"

- | | | | | | |
|--|--|--|--|---|---|
| 1 25YR+ FREEGLASS SHINGLE ROOFING
DITCH ON TO SLOPES UNDER 4/12 | 4 STANDING SEAM METAL ROOF
DITCH ON TO SLOPES UNDER 4/12 | 7 5/4" x 7" JACO BOARD ON
2" CONT. VENT STRIP AT EAVE | 10 PAINTED COMPOSITE DOORS & INTERIOR
5/4" x 7" JACO BOARD ON 2" CONT. VENT STRIP AT EAVE | 13 VINYL WINDOW (JACO) DOUBLE PANE
5/4" x 7" JACO BOARD ON 2" CONT. VENT STRIP AT EAVE | 16 DIRECT VENT PER MANUFACTURER'S SPECS |
| 2 REPAIR TO REAR AND SIDE YARDS
ORIENT TO REAR AND SIDE YARDS | 5 REPAIR TO REAR AND SIDE YARDS
ORIENT TO REAR AND SIDE YARDS | 8 REPAIR TO REAR AND SIDE YARDS
ORIENT TO REAR AND SIDE YARDS | 11 2" HARDIE TBM BRICK MOULD AND CORNER CAPS | 14 2" X 4" HARDIE CLAD POST & BEAMS | 17 RATIO SUBJECT TO BE DETERMINED |
| 3 BVENT PER MANUFACTURER'S SPECS | 6 DOWNSCUTS TO ROCK PITS | 9 12" x 20" FUNCTIONAL CABLE VENT | 12 FLASHING UNDER SIDING / OVER FOUNDATION | 15 GLAZED ENTRY DOOR PER OWNER | 18 SPOON, NAIL & PACKED OVER 12" x 12"
CONC. FILL CHAMFERED TO 4" x 4" |

ISSUED FOR BUILDING PERMIT

PROJECT NAME
PROPOSED RESIDENCE

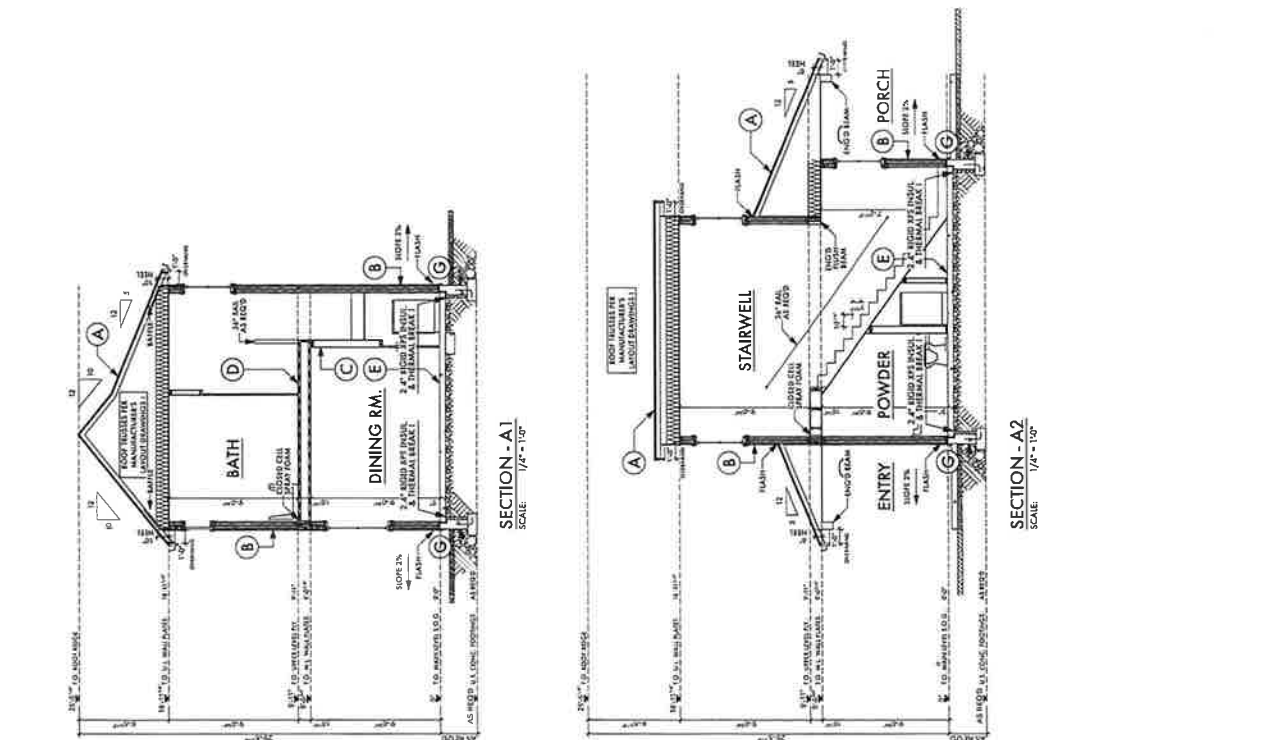
LOCAL ADDRESS
12345 MAIN ST.

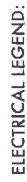
PROJECT NO.
12345

DATE
12/15/2023

JEREMY NEWELL
DESIGN INC.
www.jeremynewell.com

BUILDING ELEVATIONS





(ALL FIXTURES TO BE L.E.D.)

-

Article 30 Nonconforming Property

275-30.5 Nonconforming lots.

A. Allowance to use. A nonconforming lot in separate ownership may, by right, be used in any manner allowed in that zoning district provided that:

(1) The lot is a legal lot of record and is duly recorded at the Strafford County Registry of Deeds as such;

(2) All setback requirements are met;

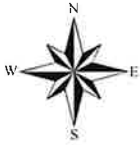
(3) Legitimate access can be provided to the lot;

(4) The lot can accommodate water, sewer, and drainage facilities as needed; and

(5) The lot meets minimum lot and/or coverage requirements as provided for in Article 19, Dimensional Regulations.

B. Special exception. A nonconforming lot which does not meet all of the criteria listed above may be used for a proposed allowed use only by special exception based upon the standard criteria for special exceptions and a finding by the ZBA that the proposed use of the nonconforming lot is reasonable.

C. Existing buildings. An existing building situated on a nonconforming lot may be expanded by right, subject to other provisions of this chapter and compliance with setbacks, coverage, etc., since the nonconforming nature of the undersized lot is not affected by the expansion.



5 Lois Street

City of Rochester, NH

1 inch = 54 Feet



www.cai-tech.com

July 24, 2023



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

CONSTRUCTION DETAIL				CONSTRUCTION DETAIL (CONTINUED)			
Element	Cd	Description	Element	Cd	Description		
Style	16	NEW ENGLAND	Solar	0			
Grade	C	AVERAGE	Central Vac	0			
Stories	1.75		Nbhd Modifier				
Units	1		MH Make				
Frame	01	WOOD	MH Serial #		BLUE		
Foundation	03	BRICK/STONE	Color:Mdl #;D				
Exterior Wall 1	04	VINYL	CONDO DATA				
Roof Structure	01	GABLE	Condo Main				
Roof Cover	01	ASPH SHINGLE					
View	N	NONE	Adjust Type	Code	Building #		
Interior Wall 1	06	AVERAGE	Condo Floor		Section #		
Interior Floor 1	08	AVERAGE	Condo Location		% Owner		
Basement Flo	13	DIRT	COST / MARKET VALUATION				
Bsmt Garage	0		Building Value New		163,266		
Finished Bsmt			Year Built		1919		
FBLA			Depreciation Code		E		
Rec Room	02	GOOD	Remodel Rating				
Electric	02	TYPICAL	Year Remodeled		25		
Insulation	SAME	SAME	Depreciation %				
Interior/Exterio	100.00		Functional Obsol		1.000		
% Heated	02	GAS	Economic Obsol				
Heat Fuel	01	FORCED W/A	Trend Factor				
Heat Type	0.00		Special Adj				
AC Percent	2		Condition %		75		
Bedrooms	1		Percent Good		122,400		
Full Bath(s)	0		RCNLD				
3/4 Bath(s)	0		Dep % Ovr				
Half Bath(s)	0		Dep Ovr Comment				
Extra Fixture(s)	0		Misc Imp Ovr				
Kitchen(s)	1		Misc Imp Ovr Comment				
Extra Kitchen(	0		Cost to Cure Ovr				
Total Rooms	4		Cost to Cure Ovr Comment				
Fireplace(s)	0		OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)				
W/S Elues.	0						



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

July 19, 2023

Abutters List

Owner of Record

Tax Map 115, Lot 8

Echo Property Management, LLC
PO Box 2374
Hampton, NH

Abutters

Tax Map 115, Lot 8-1

Echo Property Management, LLC
PO Box 2374
Hampton, NH

Tax Map 115, Lot 8-2

Echo Property Management, LLC
PO Box 2374
Hampton, NH

Tax Map 115, Lot 8-3

Echo Property Management, LLC
PO Box 2374
Hampton, NH

Tax Map 115, Lot 8-4

Echo Property Management, LLC
PO Box 2374
Hampton, NH

Abutters (cont.)

Tax Map 115, Lot 14

Charlotte Turner
2 Margaret Street
Rochester, NH 03867

Joseph & Heidi Hanscom
1 Lois Street
Rochester, NH 03867

Eric & Erin Bergman
15 Lois Street
Rochester, NH 03867

Keith & Ann Gagne
8 Lois St
Rochester, NH 03867

Ervin Fazekas Rev Trust &
Kathleen Fazekas Rev Trust
141 Wakefield St
Rochester, NH 03867

David & Kathleen Winship
3 Margaret St
Rochester, NH 03867

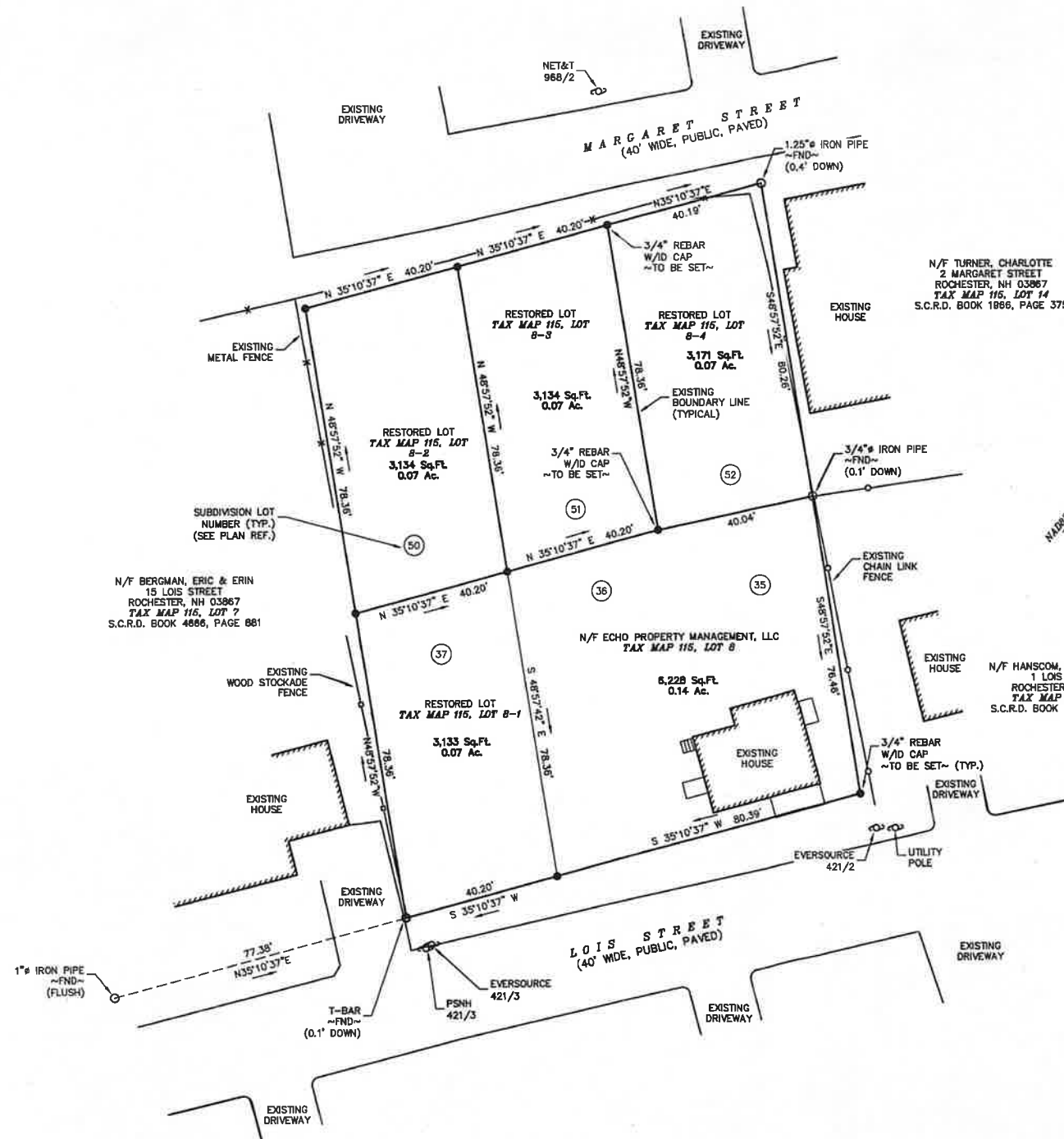
Zachary Hatch
1 Margaret St
Rochester, NH 03867

Northern NE Conf of Seventh Day Adventist, Inc
28 Cushing Blvd
Rochester, NH 03867

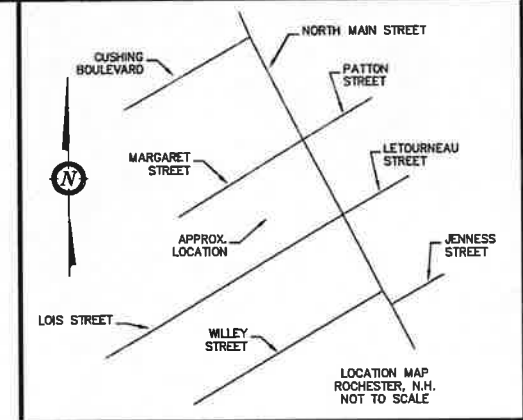
Christopher Berry
Berry Surveying & Engineering
 335 Second Crown Point Rd
 Barrington, NH 03825 ·



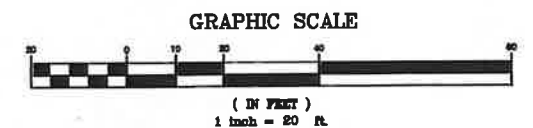
148 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com



PLAN REFERENCES:
 1.) "PROSPECT PARK, ROCHESTER, N.H."
 BY: JOHN N. MCCLINTOCK
 DATED: APRIL 4, 1903
 S.C.R.D. PLAN DRAWER 316, PAGE 3



- NOTES:
- 1.) OWNER: ECHO PROPERTY MANAGEMENT, LLC
PO BOX 2374
HAMPTON, N.H.
 - 2.) TAX MAP 115, LOT 8
 - 3.) LOT AREA: 12,532 Sq. Ft., 0.28 Ac.
 - 4.) S.C.R.D. BOOK 4864, PAGE 853 & BOOK 4841, PAGE 47 & DECREE IN PETITION TO QUITE TITLE 219-2021-CV-00243
 - 5.) THE INTENT OF THIS PLAN IS TO RESTORE THE LOTS SHOWN ON THE ORIGINAL SUBDIVISION PLAN AS 37, 50, 51, & 52. THESE LOTS ARE SHOWN AS PART OF TAX MAP 115, LOT 8.
 - 6.) BOUNDARY LINES BASED ON A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN 2021 WITH A CLOSURE OF BETTER THAN 1 PART IN 10,000.
 - 7.) ZONING: RESIDENTIAL - 1 (R1)
FRONTAGE ~ 100.00' (N/A)
LOT AREA ~ 10,000 (N/A)
FRONT SETBACK ~ 10.0'
SIDE SETBACK ~ 10.0'
REAR SETBACK ~ 20.0'



#1	6-14-22	UPDATE SCALE BAR
REVISION	DATE	DESCRIPTION
LOT RESTORATION PLAN LAND OF ECHO PROPERTY MANAGEMENT, LLC LOIS STREET ROCHESTER, N.H. TAX MAP 115, LOT 8		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 20 FT. DATE : MARCH 22, 2022 FILE NO. : DB 2021 - 029		

I CERTIFY THAT THIS SURVEY PLAT IS NOT A
 SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE
 LINES OF STREETS AND WAYS SHOWN ARE THOSE OF
 PUBLIC OR PRIVATE STREETS OR WAYS ALREADY
 ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
 KENNETH A. BERRY L.L.S. 805 DATE 7-19-23

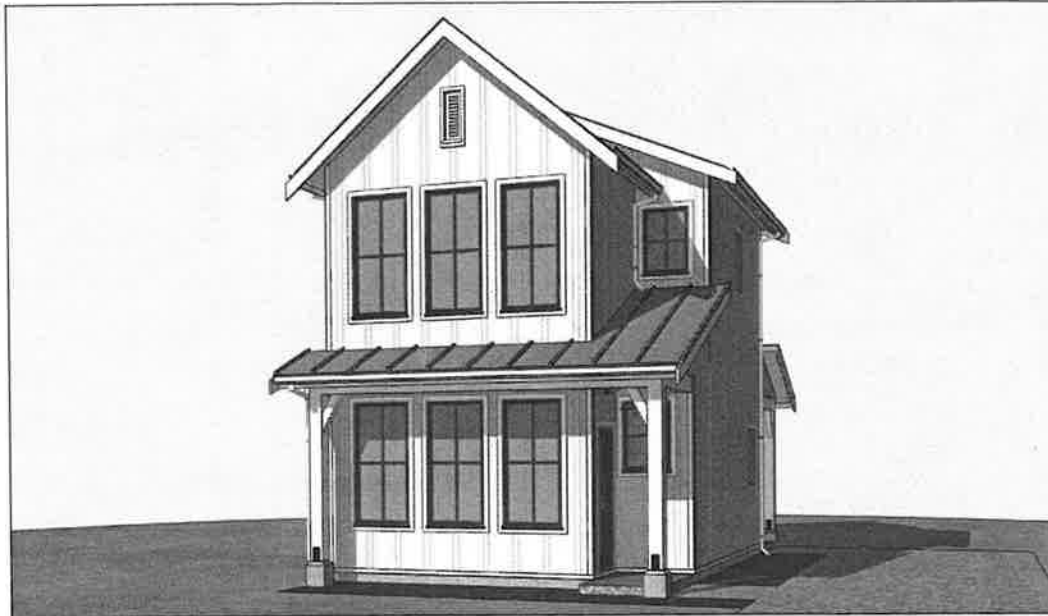
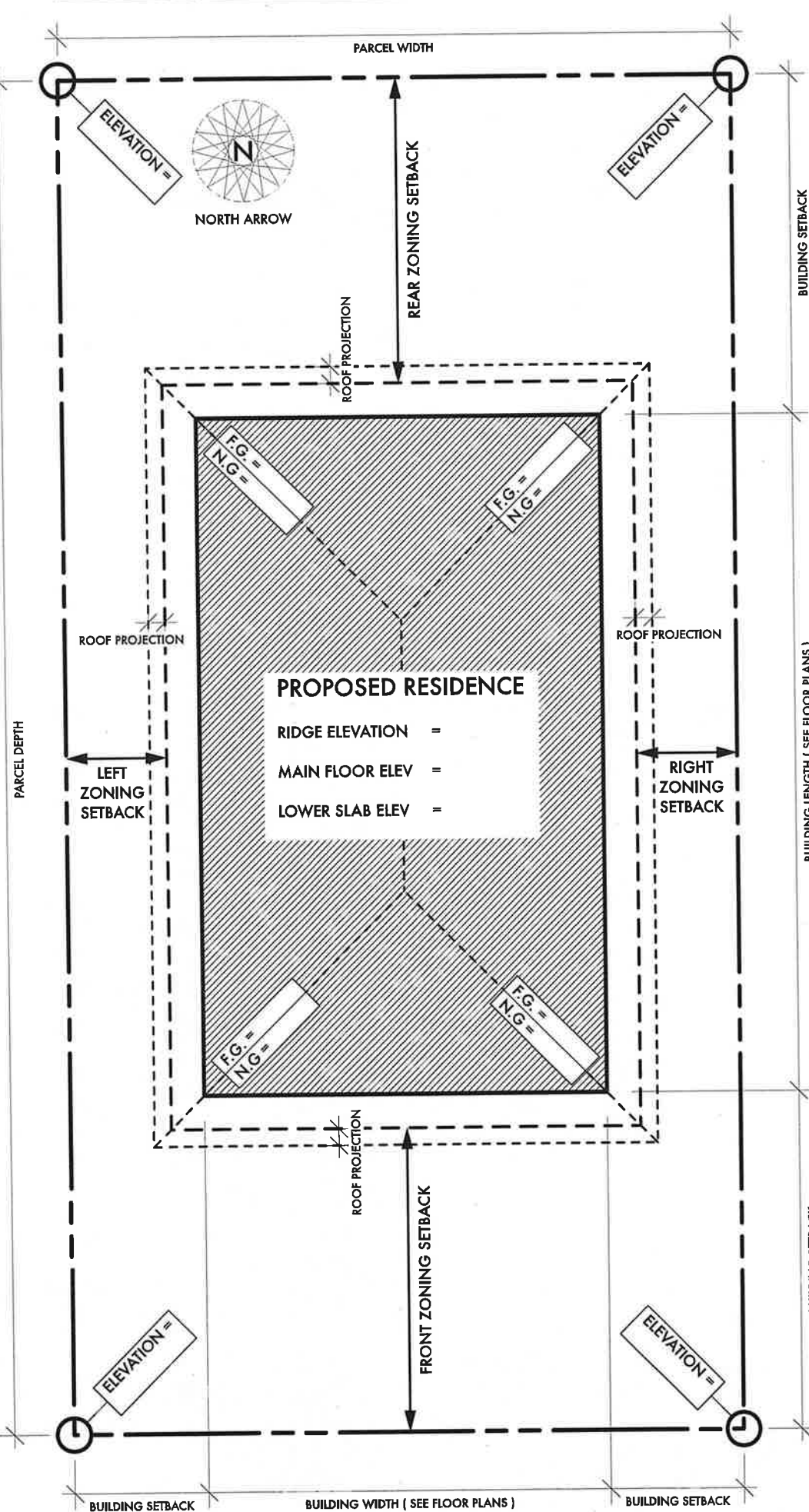
FILLABLE SITE PLAN (NOT TO SCALE) / PROPERTY ZONING = (

* IMPORTANT - READ CAREFULLY BEFORE COMMENCING WORK *

GENERAL NOTES:

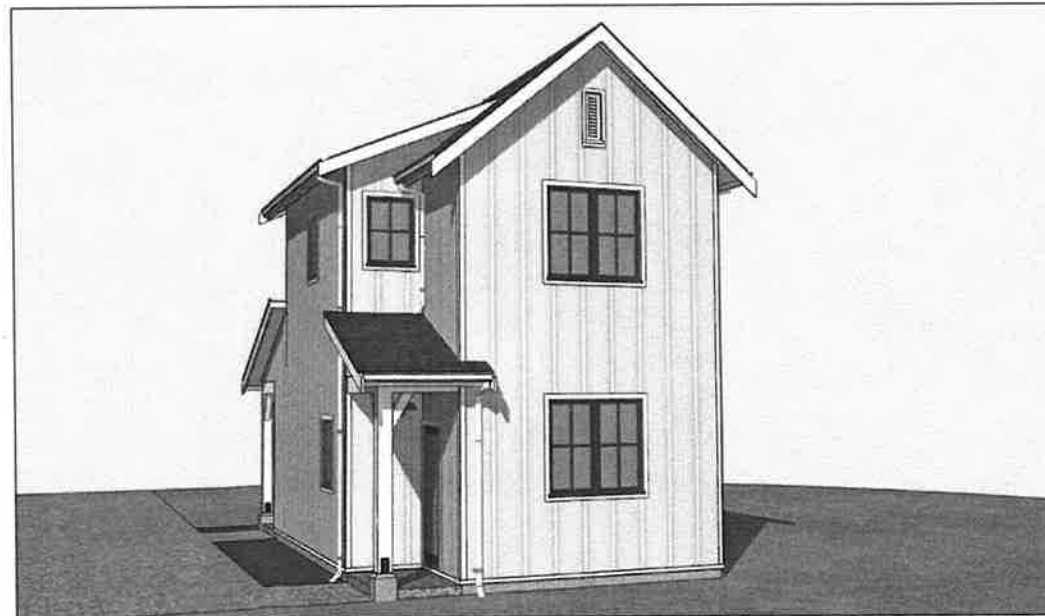
1. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID MISTAKES IN PREPARING THIS PLAN, THE DESIGNER DOES NOT GUARANTEE AGAINST HUMAN ERROR.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH & SHALL CONFORM TO THE LATEST EDITION OF THE B.C.B.C./A.B.C./O.B.O.A./N.B.C./C.C.R./I.B.C./I.R.C./U.B.C. (WHICHEVER TAKES PRECEDENCE IN THE AREA OF CONSTRUCTION) PLUS LOCAL CODES, BYLAWS & REGULATIONS WHERE THESE TAKE PRECEDENCE.
3. READ THESE PLANS IN CONJUNCTION WITH ALL DOCUMENTS ISSUED BY ENGINEERS, HVAC, PLUMBING, ELECTRICAL OR OTHER REQUIRED CONSULTANTS.
4. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL BE RESPONSIBLE FOR ALL RELEVANT PERMITS AND CALL FOR ALL REQUIRED INSPECTIONS.
5. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) MUST CHECK THIS DOCUMENT IN ITS ENTIRETY AND TAKE RESPONSIBILITY FOR ANY ADDITIONAL DOCUMENTATION OR NEEDED PLAN ALTERATIONS BEFORE APPLYING FOR PERMIT, ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
6. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL FOLLOW NATIONAL STANDARDS TO ENSURE PUBLIC SAFETY THROUGHOUT CONSTRUCTION.
7. THE GENERAL CONTRACTOR (OR OWNER / BUILDER) SHALL ENSURE THAT ALL WORK IS DONE ACCORDING TO THE ACCEPTED PRACTICE OF THE DAY.
8. ALL MATERIALS SHALL BE NEW, THE BEST OF THEIR RESPECTIVE KIND & CONFORM TO ALL CSA, ANSI, ASTM STANDARDS (AS APPLICABLE IN YOUR REGION).
9. ALL SITE DIMENSIONS, CALCULATIONS AND SETBACKS ARE TO BE GOVERNED & APPROVED BY MUNICIPAL AUTHORITIES BEFORE STARTING CONSTRUCTION.
10. ANYTHING NOT COVERED IN THESE PLANS WILL BE OPEN FOR NEGOTIATION BETWEEN THE GENERAL CONTRACTOR, THE OWNER & THE MUNICIPALITY.

1. SITE WORK:
 - 1.1 Building location and site elevations shall be established by a surveyor licensed in your area, before starting construction.
 - 1.2 Slope all finished grades away from the building at a minimum of 2% to facilitate the runoff of surface water.
 - 1.3 Do not drain surface water onto adjacent properties. Provide swales and catch basins as required.
 - 1.4 Grades shall not exceed the natural angle of repose for the materials being used unless approved by a geotechnical engineer.
 - 1.5 All grades as shown are approximate and shall be confirmed on site before excavation.
 - 1.6 Builder shall review final grades and floor elevations prior to excavation.
2. EXCAVATION:
 - 2.1 The contractor shall engage a geotechnical engineer or soils consultant to determine bearing conditions and soil stability.
3. FOOTINGS AND FOUNDATIONS:
 - 3.1 Footings shall rest on suitable bearing soil below frost penetration.
 - 3.2 Footing depths shall be shown on this plan; may need to be revised depending on the potential frost depth in your area.
 - 3.3 30" by 30" pad foundations and 18" by 8" strip footings unless otherwise required by engineer.
 - 3.4 Install a perimeter drain & drain tile around foundation and connect to storm sewer or rock pits as required.
 - 3.5 Confirm opening for services per required prior to pouring.
 - 3.6 Install 8" long, 5/8" anchor bolts every 4 feet for wall plates. Install rebar, even if not required by code: (18" laps) 15M @ 20" vert., 15M @ 20" horiz., 15M HTE dowels to match vert., 2-15M top continuous, 2-15M continuous within footing.
 - 3.7 Never place rebar within 2 inches of any concrete surface. Exposed metal tie ends shall be individually tabbed.
 - 3.8 If required, see structural engineer's specifications and details to confirm concrete dimensions and rebar requirements.
 - 3.9 Foundation walls shall have two coats of approved waterproofing compound on the exterior below grade.
 - 3.10 Minimum concrete strengths: walls and footings min 15MPa, garage slabs min 32MPa and basement slabs min 20MPa.
4. BACKFILL:
 - 4.1 Perimeter backfill shall be installed to slope away from building at 2% minimum slope. Leave 8 inches of concrete exposed.
 - 4.2 Do not backfill before floor joists and subfloor are securely in place, nor before the concrete has reached its 28 day strength.
 - 4.3 Backfilling under slabs shall be granular material and shall be compacted to 95% standard proctor density. Max 24" lifts.
5. FRAMING:
 - 5.1 10" Roof truss heel height for improved insulation at exterior wall. Trusses @ 24" o.c. See engineered layouts by manufacturer.
 - 5.2 Grid lines = outside sheathing = outside concrete foundation. Dimensions are taken from grid lines to edge of interior framing.
 - 5.3 All window headers up to 6' F.P. length shall be 2 x 8's. Consult engineer or truss company for spans greater than 6'.
 - 5.4 Exterior wall studs shall be 2 x 6 @ 16" o.c. unless otherwise noted or specified by engineer.
 - 5.5 Seal all exterior walls with seam sealer to be airtight and protect sill plates from concrete with sill gasket.
 - 5.6 Floor joists shall be manufactured Joists with all nail bridging and blocking. See manufacturer's shop drawings for details.
 - 5.7 Engineered beam sizes and connections shall be as specified by supplier. See manufacturer's shop drawings for details.
 - 5.8 Lumber product species shall follow engineering drawings and are to be No.1&2 at a minimum.
 - 5.9 Exposed lumber and lumber touching concrete shall be pressure treated or protected with an approved preservative.
 - 5.10 Engineered steel specifications and connection details per engineer's drawings.
6. SHEATHING:
 - 6.1 2x12" T&G plywood roof sheathing or 1/2" O.S.B.
 - 6.2 2x12" T&G plywood wall sheathing with 1/8" expansion gaps or 1/2" O.S.B. with 1/8" expansion gaps.
 - 6.3 3/4" T&G plywood (glued and screwed) floor decking (do not use O.S.B.).
7. ROOFING & SOFFITS:
 - 7.1 Roofing shall be standing seam metal unless otherwise shown (torch on membrane to slopes under 4 in 12).
 - 7.2 Color shall be determined by owner. All roof vents and flashing to match roof color.
 - 7.3 Install prefinished attic vents oriented to side and rear yards only. Do not install vents to any roof on the front elevation.
 - 7.4 Roof installation underlayment shall be as manufacturers specifications. Install ribbed valley flashing by manufacturer.
 - 7.5 Builder to install all required flashing plus ice and water snow protection as per current Building Code Residential Standards.
 - 7.6 2" continuous ventilation strip with bug screen at eave.
 - 7.7 Soffits that project to within 48" (or 1.2m) of any property line must be non-combustible and non-vented for fire safety.
8. EAVES/TROUGHS & DOWNSPOUTS:
 - 8.1 Eaves/trougs to be 4" or 5" aluminum profiled - color to match roof. Install scuppers at downspouts to prevent entry of debris.
 - 8.2 Downspouts shall be in obscure corners as indicated on elevations. Advised 30 foot maximum between downspouts.
9. WINDOWS:
 - 9.1 Windows shall be aluminum clad with 5/4" S.D.L. bars (if shown) and open as specified by owner.
 - 9.2 Windows to have a minimum thermal value of UFI-1.60 / UQ-28 per B.C.B.C. Zone 6 (adjust per your region).
 - 9.3 Windows must meet egress requirements per Code. Minimum 24" x 36" unobstructed opening advised at no higher than 48".
 - 9.4 Color to be determined by owner. No brick masonry or trim.
 - 9.5 The builder shall confirm rough-opening sizes with manufacturer prior to ordering.
 - 9.6 Window supplier shall provide window sample and/or product information including brand names and warranties.
 - 9.7 All external wall penetrations shall be flashed, sealed and insulated per current Building Code Residential Standards.
 - 9.8 All external wall penetrations shall be flashed, sealed and insulated per current Building Code Residential Standards as req'd.
10. EXTERIOR DOORS:
 - 10.1 Safety glass is required in all exterior doors.
 - 10.2 Front entrance door to meet NARS requirements. Minimum thermal value of UFI 2.6 / UQ-46. 3-Point locks for slabs over 6'8".
 - 10.3 Garage door panel to be Clopay "Avant" style with electric overhead door opener. Minimum thermal value of UFI 1.1.
 - 10.4 Patio and main doors to match window systems. Minimum thermal value of UFI 1.60 / UQ-28 per B.C.B.C. Zone 6.
 - 10.5 All external wall penetrations shall be flashed, sealed and insulated per current Building Code Residential Standards.
11. INTERIOR DOORS:
 - 11.1 To be determined by owner. Solid core doors advisable. Bedroom doors must be undercut by 1/2" for cross ventilation.
12. EXTERIOR FINISH:
 - 12.1 Typical exterior finish to be stain grain wood or corrugated metal, per elevations - colors to be determined. Flash as required.
 - 12.2 Brick or natural stone shall be 2" veneer on wire lath and scratch coat. Flash as required.
13. THERMAL INSULATION AND VAPOR BARRIER:
 - 13.1 Permit applicant to provide R-5.1 calculations for assemblies as required by code. R24 walls / R48 roof advised as a minimum.
 - 13.2 Poly vapor barrier to underside of roof trusses.
 - 13.3 Install battles over exterior walls, outside of insulation for a minimum of 2 inches clearance for unobstructed roof ventilation.
 - 13.4 Install sound batt insulation in all walls surrounding any bedroom or bathroom and under / over adjacent living spaces.
 - 13.5 Caulk underside of exterior wall plates, around electrical boxes, and where plumbing and wiring penetrate the vapor barrier.
 - 13.6 A polyurea seal gasket shall be installed under all sill plates on foundation walls.
 - 13.7 Install 2" rigid insulation around inside foundation walls to frost depth and 1" for wall to slab thermal break per local code.
 - 13.8 Batt insulation and poly vapor barrier to inside of rimjoists. Batt insulation to meet wall insulation requirements.
 - 13.9 Seal poly to underside concrete slabs on grade below heated living spaces.
 - 13.10 2" rigid insulation required under all heated concrete slabs. Tape joints (1/2" mil poly not required in this case).
14. GYPSUM BOARD:
 - 14.1 Drywall board (drywall) shall be 1/2" unless otherwise noted as 5/8" type-X for fire separations.
 - 14.2 Ceilings shall be 1/2" C.D. board and prepared for a painted, lightly textured finish.
 - 14.3 All drywall shall be NOY noted.
 - 14.4 Install square corner beads throughout.
15. STAIRWAYS & RAILINGS:
 - 15.1 Per current local Building Code Residential Standards.
16. CABINETRY:
 - 16.1 See plan for general layout and appliance locations. Cabinet maker shall contact owners for cabinet finishes and details.
 - 16.2 Cabinet maker shall supply shop drawings with sample finishes and hardware, including drawer slides and accessories.
17. INTERIOR PAINTING AND FINISHING:
 - 17.1 Contact interior designer / owner for painting, finishes, flooring, window coverings, plumbing and lighting fixtures.
18. PLUMBING:
 - 18.1 Do not install any plumbing in exterior walls without adequate insulation for freeze protection.
 - 18.2 Plumbing fixtures, faucets, and plumbing accessories shall be selected by owners.
 - 18.3 Paper holders, towel bars, and vanity mirrors shall be selected by owners.
 - 18.4 Install no-freeze exterior hose bib's per plan.
 - 18.5 Install a connection for an irrigation system.
 - 18.6 The contractor shall verify sump-pump location and requirements for sanitary sewer if required.
 - 18.7 Install hot & cold hose bib's in garage as located per owner.
 - 18.8 Install floor area drains in unfinished areas and under hot water tanks.
19. HEATING AND VENTILATION:
 - 19.1 As required by regional codes, the HVAC contractor shall supply and install furnace and A/C systems, mini-splits or electric baseboard heaters that will adequately handle the building's required heating and cooling loads plus ventilation requirements.
 - 19.2 Contact the general contractor to confirm all duct chases and plenums locations.
 - 19.3 Ensure proper heating and ventilation of any crawl space per current Building Code and Residential Standards.
 - 19.4 Any ducts located outside the thermal envelope are to be sealed and insulated to meet the exterior wall insulation requirements.
 - 19.5 Install screened covers to all vents, ducts, exhausts, designed to prevent entry of debris, insects, birds or rain.
 - 19.6 Install fire place, flue and vent per manufacturer's specs with proper clearances and non-combustible materials as required.
 - 19.7 Principal exhaust fan must be designed to run continuously 24/7 and the air-flow rate must comply with the current Code.
 - 19.8 Installation of a Heat Recovery Ventilator (HRV) unit is highly recommended even if not required by Building Code.
20. ELECTRICAL:
 - 20.1 Electrical layout intended only as a guide. Electrician to initiate a "walk-through" with owner to confirm switch / fixture locations.
 - 20.2 Fixtures, switches and outlets shall be approved by owner. The electrical contractor shall not install non-approved devices.
 - 20.3 The electrical contractor shall supply and install a main service with the capacity to properly supply power at maximum load.
 - 20.4 Smoke and CO2 sensor / alarms shall be direct wired and conform to local Building Code Residential Standards.
 - 20.5 Install wiring for cable t.v., internet and telephone. Install 220V car charger in garage. Confirm locations with owner on site.
 - 20.6 Install electrical conduit for driveway lighting. Confirm locations with owner on site.
 - 20.7 Provide rough-in pre-wire for sound system and security system. See owners for system specifications.
 - 20.8 Consult owner regarding any need for a back-up generator, solar power, geothermal power or other alternative power systems.
21. FIRE SAFETY:
 - 21.1 Install smoke and CO2 sensor / alarms as required. It is advised for these to be installed in each sleeping room, even if not req'd.
 - 21.2 Dwelling units may require fire rated separations for floors, walls or attic spaces that separate the units. See fire code consultant.
 - 21.3 Unprotected opening (spatial separation) calculations to be provided by the General Contractor (or Owner/Builder) as req'd.
22. BUILT-IN VACUUM:
 - 22.1 Confirm installation of a built in vacuum system complete with kitchen dustbin with the owner.
23. LANDSCAPING:
 - 23.1 Landscaping design, irrigation system and installation shall be completed by others.
24. FINAL CLEANUP:
 - 24.1 The contractor shall examine and adjust all operating doors and windows, hardware and equipment to leave all in perfect working order.
 - 24.2 Remove all paint spots, stains, rubbish, debris, tools, and equipment from all areas.
 - 24.3 Clean and polish all glass including mirrors.
 - 24.4 Examine and clean all plumbing and electrical fixtures to produce intended appearance and function.
25. SUBSTITUTIONS:
 - 25.1 Substitutions and alternates shall be authorized by the owner or general contractor.
 - 25.2 Suppliers shall provide product samples and/or product information including warranties for proposed substitutions.
26. RESPONSIBILITIES & LIABILITIES:
 - 26.1 The General Contractor (or Owner/Builder) is responsible to ensure that all local and regional codes, bylaws, and construction safety standards are met. This includes procuring all required structural, geotechnical, seismic, hurricane, building envelope, fire suppression, septic, or any other engineering, or code consultation as may be required complete the construction documents. The Designer is not responsible to confirm or verify any of the above, having been compensated only for the idea for the home. By commencing work the General Contractor (or Owner/Builder) accept all responsibilities as outlined in these notes.
 - 26.2
 - 26.3
27. INTELLECTUAL PROPERTY RIGHTS:
 - 27.1 The intellectual property rights associated with the attached plans remain the exclusive rights of Jeremy Newell Design Inc.
 - 27.2 These plans have been licensed for the permit application and construction of ONE BUILDING ONLY unless written permission has been submitted to the approving municipal authority in the form of an official license agreement for a set number of homes.
 - 27.3 Municipal authorities granting permits for multiple buildings without proof of an official license agreement will be held culpable.



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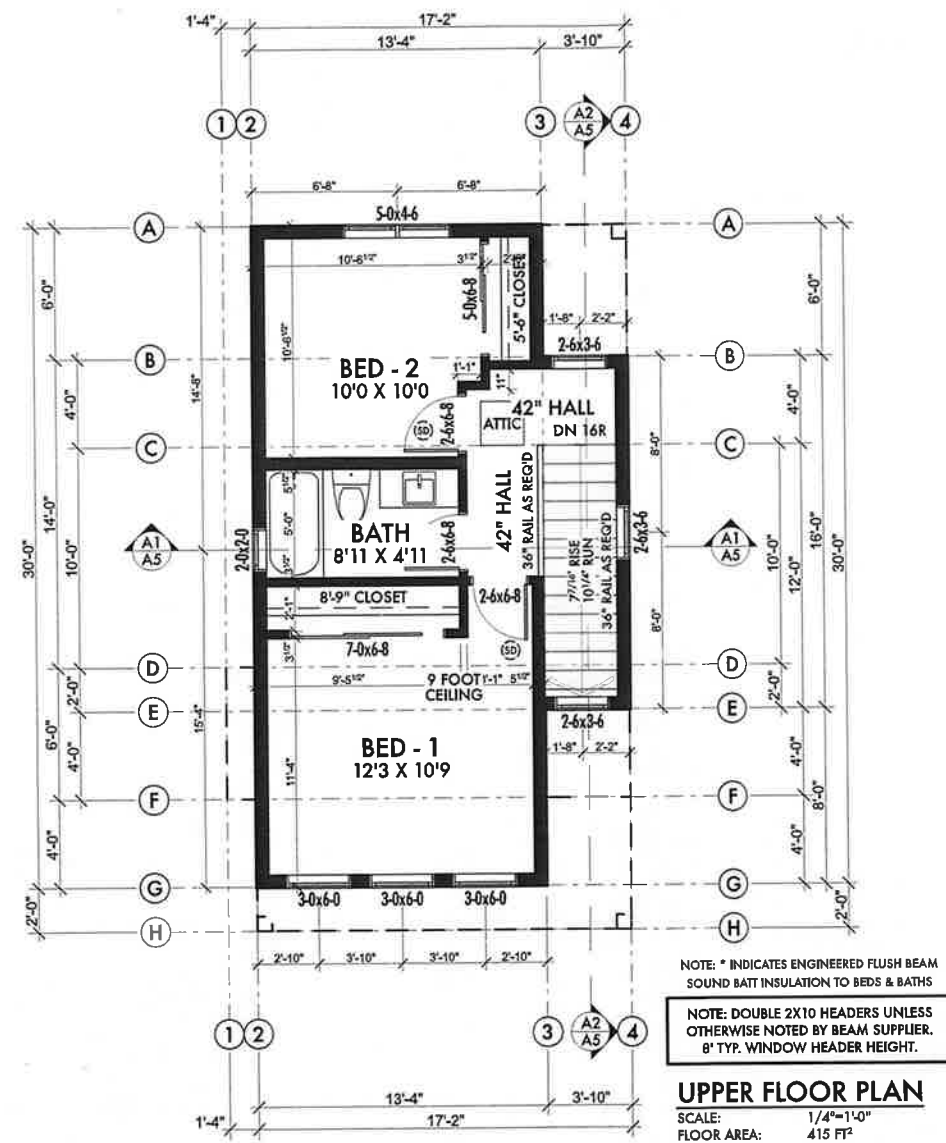
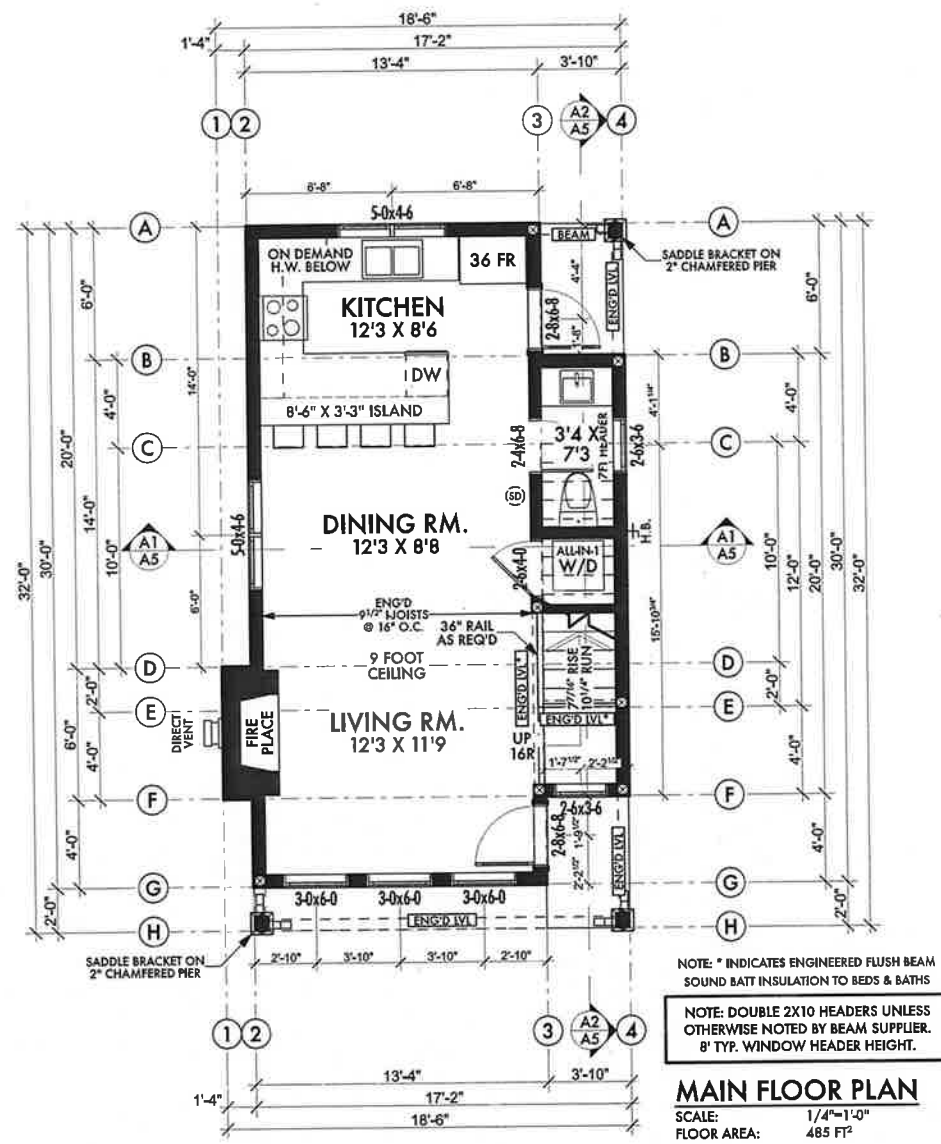
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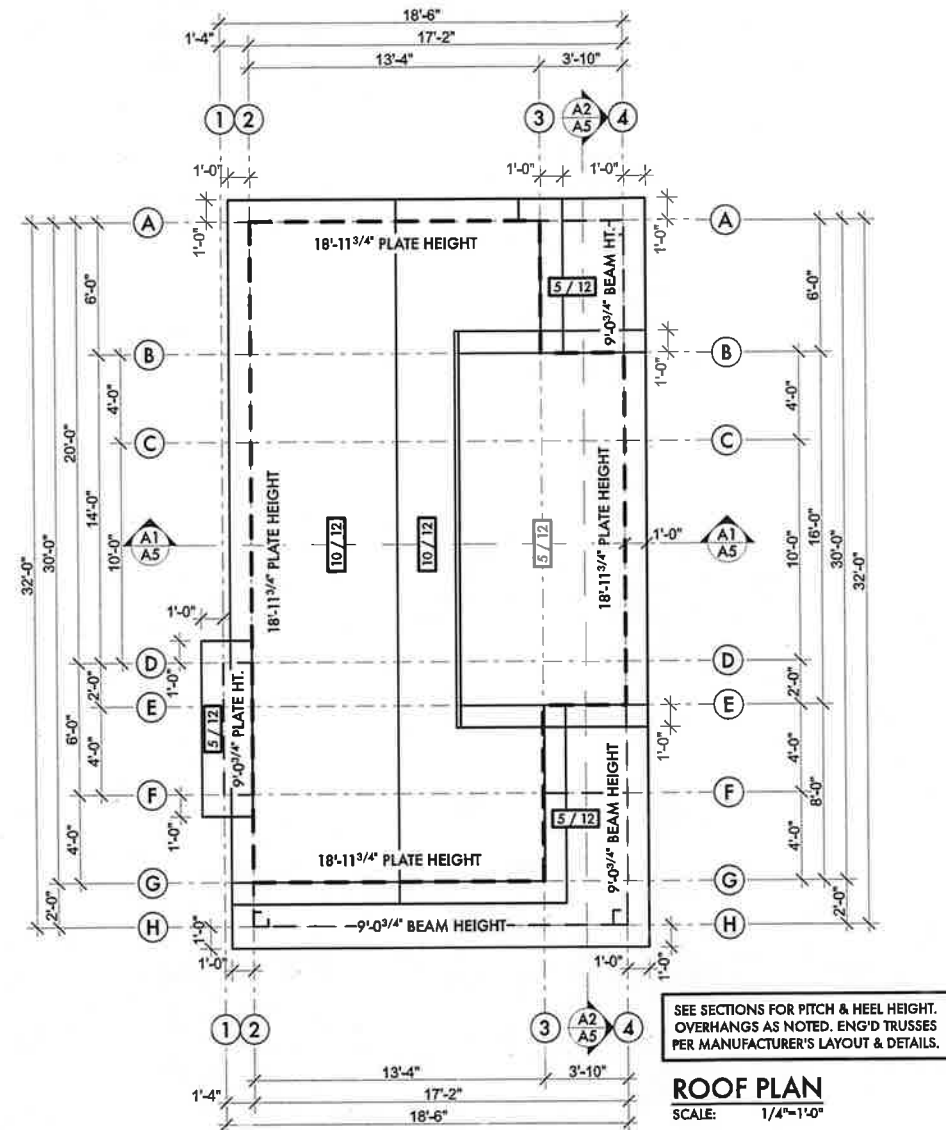
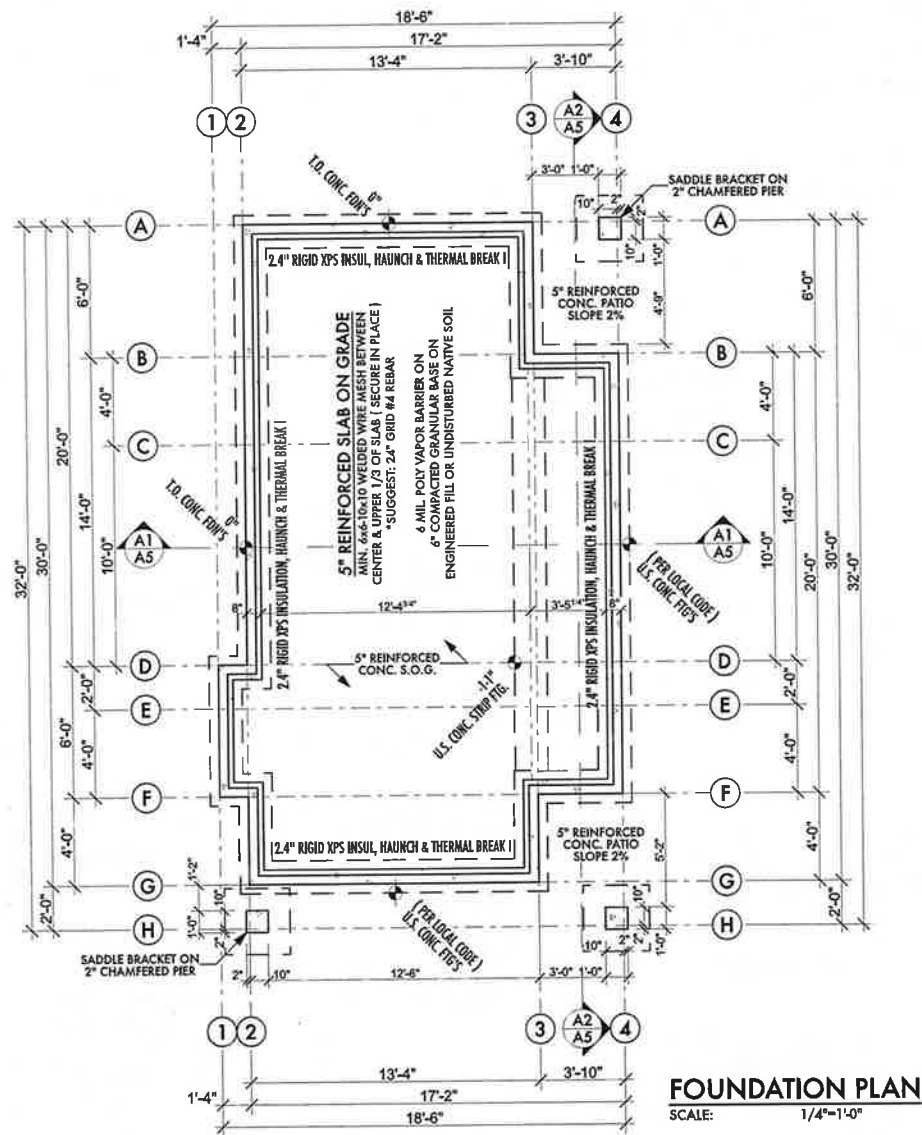
- A1 SITE PLAN, PERSPECTIVES & NOTES
- A2 FLOOR PLAN(S)
- A3 FOUNDATION & ROOF PLANS
- A4 BUILDING ELEVATIONS
- A5 BUILDING & WALL SECTIONS
- E1 ELECTRICAL LAYOUT(S)

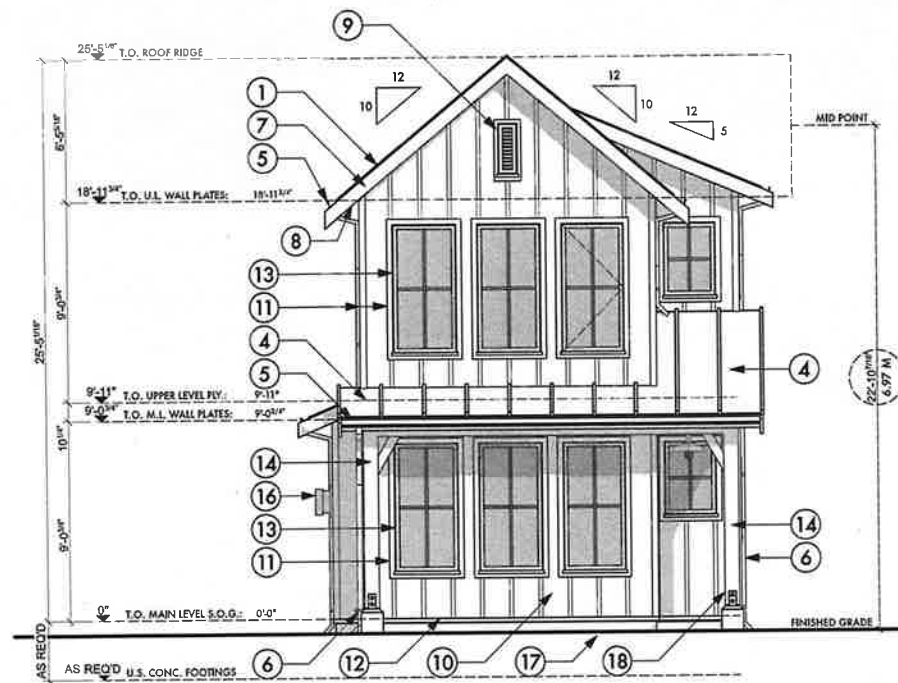
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PROJECT TITLE PROPOSED RESIDENCE	LEGAL ADDRESS:	SCALE NOT TO SCALE
CIVIC ADDRESS:		DATE 2022-04-09
SHEET TITLE SITE PLAN, PERSPECTIVES & NOTES		A1

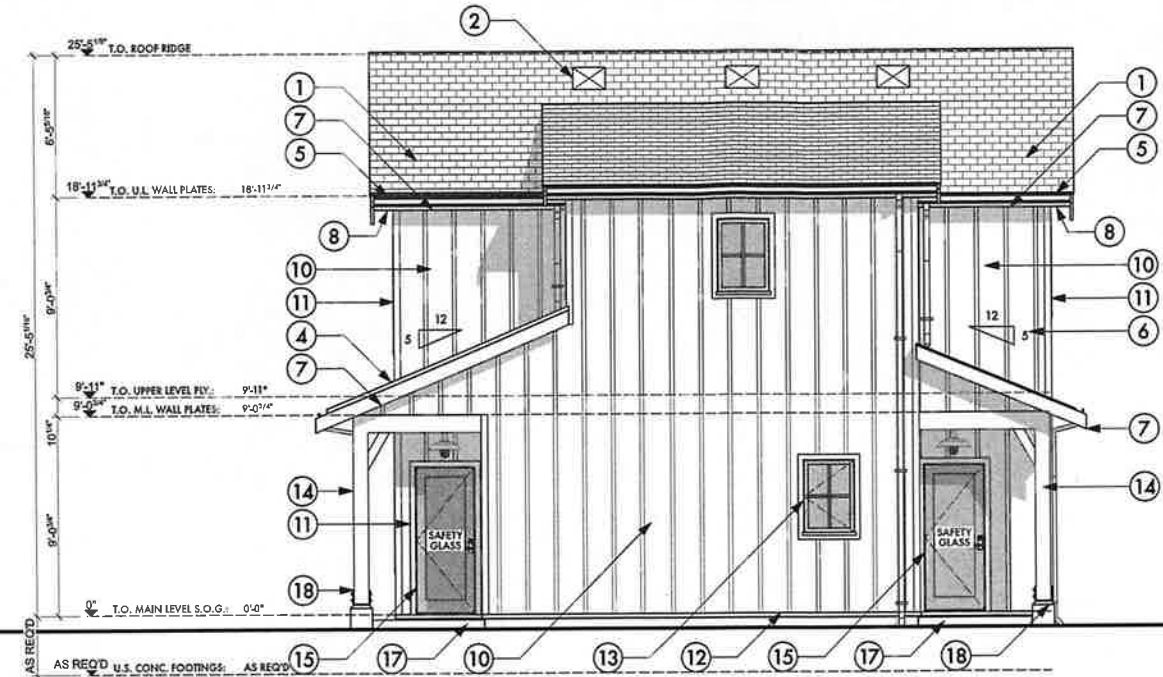
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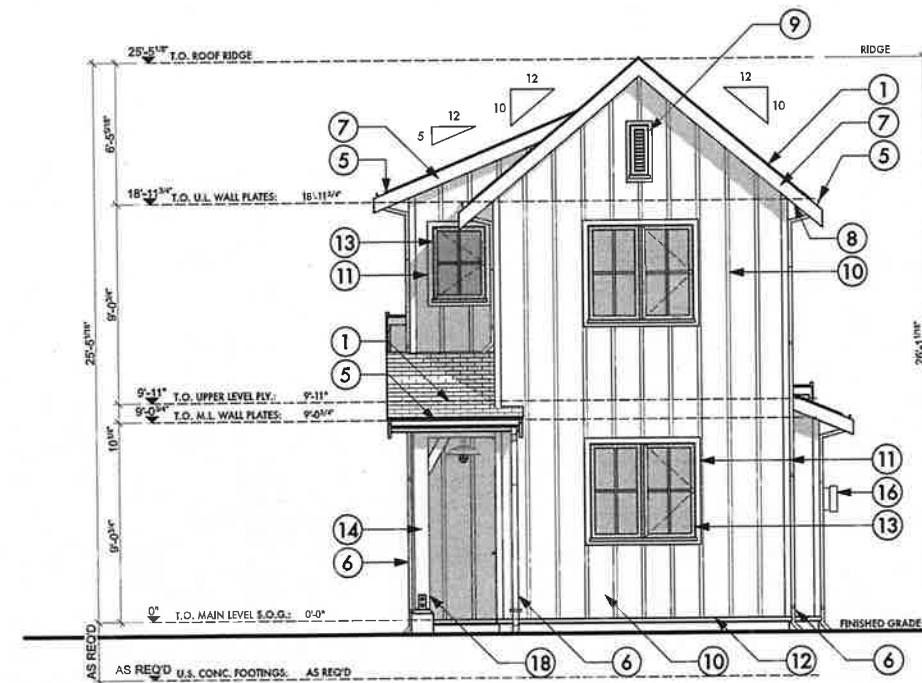




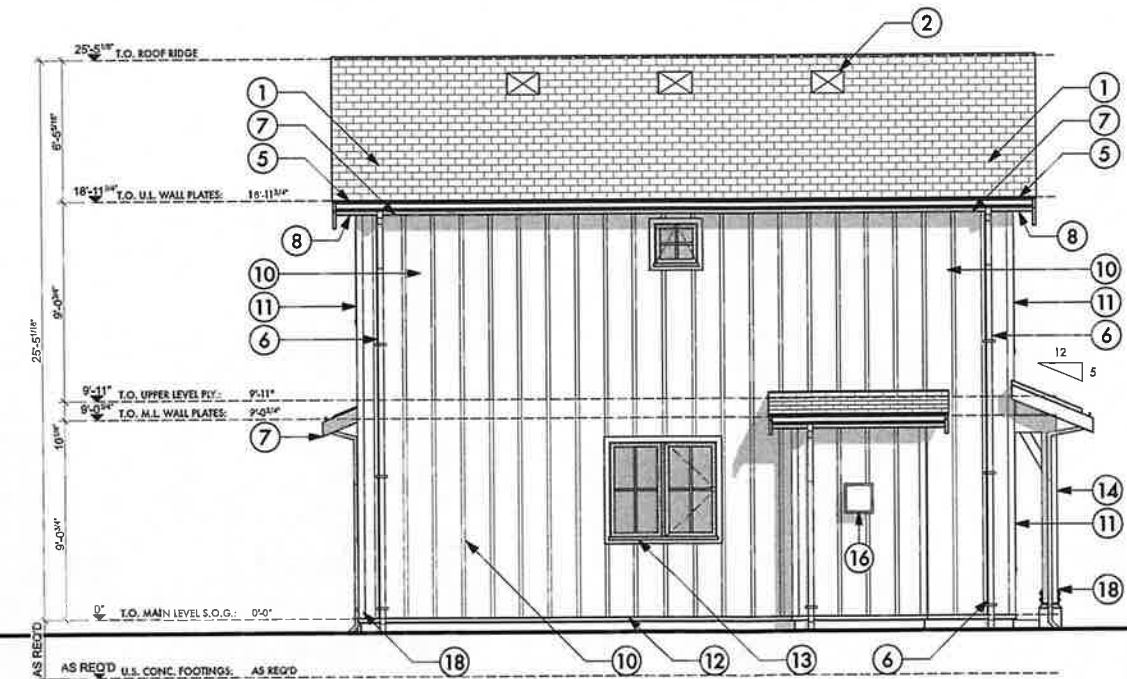
FRONT - ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT - ELEVATION
SCALE: 1/4" = 1'-0"



REAR - ELEVATION
SCALE: 1/4" = 1'-0"



LEFT - ELEVATION
SCALE: 1/4" = 1'-0"

- | | | | | | |
|---|--|---|--|---|--|
| 1 25YR+ FIBERGLASS SHINGLE ROOFING
TORCH-ON TO SLOPES UNDER 4/12 | 4 STANDING SEAM METAL ROOF | 7 5/4" x 7 1/4" FASCIA BOARD ON
SUB-FASCIA | 10 PAINTED COMPOSITE BOARD & BATTEN SIDING
3/4" x 2" BATTENS @ 16" OR 18" O.C., FLASH | 13 VINYL WINDOWS (BLACK), DOUBLE PANE
5/4" S.D.L.'S AS SHOWN | 16 DIRECT VENT PER MANUFACTURER'S SPEC'S |
| 2 PRE-FINISHED ROOF VENTS
ORIENT TO REAR AND SIDE YARDS | 5 PROFILED ALUMINUM GUTTERS
WITH REQ'D FLASHING | 8 PERFORATED ALU. SOFFITS OR
2" CONT. VENT STRIP AT EAVE | 11 3" HARDIE TRIM BRICK MOLDS AND CORNER CAPS | 14 8 X HARDIE CLAD POST & BEAMS | 17 PATIO SURFACE TO BE DETERMINED |
| 3 B-VENT PER MANUFACTURER'S SPEC'S | 6 DOWNSPOUTS TO ROCK PITS | 9 12" x 30" FUNCTIONAL GABLE VENT | 12 FLASHING UNDER SIDING / OVER FOUNDATION | 15 GLAZED ENTRY DOOR PER OWNER | 18 EXPOSED SADDLE BRACKET OVER 12" x 12"
CONC. PIER, CHAMFERED TO 8" x 8" |



PROJECT TITLE
PROPOSED RESIDENCE
CIVIC ADDRESS:
SHEET TITLE
BUILDING ELEVATIONS

ISSUED FOR BUILDING PERMIT

LEGAL ADDRESS:

SCALE:
1/4" = 1'-0"

DATE:
2022-04-08

SHEET NO.
A4